



MEMORANDUM Transportation & Development - CC Memo No. 11-128d

DATE: JANUARY 18, 2012

TO: MAYOR AND CITY COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
 PATRICK MCDERMOTT, ASSISTANT CITY MANAGER *m*
 R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*
 JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
 KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, CITY PLANNER *ES*

SUBJECT: APL11-0001/DVR10-0023/PPT10-0005 HAMILTON HEIGHTS
 Adoption of Resolution No. 4574
 Introduction and Tentative Adoption of Ordinance No. 4343

Request: Area Plan Amendment of the Section 16 Area Plan from multi-family residential development to allow for single-family residential development, along with Rezoning from Planned Area Development (PAD) for multi-family residential to PAD for single-family residential along with Preliminary Development Plan and Preliminary Plat approval for a 47 lot single-family residential subdivision

Location: West of the southwest corner of Queen Creek Road and Arizona Avenue

Applicant: Jason Morris; Withey Morris PLC

Following the Planning Commission hearing, Staff realized that a condition should be added within the ordinance pertaining to the development being in conformity with what has been represented in the development booklet. All previously recommended conditions shall remain.

RECOMMENDATION

The request is for Area Plan amendment of the Section 16 Area Plan from multi-family residential development to allow for single-family residential development, along with Rezoning from Planned Area Development (PAD) for multi-family residential to PAD for single-family

residential along with Preliminary Development Plan and Preliminary Plat approval for a 47 lot single-family residential subdivision on an approximate 12.7-acre site. Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval with conