

#13

DEC 15 2011



**MEMORANDUM                      Transportation & Development – CC Memo No. 11-122**

**DATE:**            NOVEMBER 17, 2011

**TO:**                MAYOR AND CITY COUNCIL

**THRU:**            RICH DLUGAS, CITY MANAGER *RD*  
                         PATRICK MCDERMOTT, ASSISTANT CITY MANAGER *PM*  
                         R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*  
                         JEFF KURTZ, PLANNING ADMINISTRATOR *JK*  
                         KEVIN MAYO, PLANNING MANAGER *KM*

**FROM:**            BILL DERMODY, SENIOR CITY PLANNER *BD*

**SUBJECT:**        PDP11-0012/PPT11-0007 WATERS AT OCOTILLO – PARCELS 5 & 6

**Request:**        Preliminary Development Plan (PDP) for a single-family subdivision including site layout and housing product. Preliminary Plat approval for a single-family residential subdivision.

**Location:**       Intersection of Market Place and Jacaranda Parkway, east of the intersection of Dobson and Price Roads

**Applicant:**      Burch & Cracchiolo, P.A.

**Owner:**           GP Chandler, LLC (Gilbane Properties)

**Project Info:**   31 single-family lots on approximately 10.5 acres; 8 floor plans/elevations

**RECOMMENDATION**

Planning Commission and Staff, finding consistency with the General Plan and Residential Development Standards, recommend approval of the Preliminary Development Plan (PDP) and Preliminary Plat, subject to conditions.

**BACKGROUND**

The application requests PDP approval for site layout and housing product for a new single-family subdivision covering two parcels (5 & 6) within The Waters at Ocotillo. The currently vacant parcels are located at the intersection of Market Place and Jacaranda Parkway, on the south end of the Market Place “loop” east of Dobson Road. To the east and south are existing

single-family homes in the Ocotillo master planned community. To the north and northwest are parcels zoned for multi-family uses. West of Parcel 6, at the southeast corner of Dobson and Price Roads, is a parcel zoned for commercial/office uses.

An existing lake system surrounds much of the subject parcels, providing a significant community amenity. A small park (Blue Heron) with playground equipment is located between the parcels, and there are also two smaller amenity areas along the lake nearby. Stormwater is directed to the lakes, so there is no need for on-site retention for the subject development.

The subject site is part of the 2,700-acre Ocotillo Area Plan originally adopted in 1983. The subject parcels received PAD zoning and area plan amendment approval for single-family uses as part of the 74-acre Waters at Ocotillo development in 2007. The 2007 approval included a PDP that established a strong community identity for the 8 parcels included in The Waters at Ocotillo, with bridges over the lake and common connections to a central community center that was to service the whole area. That approval also presented a "single-family condominium" concept for Parcels 5 & 6 with community-owned yards surrounding all the houses, continuous and unseparated by walls. Most of the rest of The Waters was designated for multi-family uses. The subject application essentially does away with the bridges concept for The Waters, though there are still pedestrian connections along Market Street that will provide indirect access to the community center planned to occur on Parcel 3.

The proposed site layout for both parcels consists of a looped road with single-family lots around the exterior, most with rear yard lake access. Parcel 5 also has six (6) lots on the loop interior surrounding a small open space. Parcel 5 provides other amenities in the form of a pathway for direct pedestrian access westward to Blue Heron Park and, on its east side, a pedestrian gathering node with shaded benches near the lake. Parcel 6 has a single point of access before the road splits and loops around a larger open space with shaded seating amenities. Parcel 6 also has a gathering area along the lake in its northern portion that is designed to be directly across the water from planned open space in Parcel 3 and anticipated open space in Parcel 4, thus forming a sort of community connection at this point where the three parcels come together.

The lot sizes range from 6,480 to 12,177 square feet in Parcel 5 and from 9,239 to 16,372 square feet in Parcel 6. Parcel 5 lots are at least 52' wide and Parcel 6 lots are at least 67' wide. Lots backing to the lake are deeper than internal lots in order to account for the water edge being some distance into the back yards. The minimum setbacks for both parcels are 5' and 7' on the sides, 15' in the rear, and varied (from 10' to 20') in the front. The maximum lot coverage is 60%.

The application requests relief from the standard street widths for public streets. Internal streets are shown at 42' ROW rather than the standard 50' ROW. Staff supports this relief.

The subject parcels' community landscaping features Mondel Pine and Chitalpa trees along Market Street, which is in keeping with the established Mondel Pines in this area. The parcels' interiors use Chitalpa and Sissoo trees, with the fast-growing Sissoos particularly used to provide shade to the pedestrian seating features.

Theme walls are provided along both parcels' Market Street frontage and Parcel 5's interior open space in the form of a 6'-high white stucco-finish block wall capped with brick and featuring intermittent clay pipe accents. The parcels' entry signs will be a similar motif with the subdivision name and logo placed upon a shorter, two-tier wall.

The housing product includes two categories of homes, the 4000 Series and the 5500 Series, that feature a Santa Barbara style of architecture with distinctive elements such as light stucco exteriors, red barrel tile roofs, arched windows and doors, recessed windows, ornamental iron (both upon the façades and courtyard entrances), brick accents, chimneys, roof finials, and stucco eaves and corbels. The 4000 Series homes are all two-story. The 5500 Series offers two one-story homes and three two-story homes. The application presents 3 floor plans for the 40'-wide 4000 Series and 5 floor plans for the 55'-wide 5500 Series. In pursuit of a strong Santa Barbara character throughout both parcels, each floor plan is available in only a Santa Barbara elevation. Parcel 5 will offer the 4000 Series on its 15 smaller lots and the 5500 Series on its 5 larger lots. Parcel 6 will offer the 5500 Series on all 11 of its lots. Streetscape variety is a concern on Parcel 5 (see attached sample streetscape for a best-case scenario), leading Planning Commission and Staff to recommend that an additional 4000 Series elevation be developed.

### **RESIDENTIAL DEVELOPMENT STANDARDS**

The application fulfills the intent of the Residential Development Standards (RDS) by providing a high-quality product and a strong Santa Barbara style within subdivisions that avoid monotonous layouts and provide sufficient amenities, overcoming the small, irregular parcels already established by the Ocotillo lake system. In Staff's analysis the application conforms to 6 of the 8 required subdivision diversity elements, 11 of the applicable 20 "optional" subdivision diversity elements, 8 of the 9 required architectural diversity elements, and 7 of the minimum 7 optional architectural diversity elements. Notably, because some of the lots are less than 7,000 square feet in size, all of the "optional" subdivision diversity elements are actually required for this project. The RDS elements are guidelines that need not be abided by strictly if deviation is warranted by project uniqueness, overall excellence, difficulty of parcel size/shape, or other similar factors.

Due to small lot size, the project is evaluated under all 28 subdivision diversity elements in the RDS. The application requests relief from the required number of elements, generally, because the project is said to achieve the fundamental purposes of the RDS (e.g. diversity, creativity, quality, sustainability). The application also requests relief from several of the elements specifically. Relief from required subdivision element #3 (vehicular access to rear yards) is requested because the Ocotillo Community Association prohibits rear yard storage of vehicles that are visible from neighboring properties or the lake. Relief from required subdivision element #4 (minimum 30' rear yard setback for 2-story houses) is requested because of the four-sided architecture provided and the landscape tract along Market Place that provides increased separation in that direction. Relief from "optional" subdivision elements #4, 5, 8, 14, 17, 18, 19, and 20 is requested because these elements are impractical to achieve at the density proposed on these small, irregularly shaped parcels.

The application requests relief from required architectural diversity element #4 ("Provide single-story or combination one- and two-story homes on all corner lots"). Lots 1, 15, and 16 of Parcel

5 are close enough to Market Place (~10') that they should be considered corner lots. The application notes that the four-sided architecture lessens the aesthetic concern as viewed from Market Place.

### **DISCUSSION**

Planning Commission and Staff find the requested site layout and housing product to be of a high quality and appropriate for the area. One of the objectives of the RDS is to encourage larger lots, and many of the diversity elements not attained by this application are pursuant of that objective. However, a somewhat more dense development is appropriate at this location as a natural transition between established Ocotillo subdivisions to the east (which are of similar density), and the planned multi-family uses to the west. As such, some relief from the RDS is warranted because it allows for a more compatible development in the broader context.

The strong Santa Barbara architecture will be a positive presence adjacent to the predominantly Santa Barbara style housing to the east and the Santa Barbara Commercial style used in Downtown Ocotillo to the northwest. The strong architecture in a particular style warrants relief from some of the RDS architectural diversity standards in order to create a clear neighborhood identity. In order to enhance the street scene diversity within Parcel 5, Staff recommends a condition that would require an additional 4000 Series floor plan and elevation be provided of an equal or greater quality level to those presented in the development booklet. The application indicates that such a floor plan has already been conceptualized.

It is noted that Lot 15 of Parcel 5 is a "lonely lot" with no neighbors on either side – a situation that is generally not conducive to the neighborhood concept. However, Lot 15 does have neighbors behind it and across the street (Ivy Street). Also, a similar situation exists directly across Market Place in the established residential development, making it part of the area character.

### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held October 19, 2011 at the Ocotillo Golf Resort clubhouse. Approximately 40 neighbors attended. A full overview of the project was given (for all four parcels). Neighbors asked a variety of general questions. No opposition was expressed.
- At the time of this writing, Staff is not aware of any opposition to the request.

### **PLANNING COMMISSION VOTE REPORT**

Motion to approve:

In Favor: 6      Opposed: 1 (Cason)

The dissenting Commissioner felt that Parcel 5 has too many lots for this type of product, and that two of its lots should be eliminated.

**RECOMMENDED ACTION**

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of PDP in case PDP11-0012/PPT11-0007 WATERS AT OCOTILLO – PARCELS 5 & 6 subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled “Waters at Ocotillo – Parcels 5 & 6”, kept on file in the City of Chandler Planning Services Division, in File No. PDP11-0012, except as modified by condition herein.
2. Compliance with original conditions adopted by the City Council as Ordinance No. 3890 in case DVR06-0052 THE WATERS AT OCOTILLO, except as modified by condition herein.
3. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners’ association.
4. The applicant will work with staff to provide an additional floor plan and elevation for the 4000 Series product that is of an equal or greater quality level to the other 4000 Series products presented in the development booklet.

Planning Commission and Staff recommend approval of the Preliminary Plat subject to the following condition.

1. Approval by the City Engineer and Director of Transportation & Development with regard to the details of all submittals required by code or condition.

**PROPOSED MOTIONS**

▪ **PDP:**

Move to approve PDP case PDP11-0012 WATERS AT OCOTILLO – PARCELS 5 & 6 subject to the conditions recommended by Planning Commission and Staff.

▪ **Preliminary Plat:**

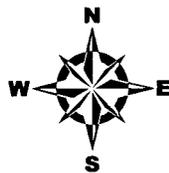
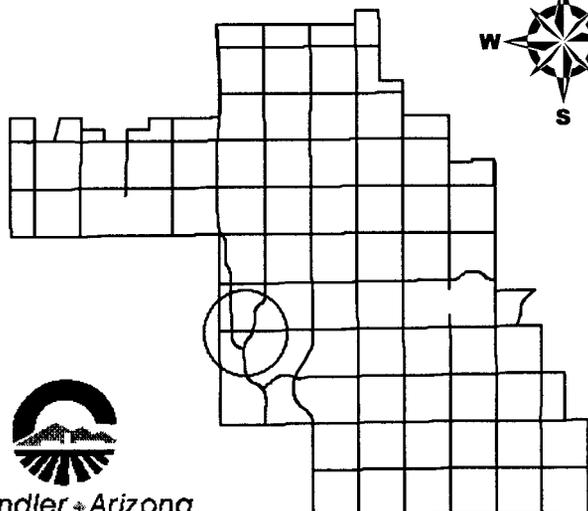
Move to approve Preliminary Plat case PPT11-0007 WATERS AT OCOTILLO – PARCELS 5 & 6 subject to the conditions recommended by Planning Commission and Staff.

**Attachments**

1. Vicinity Maps
2. Site Plan
3. Landscape Plan
4. Sample Streetscape (Parcel 5 Lots 1-5)
5. 4000 Series Elevations
6. 5500 Series Elevations
7. Preliminary Plat
8. Ordinance No. 3890
9. Exhibit A, Development Booklet



## Vicinity Map



**PDP11-0012**

**The Waters at Ocotillo  
Parcels 5 and 6**





Queen Creek Rd.

Price Rd.

Project Site

## Vicinity Map

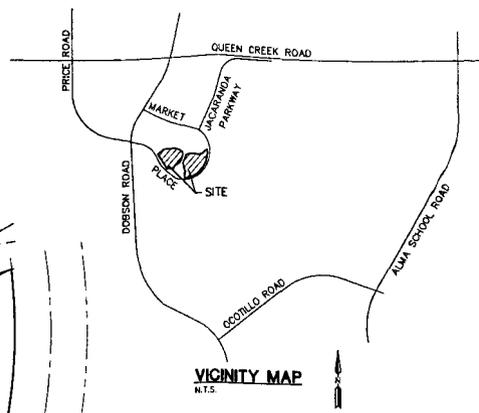
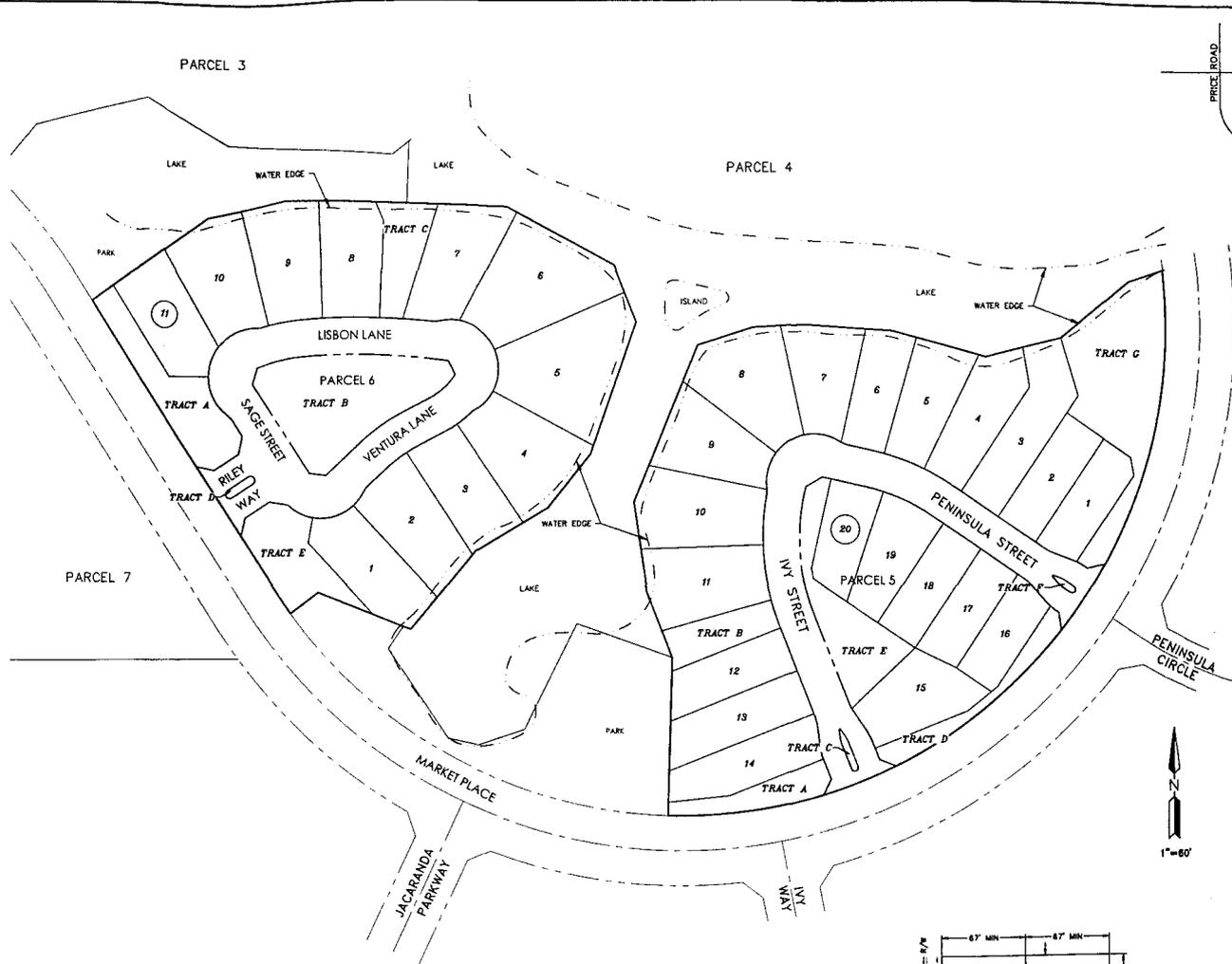


PDP11-0012

The Waters at Ocotillo  
Parcels 5 and 6

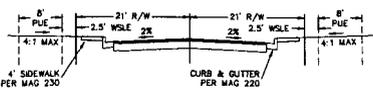


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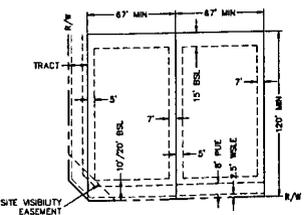


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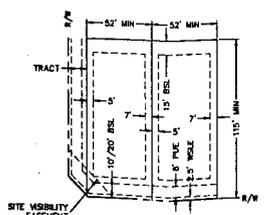
PARCEL 5	GROSS AREA:	5.88 ac.
	DENSITY:	3.40 du/ac
TOTAL LOTS:	30	
LOT SIZES:	25'x115'	
2 LOTS @	87'x120'	
PARCEL 6	GROSS AREA:	4.73 ac.
	DENSITY:	2.32 du/ac
TOTAL LOTS:	11	
LOT SIZES:	87'x120'	



**LOCAL STREET SECTION**  
PER C.O.C. DETAIL C-213 N.T.S.



**TYPICAL LOT DETAIL**  
87'x120' N.T.S.



**TYPICAL LOT DETAIL**  
52'x115' N.T.S.

DATE	REVISION	REV.	THE WATERS AT OCOTILLO	3010 SOUTH PINE DR. STE 102 CHANDLER, ARIZONA PH: (480) 878-8830 CH: (480) 878-8830 WWW.VANTAGERESOURCES.COM
			PHASE I	
			CHANDLER, ARIZONA	
			CONCEPTUAL SUBDIVISION PLAN	
				PROJ. NO.: 0544
				SCALE: 1"=80'
				DRAWN: SKZ
				DATE: 11/7/11
				DWG. NO.
				1
				SHT. 1 OF 1

MEXICAN FAN PALM	
<b>SHUBB &amp; ACCENTS</b>	Stw
Bougainvillea 'Sisters Kiss'	5 gal.
Baccharis Kent' Bougainvillea	10 gal.
Coccoloba aurea	5 gal.
Mexican Bird-of-Paradise	5 gal.
Leucosiphon argenteus 'No. 8500'	5 gal.
'No. 8500'	5 gal.
Muhlenbergia capillaris 'Petal Aest'	5 gal.
'Petal Hill Green'	5 gal.
Nolina mexicana	5 gal.
Basel Grass	5 gal.
Ruellia americana	5 gal.
Desert Humilis	5 gal.
Tecoma 'Orange Jubilee'	5 gal.
'Orange Jubilee'	5 gal.
<b>GRUNTINGERS</b>	Stw
Yucca species 'New Gold'	1 gal.
'New Gold' Yucca	1 gal.
Yucca species 'Hanging Color'	1 gal.
'Hanging Color'	1 gal.
<b>MISCELLANEOUS</b>	Stw
Concrete Header	8" x 8"
Decomposed Granite - 'Sedimentation Brown'	12" Screened
1/4" - 3/8" Iron' Basaltic Soil	
Seasonal Color Product	Per plan

Existing island to contain:

- Mexican Fan Palms
- Artificial Turf

Focal area / gathering node to contain amenities such as:

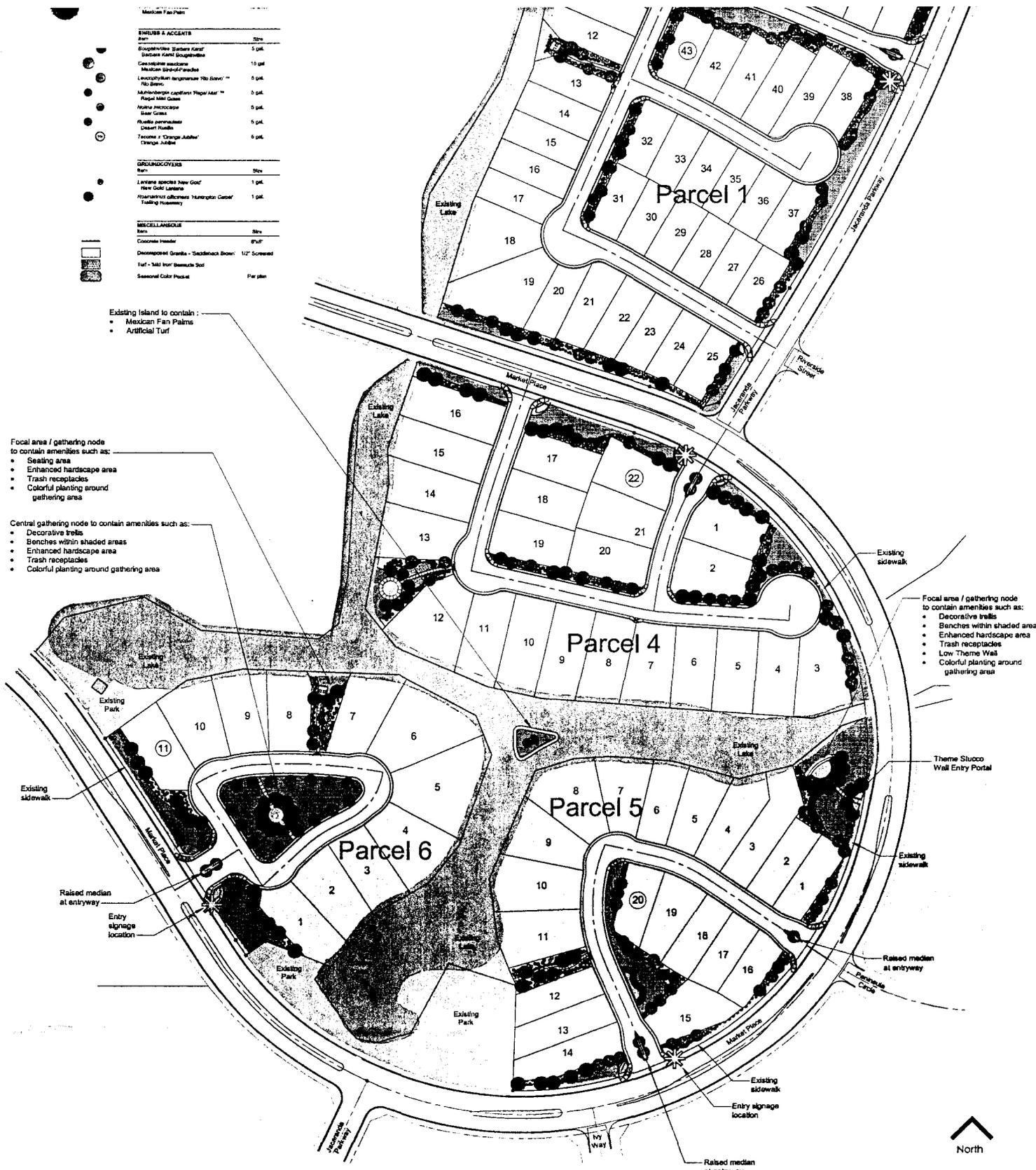
- Seating area
- Enhanced hardscape area
- Trash receptacles
- Colorful planting around gathering area

Central gathering node to contain amenities such as:

- Decorative trellis
- Benches within shaded areas
- Enhanced hardscape area
- Trash receptacles
- Colorful planting around gathering area

Focal area / gathering node to contain amenities such as:

- Decorative trellis
- Benches within shaded areas
- Enhanced hardscape area
- Trash receptacles
- Low Theme Wall
- Colorful planting around gathering area



Scale: NOT TO SCALE  
Date: November 7, 2011



# THE WATERS AT OCOTILLO Conceptual Landscape Plan

A Community by Pulte Homes

**HADLEY DESIGN GROUP**  
7400 E. McDonald Drive Suite 122  
Scottsdale, Arizona 85250  
Tel: 480.478.0086 Fax: 480.478.0087  
www.hadleydesigngroup.com



Plan 4025-1 Lot 5

Plan 4030-1 Lot 4

Plan 4026-2 Lot 3

Plan 4030-1 Lot 2

Plan 4025-1 Lot 1

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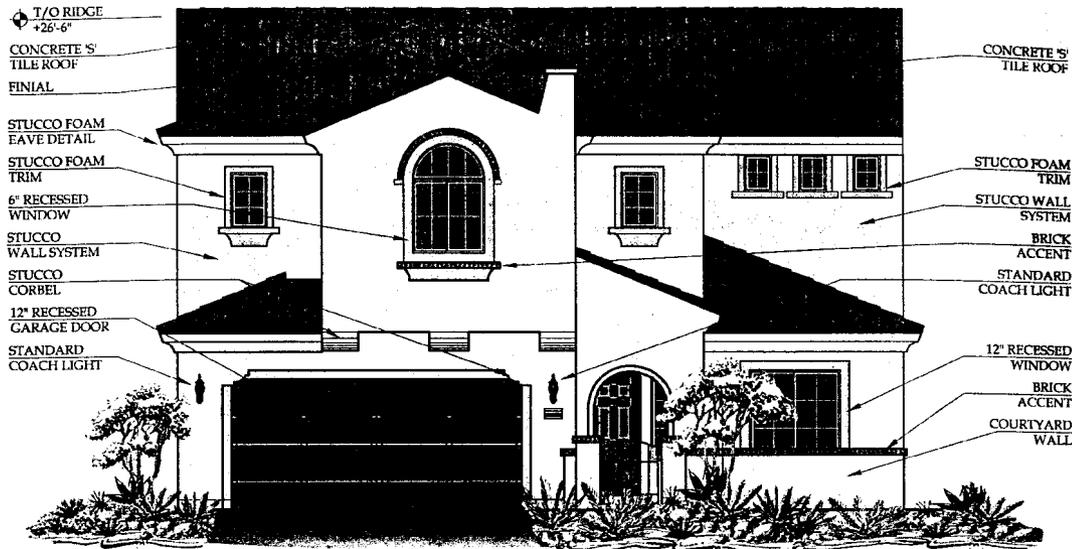
## STREETSCAPE - FRONT ELEVATION

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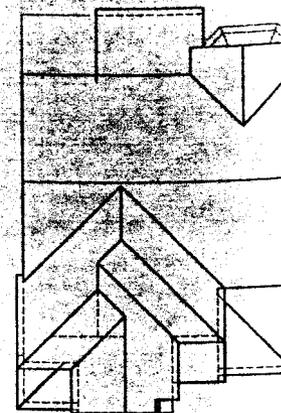
The Waters at Ocotillo

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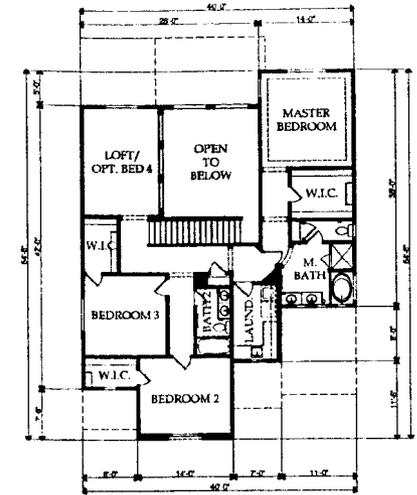


Front Elevation 'A'

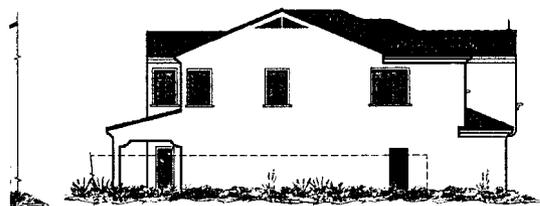
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Roof Plan



Second Floor Plan

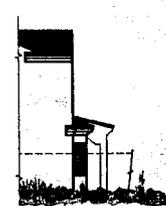


Left Elevation 'A'

Deck



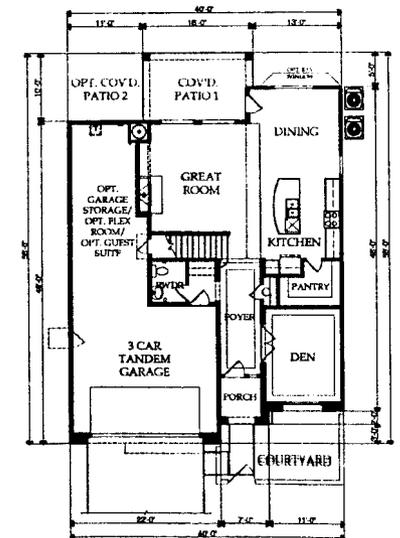
Right Elevation 'A'



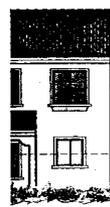
Right Elevation 'A'  
w/ Opt. Bay Window



Front Elevation 'A'  
Inside Courtyard



First Floor Plan



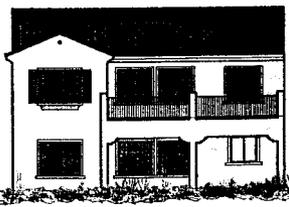
on 'A'



Rear Elevation 'A'  
W/ Patio Option



Rear Elevation 'A'  
W/ Opt. Walk Deck 1



Rear Elevation 'A'  
W/ Opt. Walk Deck 2



Rear Elevation 'A'  
W/ Opt. Bay Window

Plan 4025-1 ■ 2,504 Sq. Ft.  
The Waters at Ocotillo - 4000 Series

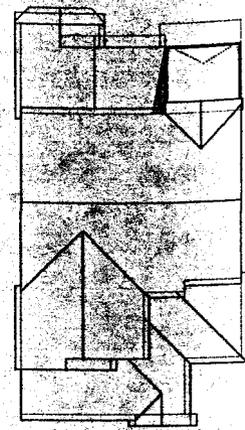


1/2" RIDGE  
 +26'-11"  
 CONCRETE'S  
 TILE ROOF  
 FINIAL  
 DECORATIVE  
 GABLE DETAIL  
 STUCCO FOAM  
 EAVE DETAIL  
 8" RECESSED  
 WINDOW  
 DECORATIVE  
 SHUTTER  
 BRICK ACCENT  
 STANDARD  
 COACH LIGHT  
 12" RECESSED  
 GARAGE DOOR  
 STANDARD  
 COACH LIGHT

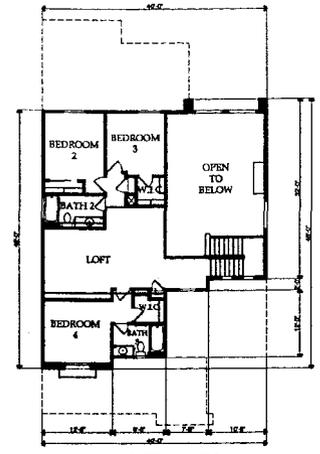
CONCRETE'S  
 TILE ROOF  
 DECORATIVE  
 IRON DETAIL  
 STUCCO FOAM  
 TRIM  
 STUCCO WALL  
 SYSTEM  
 DECORATIVE  
 GABLE DETAIL  
 BRICK ACCENT  
 6" RECESSED  
 WINDOW  
 BRICK ACCENT

Front Elevation 'A'

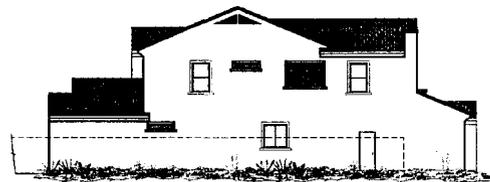
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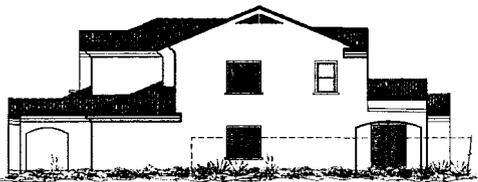
Roof Plan



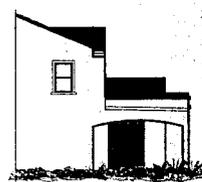
Second Floor Plan



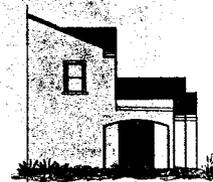
Left Elevation 'A'



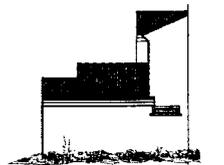
Right Elevation 'A'



Right Elevation 'A'  
w/ Opt. Patio  
Extension



Right Elevation 'A'  
w/ Opt. Extended  
Dining Room



Left Elevation 'A'  
w/ Opt. Bay Window



Rear Elevation 'A'



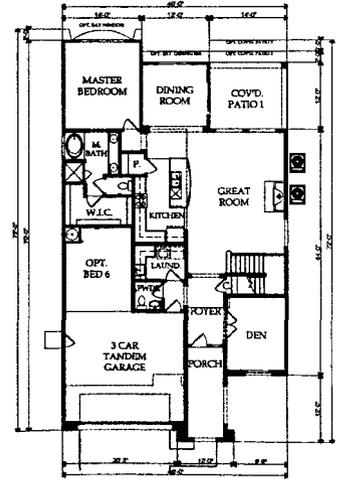
Rear Elevation 'A'  
w/ Opt. Patio Extension



Rear Elevation 'A'  
w/ Opt. Extended  
Dining Rm.



Rear Elevation 'A'  
w/ Opt. Bay Window



First Floor Plan



Plan 4026-2 ■ 2,693 Sq. Ft.  
 The Waters at Ocotillo - 4000 Series  
12.18.2011 • SCALE: NOT TO SCALE

The Waters at Ocotillo - 4026-2



T/O RIDGE  
+28'-6"

CONCRETE S'  
TILE ROOF

DECORATIVE  
GABLE DETAIL

STUCCO WALL  
SYSTEM

24" RECESSED  
WINDOW

DECORATIVE  
BRICK

STANDARD  
COACH LIGHT

STUCCO  
CORBEL

STANDARD  
COACH LIGHT

12" RECESSED  
GARAGE DOOR

CONCRETE S'  
TILE ROOF

DECORATIVE  
VENT DETAIL

STUCCO EAVE  
DETAIL

STUCCO WALL  
SYSTEM

24" RECESSED  
WINDOW

DECORATIVE  
BRICK

CONCRETE S'  
TILE ROOF

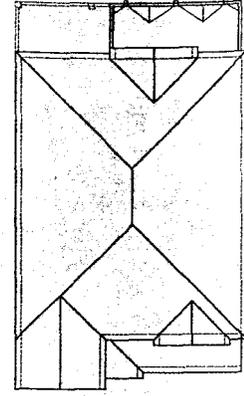
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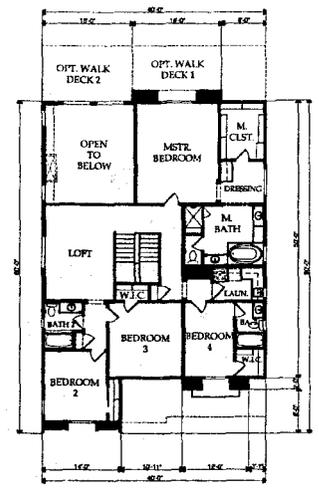
STUCCO FOAM  
TRIM

Front Elevation 'A'

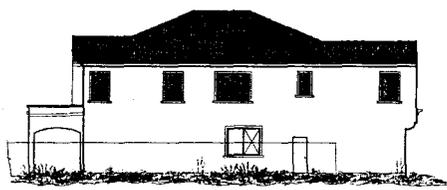
COLORS AND FINISHES MAY VARY BE  
AVAILABLE TO THE BUYER. ALL FINISHES  
ARE TO BE SEEN IN THE MODEL HOME OR  
IN THE SHOW ROOM.



Roof Plan



Second Floor Plan



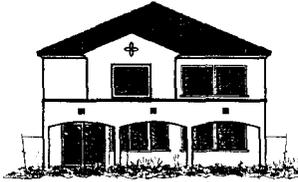
Left Elevation 'A'



Rear Elevation 'A'



Right Elevation 'A'



Rear Elevation 'A' w/  
Optional Patio 2



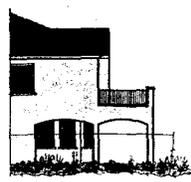
Rear Elevation 'A' w/  
Optional Walk Deck 1



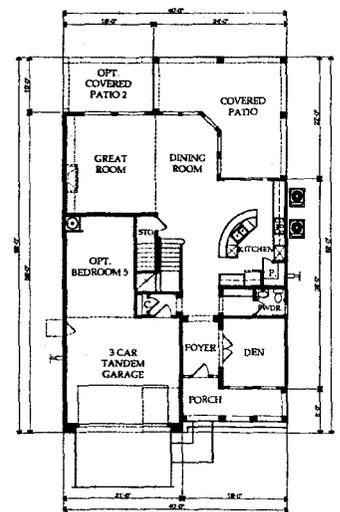
Left



Rear Elevation 'A' w/  
Optional Walk Deck 2



Right



First Floor Plan

Plan 4030-1 ■ 3,081 Sq. Ft.  
The Waters at Ocotillo - 4000 Series

1/8"=1'-0" SCALE NOT TO SCALE



The Waters at Ocotillo - 4030-1

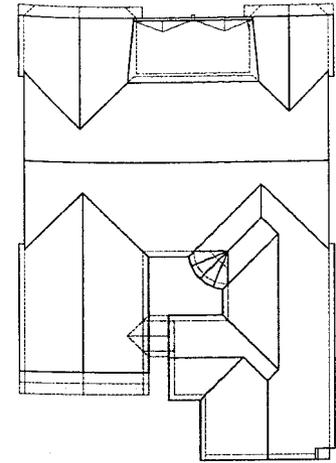


- BRICK ACCENT
- CONCRETE S' TILE ROOF
- 1/2" ROOF
- 17" DECORATIVE GABLE DETAIL
- STUCCO WALL SYSTEM
- STANDARD COACH LIGHT
- WROUGHT IRON GATE
- 12" RECESSED GARAGE DOOR

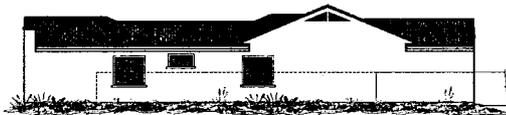
- CONCRETE S' ROOF TILE
- DECORATIVE GABLE DETAIL
- DECORATIVE FINIAL
- STUCCO FOAM EVE DETAIL
- 12" RECESSED WINDOW
- STUCCO WALL SYSTEM

Front Elevation 'A'

COLORS IN THIS DRAWING MAY NOT BE ACCURATELY REPRESENTED DUE TO PRINTING PLEASE REFER TO THE ACTUAL PAINT CHIPS IN THE DR PACKAGE.



Roof Plan



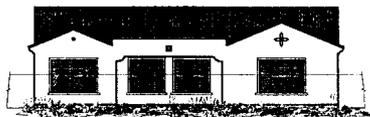
Left Elevation 'A'



Right Elevation 'A'



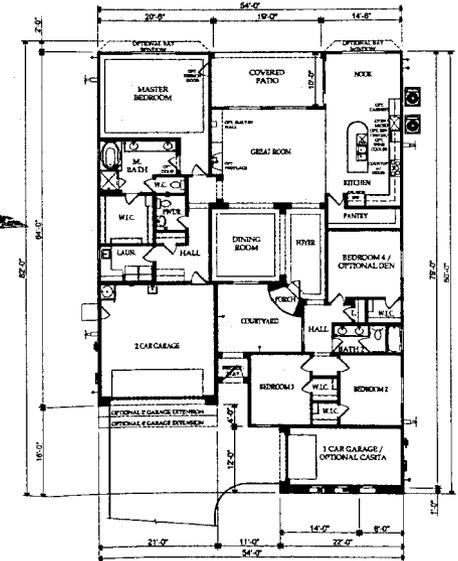
Partial Front & Left Elevation 'A' w/ Optional Guest Suite



Rear Elevation 'A'



Rear Elevation 'A' w/ Optional Bay Windows at Nook and Master Bedroom



Floor Plan  
Plan 5526-2 ■ 2,669 Sq. Ft.  
The Waters at Ocotillo - 5500 Series

1/24/2011 • SCALE: NOT TO SCALE

The Waters at Ocotillo - 5526-2

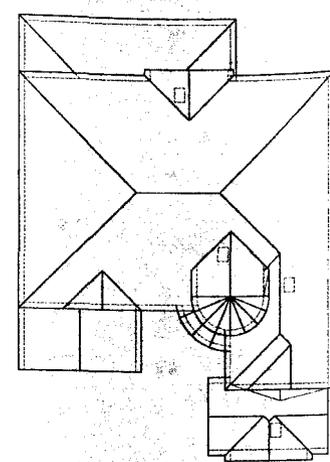


Front Elevation 'A'

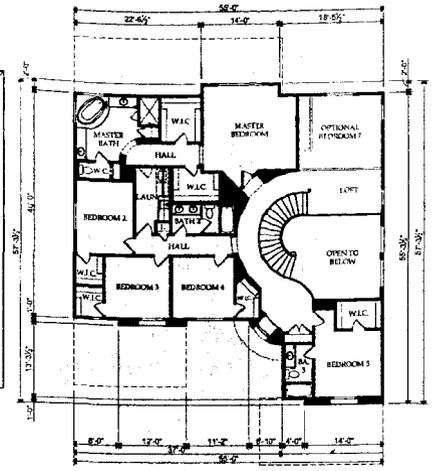
COLORS IN THIS RENDERING MAY NOT BE ACCURATE. PLEASE REFER TO THE ACTUAL PAINT CHIPS IN THE PACKAGE.

- 1/2" O RIDGE
- CONCRETE S
- TILE ROOF
- DECORATIVE VENT
- 12" RECESSED WINDOW
- STUCCO FOAM EAVE DETAIL
- STUCCO FOAM TRIM
- DECORATIVE GABLE DETAIL
- STANDARD COACH LIGHT
- STUCCO WALL SYSTEM
- 8" RECESSED GARAGE DOOR
- STANDARD COACH LIGHT

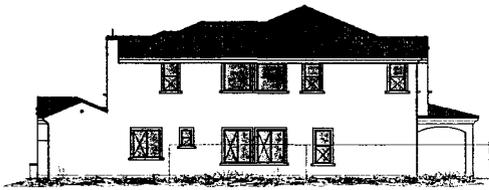
- DECORATIVE FINIAL
- DECORATIVE IRON DETAIL
- CONCRETE S ROOF FILE
- DECORATIVE FINIAL
- DECORATIVE VENT
- 10" RECESSED WINDOW
- BRICK ACCENT
- STUCCO WALL SYSTEM
- 12" RECESSED WINDOW
- STUCCO FOAM TRIM
- STUCCO FOAM EAVE DETAIL
- 24" RECESSED WINDOW
- BRICK ACCENT
- DECORATIVE WING WALLS



Roof Plan



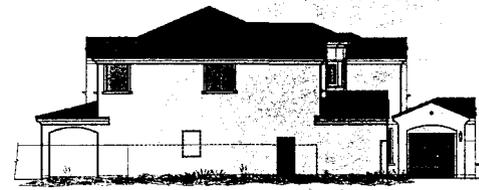
Second Floor Plan



Left Elevation 'A'



Rear Elevation 'A'



Right Elevation 'A'



Front Elevation 'A' w/ Optional Courtyard Wall



Front Elevation 'A' w/ Optional Casita or Guest suite



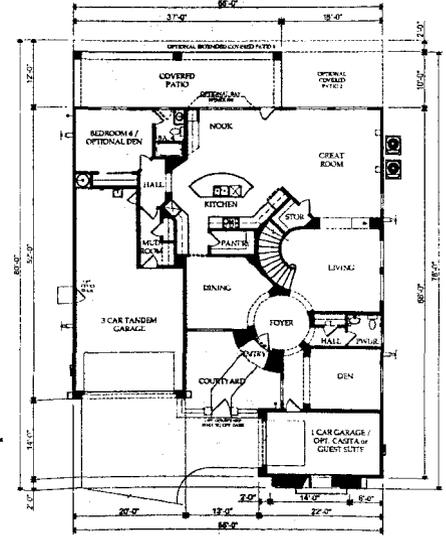
Rear Elevation 'A' w/ Optional Patio 2, 3 and 4



Rear Elevation 'A' w/ Optional Walk Deck 1



Rear Elevation 'A' w/ Optional Walk Deck 2



First Floor Plan

Plan 5542-4 ■ 4,261 Sq. Ft.

The Waters at Ocotillo - 5500 Series

1/04/2011 • SCALE: NOT TO SCALE



The Waters at Ocotillo - 5542-4

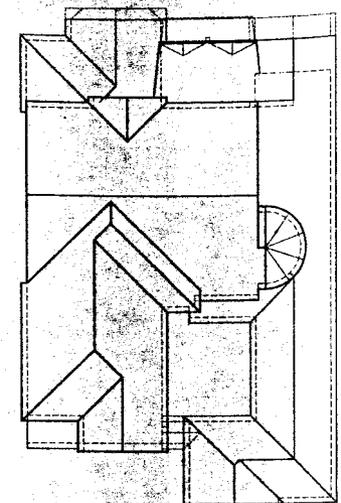


- 1/2" RIFA #427-11"
- CONCRETE ROOF TILES
- BRICK ACCENT
- STUCCO FOAM EAVE DETAIL
- DECORATIVE IRON DETAIL
- 2" RECESSED WINDOW
- BRICK ACCENT
- STANDARD COACH LIGHT
- STUCCO CORBEL
- 12" RECESSED GARAGE DOOR
- STANDARD COACH LIGHT

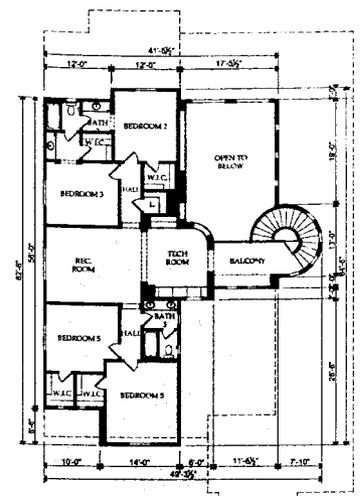
- CONCRETE'S ROOF TILE
- STUCCO FOAM EAVE DETAIL
- STUCCO WALL SYSTEM
- DECORATIVE GABLE DETAIL
- DECORATIVE FINIAL
- DECORATIVE COLUMN
- 12" RECESSED WINDOW
- STUCCO FOAM EAVE DETAIL
- DECORATIVE IRON DETAIL
- STUCCO WALL SYSTEM
- BRICK ACCENT

Front Elevation 'A'

COLORS IN THIS RENDERING MAY VARY SLIGHTLY FROM ACTUAL COLORS. ACCURATELY REPRESENTED BY THE ARCHITECT'S DRAWING. PLEASE REFER TO THE ACTUAL PAINT COLORS IN THE DR PACKAGE.



Roof Plan



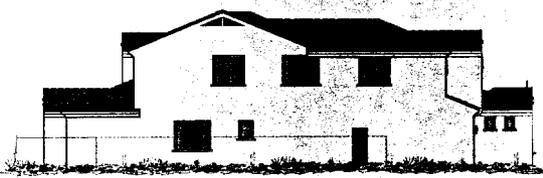
Second Floor Plan



Right Elevation 'A'



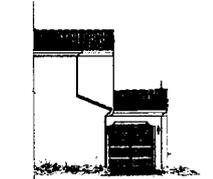
Rear Elevation 'A'



Left Elevation 'A'



Front Elevation 'A' @ Opt. 1 Car Garage I.L.O. Game Room



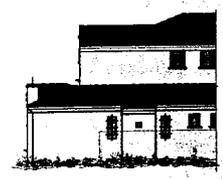
Left Elevation 'A' @ Opt. 1 Car Garage I.L.O. Game Room



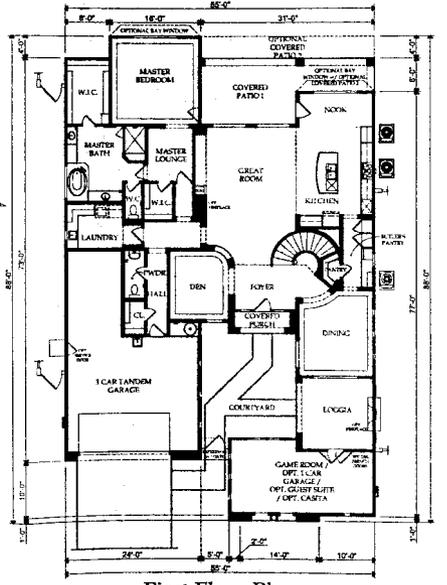
Rear Elevation 'A' w/ Optional Bay Window at Master Bedroom



Rear Elevation 'A' w/ Optional Extended Patio 2



Right Elevation 'A' @ Opt. Fireplace at Loggia



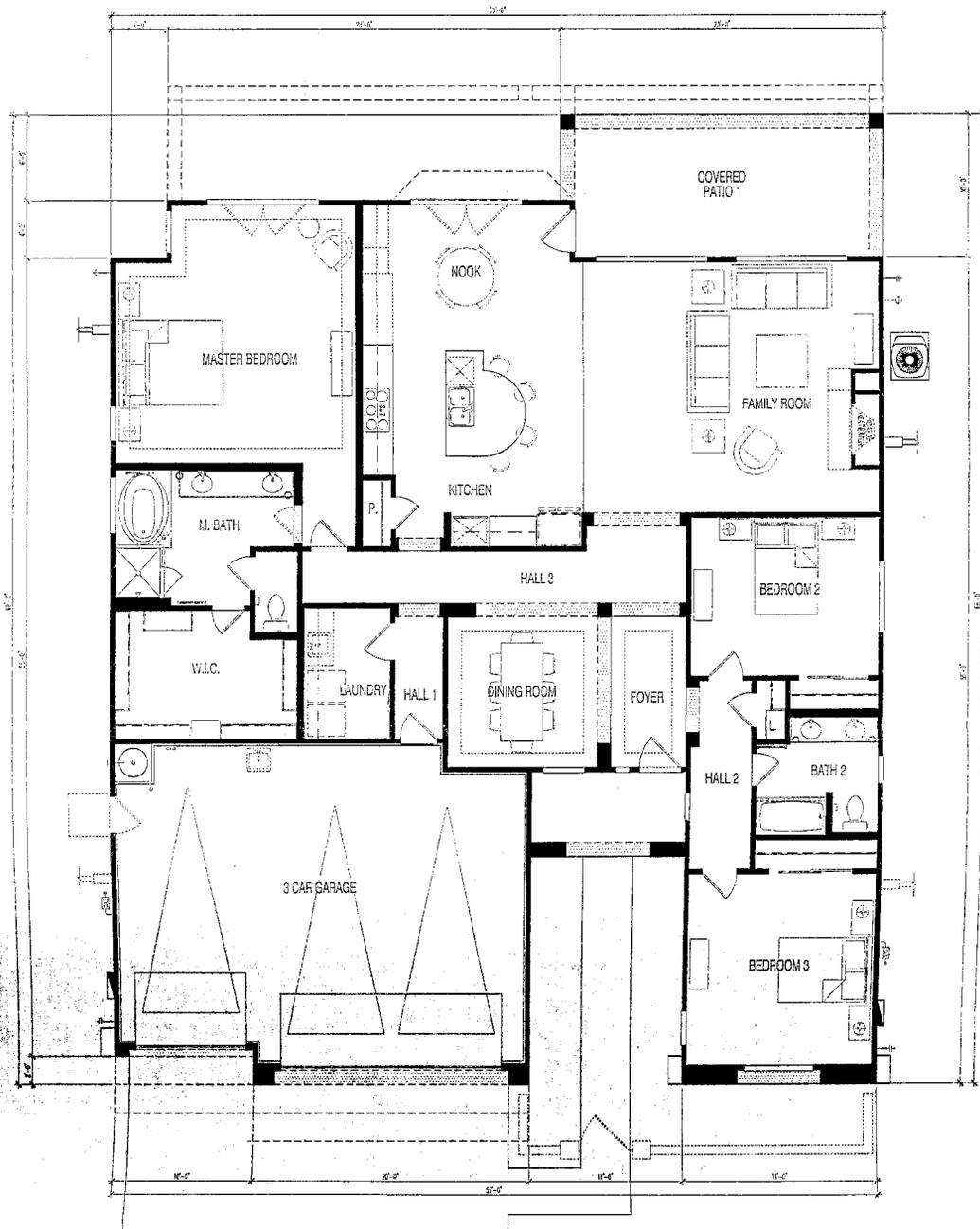
First Floor Plan

Plan 5543-1 ■ 4,368 Sq. Ft.  
The Waters at Ocotillo - 5500 Series

1/24/2011 • SCALE: NOT TO SCALE



The Waters at Ocotillo - 5543-1



FIRST FLOOR PLAN - ELEVATION 'A'

SCALE: 1/4" = 1'-0"

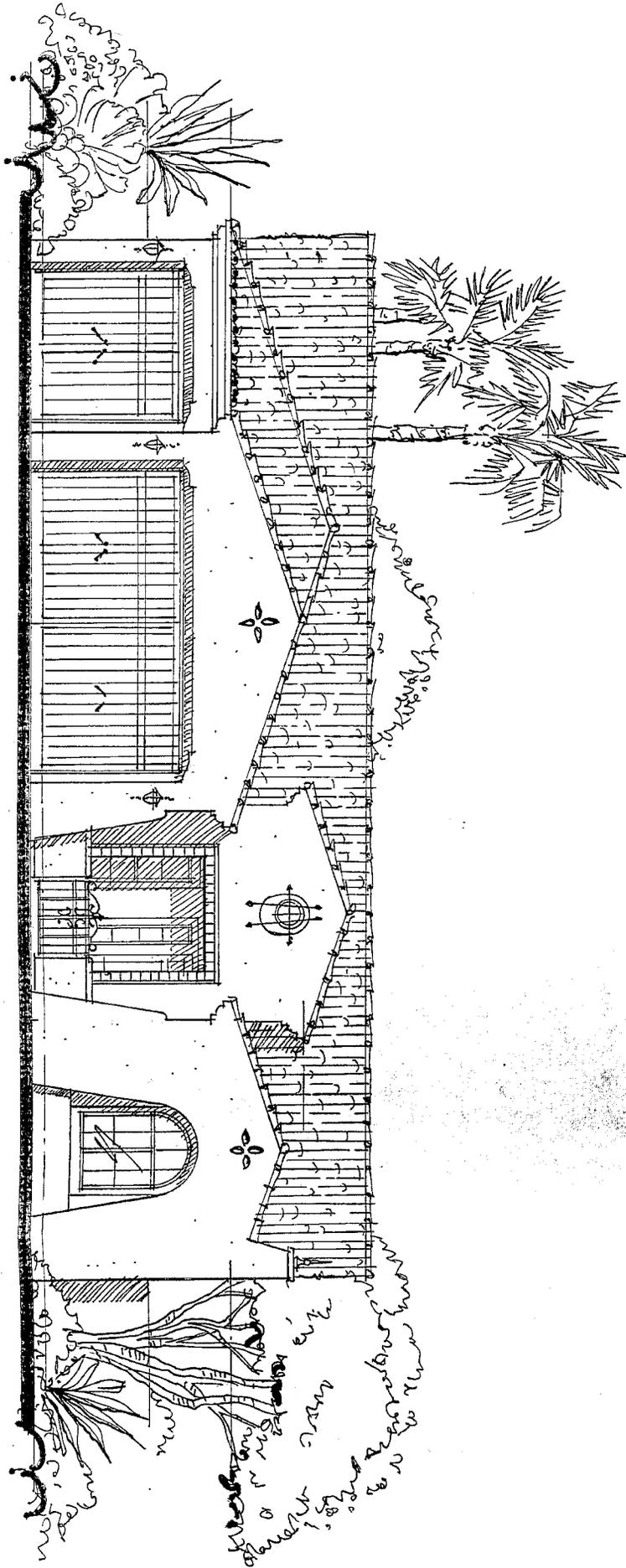


5523-1

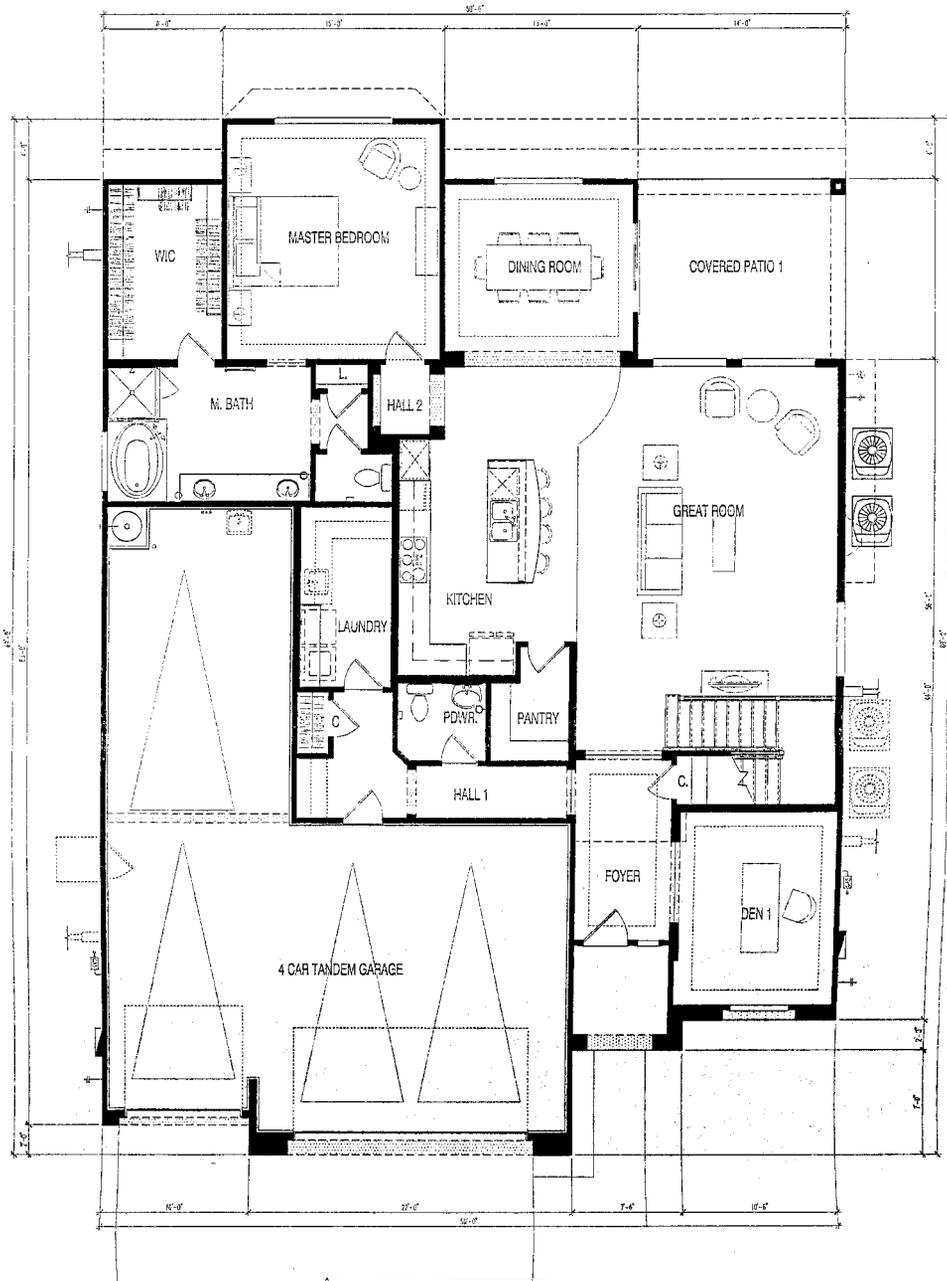
THE WATERS AT OCOTILLO - 5500 SERIES

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08/31/2011



5843-1  
ELEV. A



FIRST FLOOR PLAN - ELEVATION 'A'  
 SCALE: 1/4" = 1'-0"

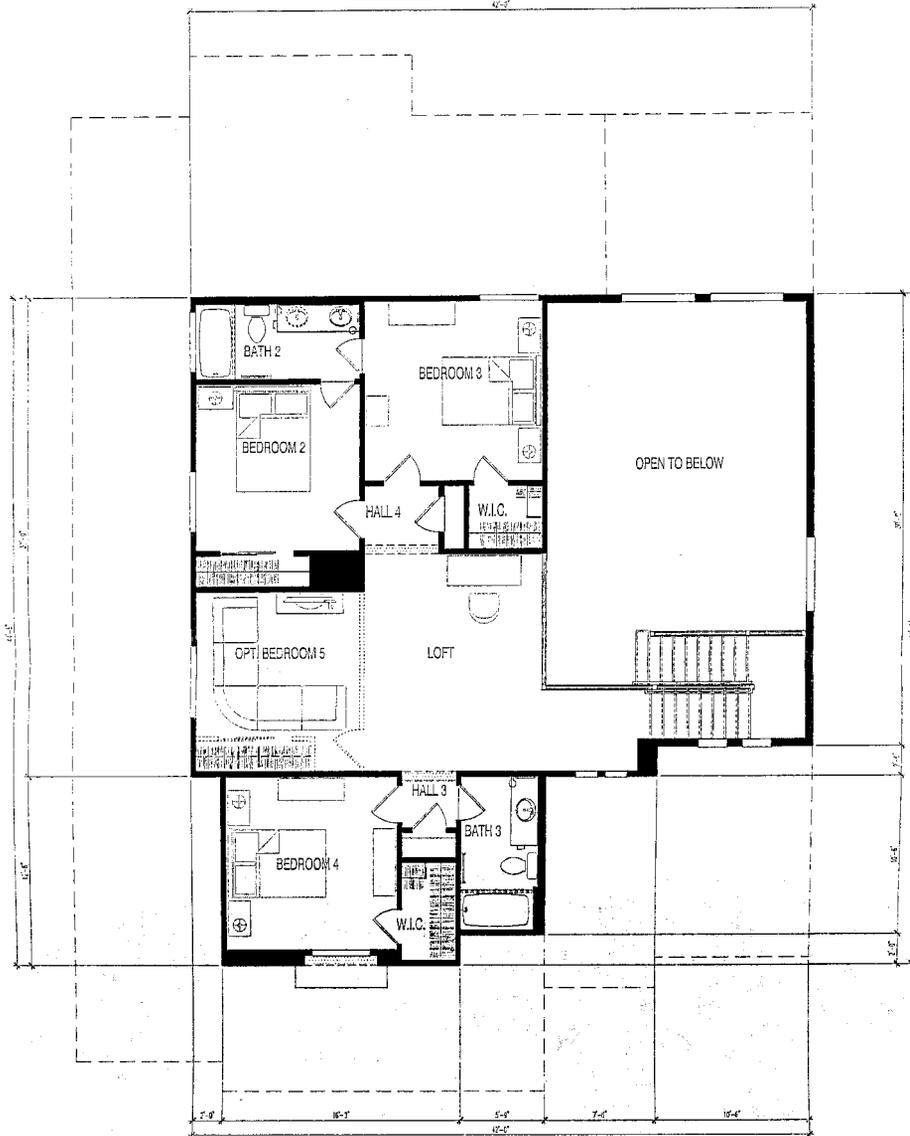


5030-2

THE WATERS AT OCOTILLO - 5500 SERIES

(c) Copyright 2011 PulteGroup, Inc.

08/31/2011



SECOND FLOOR PLAN - ELEVATION 'A'  
SCALE: 1/4" = 1'-0"

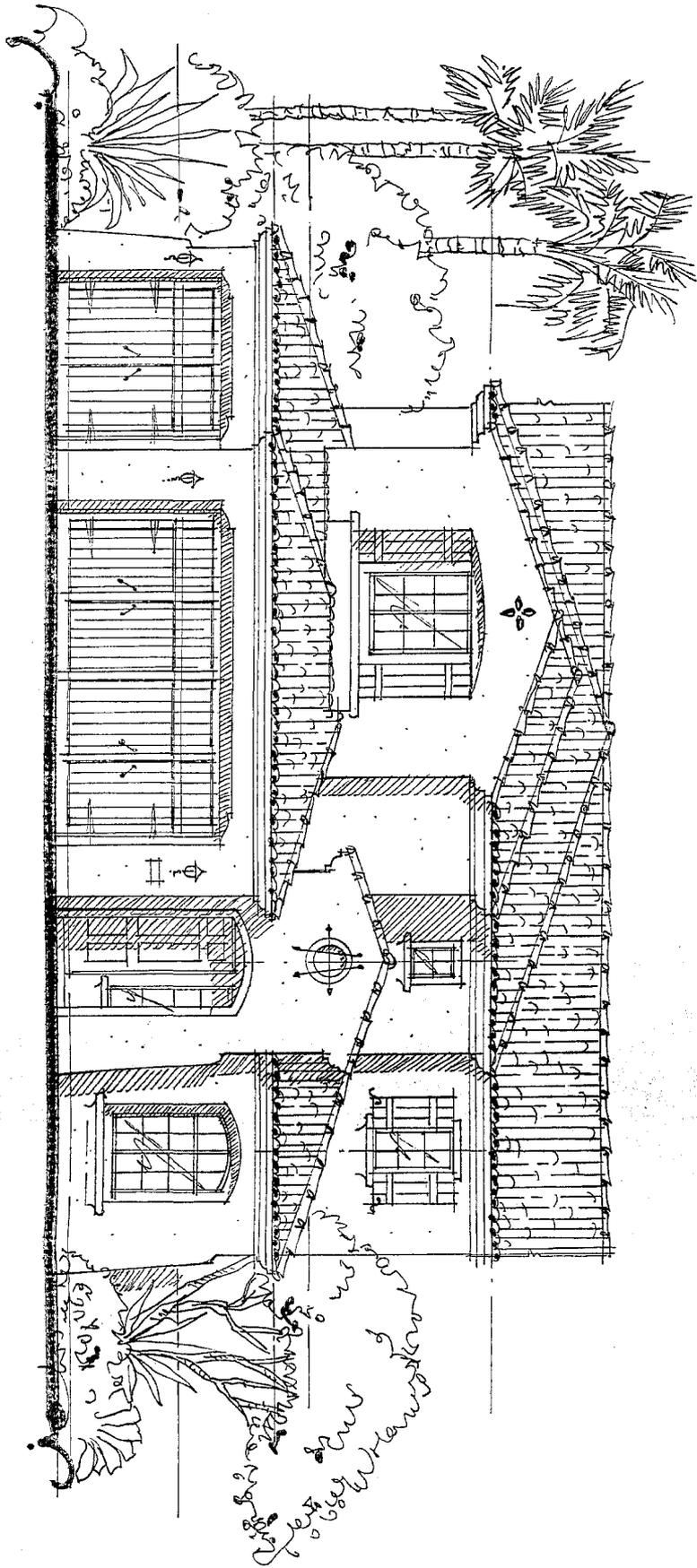


5030-2

THE WATERS AT OCOTILLO - 5500 SERIES

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5030-1  
ELEV A

# PRELIMINARY PLAT FOR WATERS AT OCOTILLO PHASE I

A PORTION OF THE EAST HALF OF SECTION 18,  
TOWNSHIP 2 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA

## LEGAL DESCRIPTIONS

**PARCEL 5**  
BEING A PORTION OF THE EAST HALF OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, 683.48 FEET ALONG THE NORTH LINE OF SAID SECTION 18;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 2199.03 FEET TO THE TRUE POINT OF BEGINNING AND TO A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL POINT OF WHICH BEARS SOUTH 83 DEGREES 23 MINUTES 28 SECONDS WEST, 560.00 FEET;  
THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 98 DEGREES 17 MINUTES 59 SECONDS;  
HAVING AN ARC DISTANCE OF 960.78 FEET;  
THENCE NORTH 21 DEGREES 33 MINUTES 28 SECONDS WEST, 79.99 FEET;  
THENCE NORTH 08 DEGREES 19 MINUTES 56 SECONDS WEST, 103.54 FEET;  
THENCE NORTH 22 DEGREES 38 MINUTES 09 SECONDS WEST, 183.29 FEET;  
THENCE NORTH 72 DEGREES 38 MINUTES 35 SECONDS EAST, 67.59 FEET;  
THENCE NORTH 88 DEGREES 36 MINUTES 19 SECONDS EAST, 59.17 FEET;  
THENCE SOUTH 08 DEGREES 02 MINUTES 40 SECONDS EAST, 102.70 FEET;  
THENCE SOUTH 74 DEGREES 50 MINUTES 32 SECONDS EAST, 112.00 FEET;  
THENCE NORTH 79 DEGREES 38 MINUTES 07 SECONDS EAST, 90.00 FEET;  
THENCE NORTH 50 DEGREES 22 MINUTES 04 SECONDS EAST, 103.00 FEET;  
THENCE NORTH 71 DEGREES 14 MINUTES 04 SECONDS EAST, 41.23 FEET TO THE TRUE POINT OF BEGINNING.

**PARCEL 6**  
BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

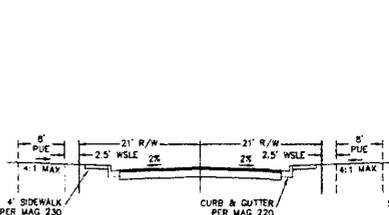
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST ALONG THE NORTH LINE OF SAID SECTION 18, 1924.09 FEET;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 2238.49 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 54 DEGREES 27 MINUTES 35 SECONDS EAST, 165.84 FEET;  
THENCE NORTH 78 DEGREES 18 MINUTES 49 SECONDS EAST, 92.18 FEET;  
THENCE SOUTH 87 DEGREES 57 MINUTES 27 SECONDS EAST, 258.14 FEET;  
THENCE SOUTH 91 DEGREES 48 MINUTES 05 SECONDS EAST, 141.46 FEET;  
THENCE SOUTH 21 DEGREES 50 MINUTES 19 SECONDS EAST, 89.54 FEET;  
THENCE SOUTH 19 DEGREES 35 MINUTES 37 SECONDS WEST, 158.84 FEET;  
THENCE SOUTH 39 DEGREES 01 MINUTES 21 SECONDS WEST, 79.88 FEET;  
THENCE SOUTH 59 DEGREES 29 MINUTES 11 SECONDS WEST, 97.31 FEET;  
THENCE SOUTH 40 DEGREES 02 MINUTES 56 SECONDS WEST, 115.88 FEET;  
THENCE NORTH 68 DEGREES 32 MINUTES 04 SECONDS WEST, 114.56 FEET;  
THENCE SOUTH 54 DEGREES 00 MINUTES 03 SECONDS WEST, 40.00 FEET TO A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL POINT OF WHICH BEARS NORTH 54 DEGREES 00 MINUTES 03 SECONDS EAST, 560.00 FEET;  
THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 03 DEGREES 04 MINUTES 02 SECONDS, HAVING AN ARC DISTANCE OF 30.30 FEET;  
THENCE NORTH 32 DEGREES 53 MINUTES 55 SECONDS WEST, 394.37 FEET TO THE POINT OF BEGINNING.

## LEGEND

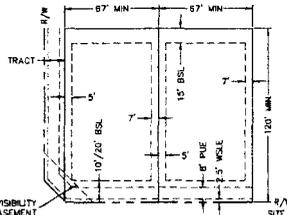
- BRASS CAP FLUSH
- MONUMENT AS NOTED
- BRASS CAP IN HAND HOLE
- SENER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- MODEL HOME
- DRAINAGE FLOW DIRECTION
- ⊙ EXISTING GAS MANHOLE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- ⊞ EXISTING ELECTRICAL PULL BOX
- ⊞ EXISTING TELEPHONE PEDISTAL
- EXISTING GUY WIRE
- ⊞ EXISTING POWER POLE
- BOUNDARY LINE
- SECTION LINE
- LOT LINE
- EASEMENT LINE
- R/W RIGHT OF WAY
- EXISTING CONTOUR & ELEVATION
- EXISTING FENCE
- EX W EXISTING WATER
- EX S EXISTING SEWER
- EX G EXISTING GAS
- OHU EXISTING OVERHEAD UTILITY LINES
- P-W PROPOSED WATER
- PUE PUBLIC UTILITY EASEMENT
- WSLE WATER & STREET LIGHT EASEMENT
- VNAE VEHICULAR NON-ACCESS EASEMENT
- VTE VISIBILITY TRIANGLE EASEMENT



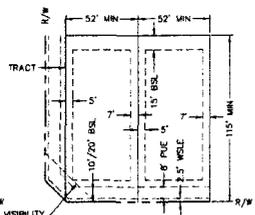
**KEY MAP**  
N.T.S.



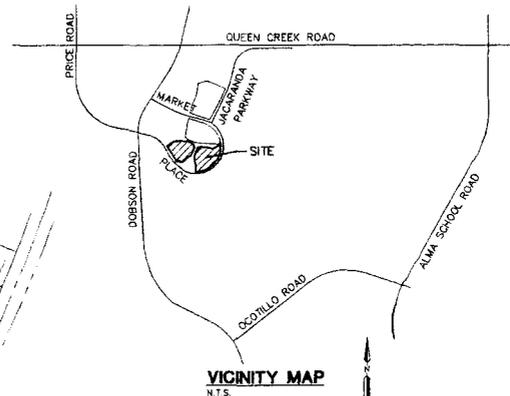
**LOCAL STREET SECTION**  
PER C.O.C. DETAIL C-213  
N.T.S.



**TYPICAL LOT DETAIL**  
67'x120'  
N.T.S.



**TYPICAL LOT DETAIL**  
32,115  
N.T.S.



**OWNER/DEVELOPER:**  
PULTE - CENTEX - DEL WEBB  
16757 N PERIMETER DRIVE  
SCOTTSDALE, AZ 85260  
PHONE: (480) 391-8109  
CONTACT: RYAN HUFFMAN

**ENGINEER:**  
VANTAGE RESOURCES LLC  
3010 S. PRISTON DR., SUITE 101  
CHANDLER, AZ 85226  
PHONE: (480) 829-8830  
CONTACT: TROY PETERSON

## BASE OF BEARING

THE BASIS OF BEARING NORTH 89 00 DEGREES 50 MINUTES 58 SECONDS EAST - ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST - PER MAP OF RECORD OF RIGHT-OF-WAY AND EASEMENTS FOR OCOTILLO, RECORDED IN BOOK 303 OF MAPS, PAGE 24 M.C.R.

## BENCHMARK

ONE BENCHMARK 444 SECTION 8, T2S, R5E, 3<sup>rd</sup> CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH AT INTERSECTION OF ARROYO DRIVE AND HAWK COURT; 240' NORTH OF QUEEN CREEK ROAD AND 200' EAST OF DOBSON ROAD.  
NORTHING: 823093.368  
EASTING: 717424.683  
ELEVATION: 1194.94 (NGVD 29)  
1198.65 (NAVD 88)  
EQUATION:  $NOVD\ 29 + 1.705' = NAVD\ 88'$

## SITE DATA

ZONING	PAZ - PLANNED AREA DEVELOPMENT
F.E.M.A. ZONE:	PARCEL 5 PARCEL 6
TOTAL SINGLE FAMILY LOTS:	20 11
GROSS AREA:	5,888 sq. ft. 4,733 sq. ft.
NET AREA:	5,888 sq. ft. 4,733 sq. ft.
OPEN SPACE:	1.13 ac. 1.02 ac.
DENSITY:	3.40 du/ac. 2.32 du/ac.
MIN LOT SIZE:	52'x115' & 67'x120' 67'x120'
MIN LOT AREA:	5,980 sq. ft. 8,040 sq. ft.
MAX LOT AREA:	12,176 sq. ft. 18,372 sq. ft.
AVERAGE LOT AREA:	8,820 sq. ft. 11,218 sq. ft.
LATITUDE:	33° 15' 17" 33° 15' 19"
LONGITUDE:	111° 52' 44" 111° 52' 52"

## UTILITIES SERVICES

WATER: CITY OF CHANDLER  
SEWER: SALT RIVER PROJECT  
TELEPHONE: CENTURY LINK  
CABLE: COX COMMUNICATIONS  
GAS: SOUTHWEST GAS  
RECLAIMED WATER: CITY OF CHANDLER

## FLOOD ZONE CERTIFICATION:

SUBJECT PARCEL LIES WITHIN ZONE "X" AND HAS BEEN DETERMINED TO BE AREAS OF 300-YEAR FLOOD; AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH UTILITY LINE UNDER-GROUNDING REQUIREMENT HAS BEEN SATISFIED. AREAS OF LESS THAN 1 FOOT OF MIN DRAINAGE AREA OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FORM 1% ANNUAL CHANCE FLOOD ACCORDING TO CURRENT FLOOD INSURANCE RATE MAP NO. 0401SC2645F, DATED SEPTEMBER 30, 2005, PANEL 2045 OF 4250.

## NOTES:

- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OF ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDER-GROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OF ACCEPTANCE WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDER-GROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THIS SUBDIVISION SHALL COMPLY WITH THE RESIDENTIAL DEVELOPMENT STANDARDS DATED MAY 21, 2002, AS PROVIDED IN THE APPROVED PDR FOR PARCELS 5 AND 6 OF THE WATERS AT OCOTILLO.
- THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

C.O.C. LOG NO. PPT 11-0007

DATE	
REVISION	
REV.	
<b>WATERS AT OCOTILLO</b>	
DOBSON ROAD MARKET PLACE	
CHANDLER, ARIZONA	
<b>PHASE I, PARCELS 5 &amp; 6 PRELIMINARY PLAT</b>	
3010 SOUTH PRISTON DRIVE, SUITE 101 CHANDLER, ARIZONA 85226 PHONE: (480) 829-8830	
OWNER: VANTAGE RESOURCES LLC ENGINEER: TROY PETERSON	
<b>VANTAGE RESOURCES, LLC</b> A Government Company	
FORM NO.	9544
SCALE:	AS NOTED
DRAWN:	SKP / JAS
DATE:	NOV 2011
DWG. NO.	PP01
SHT.	1 OF 3

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**PARCEL 5**

Lot #	Area
1	2717.19
2	7462.83
3	10874.53
4	2979.33
5	8631.69
6	7472.99
7	8601.35
8	12736.56
9	9812.49
10	11795.00
11	10914.58
12	2607.32
13	6797.12
14	8867.46
15	7106.01
16	6479.84
17	6647.66
18	7042.35
19	8134.27
20	8842.74

**PARCEL 6**

Lot #	Area
1	9964.99
2	10052.96
3	8246.84
4	1207.97
5	16371.99
6	16439.32
7	16487.13
8	9239.27
9	10254.80
10	10784.42
11	3299.82

**Curve Table**

Curve #	Length	Radius	Date	Target
CL2	54.58	200.00	01.5.04	27.47
CL3	98.85	100.00	05.5.04	32.80

**Parcel Line Table**

Line #	Length	Bearing
CL8	34.01	N67°44'58"E

**PARCEL 5**

**Tract Area Table**

Tract #	Use	Area (ft)	Area (ac)
TRACT A	LANDSCAPE AND OPEN SPACE	4972.88	0.1142
TRACT B	LANDSCAPE, ORNAMENT AND OPEN SPACE	9278.35	0.2121
TRACT C	LANDSCAPE, SEWER EXHAUST AND OPEN SPACE	159.86	0.0036
TRACT D	LANDSCAPE AND OPEN SPACE	4817.13	0.1109
TRACT E	LANDSCAPE, MAINTENANCE AND OPEN SPACE	12743.94	0.2927
TRACT F	LANDSCAPE, SEWER EXHAUST AND OPEN SPACE	198.88	0.0046
TRACT G	LANDSCAPE AND OPEN SPACE	20959.91	0.4805

**PARCEL 6**

**Tract Area Table**

Tract #	Use	Area (ft)	Area (ac)
TRACT A	LANDSCAPE AND OPEN SPACE	10460.23	0.2401
TRACT B	LANDSCAPE AND OPEN SPACE	19022.8	0.4383
TRACT C	LANDSCAPE, ORNAMENT AND OPEN SPACE	3918.84	0.0898
TRACT D	LANDSCAPE, SEWER EXHAUST AND OPEN SPACE	388.54	0.0089
TRACT E	LANDSCAPE AND OPEN SPACE	8786.81	0.1999

C.O.C. LOG NO. PPT 11-0007

PROJ. NO. 5944  
 SCALE: AS NOTED  
 DRAWN: SRF / MS  
 DATE: OCT 2011

DWG. NO.  
**PP02**

SHT. 2 OF 3



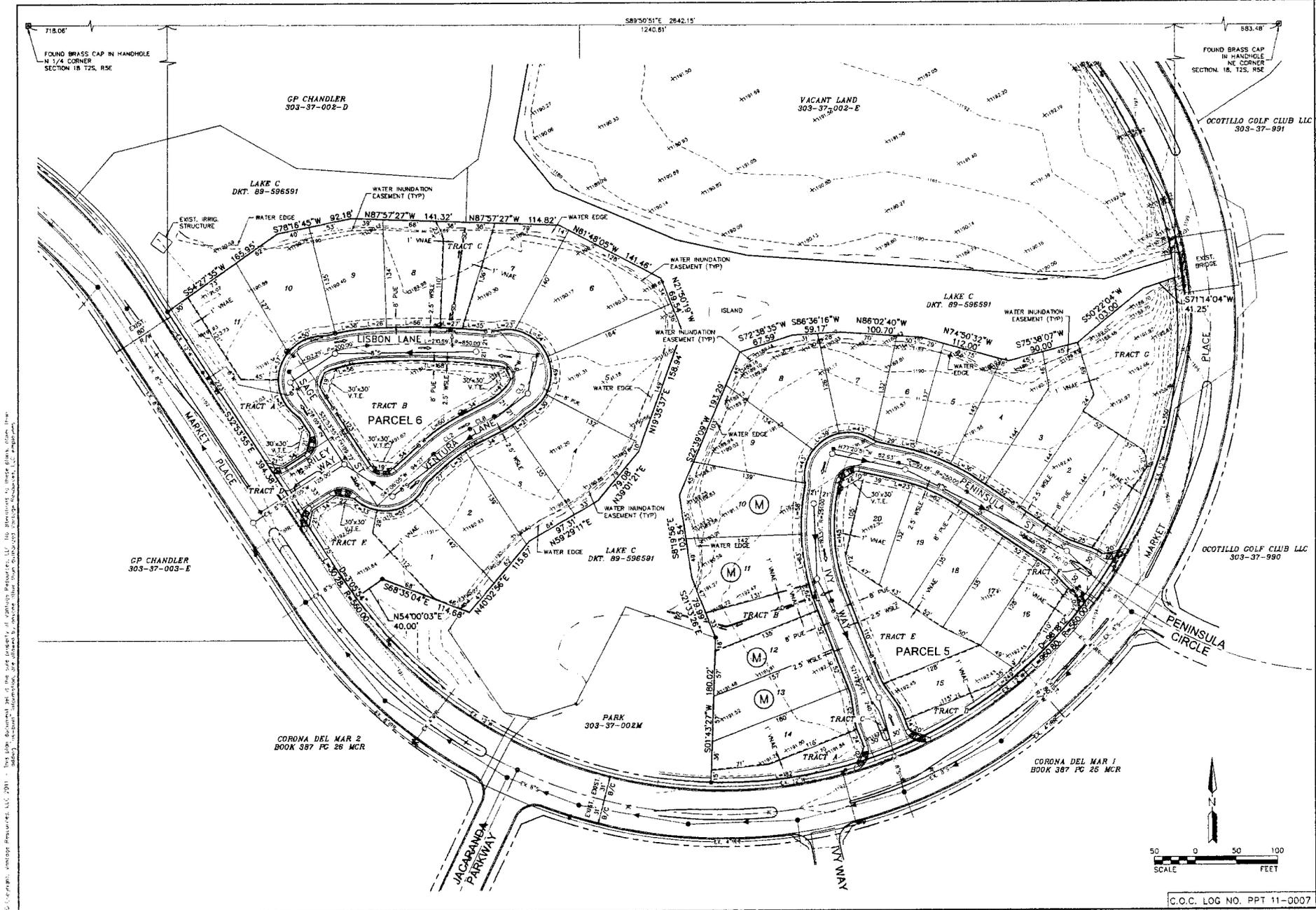
3010 SOUTH PRIEST DR. STE 101  
 TEMPE, ARIZONA 85282  
 PH (480) 525-8830

CIVIL ENGINEERING • WATER RESOURCES • PLANNING  
 CONSTRUCTION MANAGEMENT • SURVEY

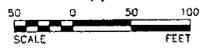
**WATERS AT OCOTILLO**  
 DOBSON ROAD & MARKET PLACE  
 CHANDLER, ARIZONA

**PHASE I, PARCELS 5 & 6 PRELIMINARY PLAT**

REV.	REVISION	DATE



DATE	
REVISION	
REV	
<b>WATERS AT OCOTILLO</b>	
DOBSON ROAD & MARKET PLACE CHANDLER, ARIZONA	
<b>PHASE I, PARCELS 5 &amp; 6 PRELIMINARY PLAT</b>	
3010 SOUTH PROJECT DR. STE. 101 TEMPE, ARIZONA 85282 PH: (480) 928-9925 WWW.VANTAGERESOURCES.COM A Bourman Company	
PROJ. NO.	3544
SCALE	AS NOTED
DRAWN BY	SKT / JAS
DATE	DEC 2011
DWG. NO.	PP03
SHT. 3 OF 3	



C.O.C. LOG NO. PPT 11-0007

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**ORDINANCE NO. 3890**

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED AREA DEVELOPMENT (PAD) TO PLANNED AREA DEVELOPMENT (PAD) AMENDED COMMERCIAL RETAIL, OFFICE, SINGLE-FAMILY, AND MULTI-FAMILY RESIDENTIAL (DVR06-0052 THE WATERS AT OCOTILLO) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

**SECTION I. Legal Description of Property:**

See Attachment 'A'

Said parcel is hereby rezoned from Planned Area Development (PAD) to Planned Area Development (PAD) Commercial Retail, Office, Single-family, and Multi-family Residential, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "THE WATERS AT OCOTILLO" kept on file in the City of Chandler Current Planning Division, in file number AP06-0006/DVR06-0052, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.

4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
7. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Public Works for arterial street median landscaping.
8. Landscaping along all street fronts shall be in compliance with current Commercial Design Standards.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
10. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.
11. All raceway signage shall be prohibited within the development.
12. All pedestrian walkways shall be A.D.A. accessible and shall not be interrupted by any obstacles preventing circulation (i.e. handicap shall have direct access to all indoor and outdoor pedestrian spaces).
13. All ground-mounted equipment shall be screened from public view by landscaping or a concrete or masonry wall equal to or greater in height than the mechanical equipment.
14. The monument sign's sign panels shall have an integrated or decorative cover panel until a tenant name is added to the sign.
15. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the

owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Waters at Ocotillo development shall use treated effluent to maintain open space, common areas, and landscape tracts.

16. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner, property owners' association, or homeowners' association.
17. The shared monument signs for parcel 7 shall be limited to reverse pan channel letters with halo illumination.
18. The applicant shall work with Staff to include additional Date Palm trees along the streetscape and a pedestrian colonnade at the parcel 8 office development that extends along the entire building frontage at Price and Dobson Roads.
19. The applicant shall work with Staff to provide an alternative design for the monument signs at the parcel 8 office development that incorporates similar design, materials, and colors of other monument signs within the development.
20. The multi-family units, including the garage court and condominium flats, shall be individual "for sale only" units at the time of the development.
21. Mexican fan palms (*Washingtonia robusta*) shall be prohibited throughout.
22. The applicant shall work with Staff to ensure that the bike paths and pedestrian paths throughout the neighborhood are accessible where it is necessary to have six foot wide paths.

23. The pedestrian bridges shall be designed at an equivalent standard or better than the Master Ocotillo development, with height clearances to accommodate local recreational boats.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Arizona, this 22<sup>nd</sup> day of February 2007.

ATTEST:

  
CITY CLERK



  
MAYOR

PASSED AND ADOPTED by the Mayor and City Council of the City of Chandler, Arizona, this 5<sup>th</sup> day of March 2007.

ATTEST:

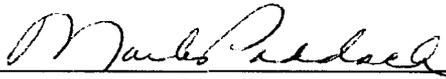
  
CITY CLERK



  
MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 3890 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the 5<sup>th</sup> day of March 2007, and that a quorum was present thereat.

  
CITY CLERK

APPROVED AS TO FORM:

  
CITY ATTORNEY

PUBLISHED in the Arizona Republic on March 15 and 22, 2007.

Attachment "A"

**PARCEL NO. 1:**

**BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 18, 567.49 FEET;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 987.34 FEET TO THE TRUE POINT OF BEGINNING, AND A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL POINT OF WHICH BEARS NORTH 68 DEGREES 30 MINUTES 08 SECONDS WEST, 3367.00 FEET;  
THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 09 DEGREES 35 MINUTES 14 SECONDS, HAVING AN ARC DISTANCE OF 563.40 FEET;  
THENCE SOUTH 31 DEGREES 05 MINUTES 06 SECONDS WEST, 221.20 FEET;  
THENCE SOUTH 74 DEGREES 09 MINUTES 30 SECONDS WEST, 29.22 FEET TO A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL POINT OF WHICH BEARS SOUTH 26 DEGREES 20 MINUTES 20 SECONDS WEST, 640.00 FEET;  
THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 08 DEGREES 04 MINUTES 37 SECONDS, HAVING AN ARC DISTANCE OF 90.22 FEET;  
THENCE NORTH 71 DEGREES 44 MINUTES 17 SECONDS WEST, 363.00 FEET;  
THENCE NORTH 16 DEGREES 34 MINUTES 13 SECONDS EAST, 198.00 FEET;  
THENCE NORTH 24 DEGREES 03 MINUTES 06 SECONDS EAST, 240.00 FEET;  
THENCE NORTH 10 DEGREES 49 MINUTES 15 SECONDS EAST, 207.00 FEET;  
THENCE NORTH 01 DEGREE 36 MINUTES 28 SECONDS EAST, 55.00 FEET;  
THENCE NORTH 73 DEGREES 43 MINUTES 48 SECONDS EAST, 206.55 FEET;  
THENCE SOUTH 68 DEGREES 08 MINUTES 53 SECONDS EAST, 459.76 FEET TO THE TRUE POINT OF BEGINNING.**

**PARCEL NO. 2:**

**BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, 1722.64 FEET  
ALONG THE NORTH LINE OF SAID SECTION 18;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 642.74 FEET  
TO THE TRUE POINT OF BEGINNING;  
THENCE SOUTH 36 DEGREES 46 MINUTES 30 SECONDS EAST, 105.00 FEET;  
THENCE SOUTH 61 DEGREES 22 MINUTES 10 SECONDS EAST, 137.00 FEET;  
THENCE SOUTH 71 DEGREES 38 MINUTES 28 SECONDS EAST, 160.00 FEET;  
THENCE SOUTH 62 DEGREES 03 MINUTES 49 SECONDS EAST, 76.00 FEET;  
THENCE SOUTH 37 DEGREES 19 MINUTES 49 SECONDS EAST, 117.00 FEET;  
THENCE SOUTH 01 DEGREE 50 MINUTES 08 SECONDS EAST, 64.00 FEET;  
THENCE SOUTH 17 DEGREES 53 MINUTES 57 SECONDS WEST, 124.00 FEET;  
THENCE SOUTH 31 DEGREES 47 MINUTES 15 SECONDS WEST, 220.00 FEET;  
THENCE SOUTH 10 DEGREES 57 MINUTES 46 SECONDS WEST, 68.00 FEET;  
THENCE SOUTH 00 DEGREES 43 MINUTES 42 SECONDS EAST, 129.00 FEET;  
THENCE NORTH 71 DEGREES 44 MINUTES 17 SECONDS WEST, 131.50 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS  
OF 1960.00 FEET TO THE RIGHT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 12  
DEGREES 38 MINUTES 46 SECONDS, HAVING AN ARC DISTANCE OF 432.60  
FEET;  
THENCE NORTH 59 DEGREES 05 MINUTES 31 SECONDS WEST, 105.00 FEET;  
THENCE NORTH 23 DEGREES 33 MINUTES 16 SECONDS WEST, 43.01 FEET;  
THENCE NORTH 59 DEGREES 05 MINUTES 31 SECONDS WEST, 121.48 FEET;  
THENCE NORTH 13 DEGREES 10 MINUTES 19 SECONDS WEST, 27.83 FEET TO  
A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
POINT OF WHICH BEARS SOUTH 57 DEGREES 00 MINUTES 22 SECONDS EAST,  
2335.00 FEET;  
THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A  
CENTRAL ANGLE OF 15 DEGREES 58 MINUTES 20 SECONDS, HAVING AN ARC  
DISTANCE OF 650.93 FEET TO THE TRUE POINT OF BEGINNING.**

**PARCEL NO. 3:**

**BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, 1432.91 FEET  
ALONG THE NORTH LINE OF SAID SECTION 18;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 1612.24 FEET  
TO THE TRUE POINT OF BEGINNING;  
THENCE SOUTH 53 DEGREES 03 MINUTES 30 SECONDS WEST, 68.00 FEET;  
THENCE SOUTH 33 DEGREES 16 MINUTES 50 SECONDS WEST, 45.00 FEET;  
THENCE SOUTH 03 DEGREES 22 MINUTES 55 SECONDS WEST, 280.00 FEET;  
THENCE SOUTH 11 DEGREES 09 MINUTES 31 SECONDS WEST, 80.00 FEET;  
THENCE SOUTH 51 DEGREES 55 MINUTES 22 SECONDS WEST, 40.00 FEET;  
THENCE NORTH 85 DEGREES 55 MINUTES 03 SECONDS WEST, 192.00 FEET;  
THENCE NORTH 60 DEGREES 03 MINUTES 14 SECONDS WEST, 108.00 FEET;  
THENCE SOUTH 75 DEGREES 36 MINUTES 26 SECONDS WEST, 135.00 FEET;  
THENCE SOUTH 40 DEGREES 20 MINUTES 00 SECONDS WEST, 74.00 FEET TO  
A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
POINT OF WHICH BEARS SOUTH 43 DEGREES 31 MINUTES 09 SECONDS WEST,  
640.00 FEET;  
THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A  
CENTRAL ANGLE OF 26 DEGREES 33 MINUTES 41 SECONDS, HAVING AN ARC  
DISTANCE OF 296.69 FEET;  
THENCE NORTH 37 DEGREES 01 MINUTES 05 SECONDS WEST, 41.09 FEET TO  
A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
POINT OF WHICH BEARS SOUTH 14 DEGREES 05 MINUTES 35 SECONDS WEST,  
665.00 FEET;  
THENCE WESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL  
ANGLE OF 02 DEGREES 51 MINUTES 53 SECONDS, HAVING AN ARC DISTANCE  
OF 33.25 FEET;  
THENCE NORTH 78 DEGREES 46 MINUTES 18 SECONDS WEST, 95.69 FEET;  
THENCE NORTH 32 DEGREES 51 MINUTES 06 SECONDS WEST, 27.83 FEET TO  
A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
POINT OF WHICH BEARS SOUTH 76 DEGREES 41 MINUTES 09 SECONDS EAST,  
A DISTANCE OF 2335.00 FEET;  
THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL  
ANGLE OF 15 DEGREES 30 MINUTES 28 SECONDS, HAVING AN ARC DISTANCE  
OF 632.00 FEET;  
THENCE NORTH 74 DEGREES 59 MINUTES 16 SECONDS EAST, 27.83 FEET;  
THENCE SOUTH 59 DEGREES 05 MINUTES 31 SECONDS EAST, 121.48 FEET;  
THENCE NORTH 85 DEGREES 22 MINUTES 13 SECONDS EAST, 43.01 FEET;  
THENCE SOUTH 59 DEGREES 05 MINUTES 31 SECONDS EAST, 105.00 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE, HAVING A RADIUS  
OF 2040.00 FEET TO THE LEFT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF  
12 DEGREES 38 MINUTES 46 SECONDS, HAVING AN ARC DISTANCE OF 450.26  
FEET;  
THENCE SOUTH 71 DEGREES 44 MINUTES 17 SECONDS EAST, 134.03 FEET TO  
THE TRUE POINT OF BEGINNING.**

**PARCEL NO. 4:**

**BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP -  
2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, 1417.73 FEET  
ALONG THE NORTH LINE OF SAID SECTION 18;  
THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 1617.20 FEET  
TO THE TRUE POINT OF BEGINNING;  
THENCE SOUTH 71 DEGREES 44 MINUTES 17 SECONDS EAST, 370.53 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS  
OF 560.00 FEET TO THE RIGHT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF  
62 DEGREES 40 MINUTES 11 SECONDS, HAVING AN ARC DISTANCE OF 612.53  
FEET;  
THENCE SOUTH 73 DEGREES 03 MINUTES 05 SECONDS WEST, 87.00 FEET;  
THENCE NORTH 85 DEGREES 55 MINUTES 11 SECONDS WEST, 443.00 FEET;  
THENCE NORTH 77 DEGREES 23 MINUTES 17 SECONDS WEST, 90.00 FEET;  
THENCE NORTH 66 DEGREES 35 MINUTES 45 SECONDS WEST, 162.00 FEET;  
THENCE NORTH 38 DEGREES 38 MINUTES 06 SECONDS WEST, 80.00 FEET;  
THENCE NORTH 10 DEGREES 30 MINUTES 44 SECONDS EAST, 208.00 FEET;  
THENCE NORTH 02 DEGREES 24 MINUTES 23 SECONDS WEST, 60.00 FEET;  
THENCE NORTH 18 DEGREES 09 MINUTES 01 SECONDS EAST, 150.00 FEET TO  
THE TRUE POINT OF BEGINNING.**

**PARCEL NO. 5:**

BEING A PORTION OF THE EAST HALF OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
 THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, 683.48 FEET,  
 ALONG THE NORTH LINE OF SAID SECTION 18;  
 THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 2199.03 FEET  
 TO THE TRUE POINT OF BEGINNING AND TO A POINT MARKING THE BEGINNING  
 OF A NON-TANGENT CURVE, THE CENTRAL POINT OF WHICH BEARS SOUTH  
 83 DEGREES 25 MINUTES 29 SECONDS WEST, 560.00 FEET;  
 THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A  
 CENTRAL ANGLE OF 98 DEGREES 17 MINUTES 59 SECONDS, HAVING AN ARC  
 DISTANCE OF 960.76 FEET;  
 THENCE NORTH 01 DEGREE 43 MINUTES 27 SECONDS EAST, 180.00 FEET;  
 THENCE NORTH 21 DEGREES 33 MINUTES 26 SECONDS WEST, 79.99 FEET;  
 THENCE NORTH 08 DEGREES 19 MINUTES 56 SECONDS WEST, 103.54 FEET;  
 THENCE NORTH 22 DEGREES 39 MINUTES 09 SECONDS EAST, 193.29 FEET;  
 THENCE NORTH 72 DEGREES 38 MINUTES 35 SECONDS EAST, 67.59 FEET;  
 THENCE NORTH 86 DEGREES 36 MINUTES 16 SECONDS EAST, 59.17 FEET;  
 THENCE SOUTH 86 DEGREES 02 MINUTES 40 SECONDS EAST, 100.70 FEET;  
 THENCE SOUTH 74 DEGREES 50 MINUTES 32 SECONDS EAST, 112.00 FEET;  
 THENCE NORTH 75 DEGREES 38 MINUTES 07 SECONDS EAST, 90.00 FEET;  
 THENCE NORTH 50 DEGREES 22 MINUTES 04 SECONDS EAST, 103.00 FEET;  
 THENCE NORTH 71 DEGREES 14 MINUTES 04 SECONDS EAST, 41.23 FEET TO  
 THE TRUE POINT OF BEGINNING.

**PARCEL NO. 6:**

BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18;  
 THENCE NORTH 89 DEGREES 50 MINUTES 51 SECONDS WEST, ALONG THE  
 NORTH LINE OF SAID SECTION 18, 1924.09 FEET;  
 THENCE SOUTH 00 DEGREES 09 MINUTES 09 SECONDS WEST, 2239.49 FEET.  
 TO THE TRUE POINT OF BEGINNING;  
 THENCE NORTH 54 DEGREES 27 MINUTES 35 SECONDS EAST, 165.94 FEET;  
 THENCE NORTH 78 DEGREES 16 MINUTES 45 SECONDS EAST, 92.18 FEET;  
 THENCE SOUTH 87 DEGREES 57 MINUTES 27 SECONDS EAST, 256.14 FEET;  
 THENCE SOUTH 61 DEGREES 48 MINUTES 05 SECONDS EAST, 141.46 FEET;  
 THENCE SOUTH 21 DEGREES 50 MINUTES 19 SECONDS EAST, 69.54 FEET;  
 THENCE SOUTH 19 DEGREES 35 MINUTES 37 SECONDS WEST, 158.94 FEET;  
 THENCE SOUTH 39 DEGREES 01 MINUTE 21 SECONDS WEST, 79.08 FEET;  
 THENCE SOUTH 59 DEGREES 29 MINUTES 11 SECONDS WEST, 97.31 FEET;  
 THENCE SOUTH 40 DEGREES 02 MINUTES 56 SECONDS WEST, 115.68 FEET;  
 THENCE NORTH 68 DEGREES 35 MINUTES 04 SECONDS WEST, 114.66 FEET;  
 THENCE SOUTH 54 DEGREES 00 MINUTES 03 SECONDS WEST, 40.00 FEET TO  
 A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
 POINT OF WHICH BEARS NORTH 54 DEGREES 00 MINUTES 03 SECONDS EAST,  
 560.00 FEET;  
 THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A  
 CENTRAL ANGLE OF 03 DEGREES 06 MINUTES 02 SECONDS, HAVING AN ARC  
 DISTANCE OF 30.30 FEET;  
 THENCE NORTH 32 DEGREES 53 MINUTES 55 SECONDS WEST, 394.37 FEET  
 TO THE POINT OF BEGINNING.

**PARCEL NO. 7:**

**BEING A PORTION OF THE EAST HALF OF SECTION 18, TOWNSHIP 2 SOUTH,  
RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA  
COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 18;  
THENCE NORTH 89 DEGREES 50 MINUTES 56 SECONDS EAST, ALONG THE  
SOUTH LINE OF SAID SECTION 18, 222.89 FEET;  
THENCE NORTH 00 DEGREES 09 MINUTES 04 SECONDS WEST, 2651.34 FEET,  
TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 04 DEGREES 08 MINUTES 15 SECONDS WEST, 75.09 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS  
OF 2335.00 FEET TO THE RIGHT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF  
13 DEGREES 16 MINUTES 48 SECONDS, HAVING AN ARC DISTANCE OF 541.20  
FEET;  
THENCE NORTH 55 DEGREES 18 MINUTES 29 SECONDS EAST, 27.83 FEET;  
THENCE SOUTH 78 DEGREES 46 MINUTES 18 SECONDS EAST, 95.69 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS  
OF 535.00 FEET TO THE RIGHT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF  
02 DEGREES 51 MINUTES 53 SECONDS, HAVING AN ARC DISTANCE OF 26.75  
FEET;  
THENCE NORTH 63 DEGREES 07 MINUTES 40 SECONDS EAST, 37.07 FEET TO  
A POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE, THE CENTRAL  
POINT OF WHICH BEARS SOUTH 16 DEGREES 57 MINUTES 28 SECONDS WEST,  
560.00 FEET;  
THENCE EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL  
ANGLE OF 40 DEGREES 08 MINUTES 37 SECONDS, HAVING AN ARC DISTANCE  
OF 392.36 FEET;  
THENCE SOUTH 32 DEGREES 53 MINUTES 55 SECONDS EAST, 425.26 FEET TO  
A POINT MARKING THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS  
OF 640.00 FEET TO THE LEFT;  
THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF  
03 DEGREES 43 MINUTES 57 SECONDS, HAVING AN ARC DISTANCE OF 41.69  
FEET;  
THENCE NORTH 89 DEGREES 58 MINUTES 31 SECONDS WEST, 755.67 FEET  
TO THE POINT OF BEGINNING.**

**Parcel No. 3 (Revised Parcel 4 at Ocotillo):**

That portion of the North half of Section 18, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Commencing at the North quarter corner of said Section 18;

Thence South 89 degrees 50 minutes 51 seconds East (assumed bearing), along the North line of said Section 18, 848.18 feet;

Thence South 00 degrees 09 minutes 09 seconds West, 506.19 feet to the point of beginning;

Thence South 05 degrees 13 minutes 07 seconds West, 28.61 feet to a point marking the beginning of a non-tangent curve, the central point of which bears South 40 degrees 40 minutes 18 seconds East, 2465.00 feet;

Thence along the arc of said curve, through a central angle of 36 degrees 07 minutes 27 seconds, an arc distance of 1554.15 feet;

Thence South 57 degrees 06 minutes 00 seconds West, 28.71 feet;

Thence North 78 degrees 46 minutes 18 seconds West, 270.56 feet to a point marking the beginning of a tangent curve to the right, having a radius of 1185.00;

Thence along the arc of said curve, through a central angle of 12 degrees 20 minutes 48 seconds, an arc distance of 255.36 feet;

Thence North 21 degrees 45 minutes 28 seconds East, 230.00 feet;

Thence North 43 degrees 35 minutes 26 seconds East, 64.76 feet;

Thence North 05 degrees 41 minutes 22 seconds West, 121.02 feet;

Thence North 18 degrees 46 minutes 04 seconds East, 36.56 feet;

Thence North 43 degrees 23 minutes 20 seconds East, 123.23 feet;

Thence North 27 degrees 08 minutes 27 seconds East, 89.00 feet;

Thence North 21 degrees 18 minutes 04 seconds East, 245.68 feet;

Thence North 39 degrees 38 minutes 57 seconds East, 117.15 feet;

Thence North 58 degrees 30 minutes 45 seconds East, 423.98 feet;

Thence North 77 degrees 04 minutes 33 seconds East, 155.59 feet;

Thence North 87 degrees 40 minutes 15 seconds East, 121.80 feet;

Thence South 08 degrees 20 minutes 31 seconds East, 38.25 feet;

Thence South 49 degrees 58 minutes 31 seconds East, 104.82 feet;

Thence North 46 degrees 52 minutes 59 seconds East, 224.65 feet;

Thence North 70 degrees 34 minutes 27 seconds East, 26.50 feet to the point of beginning.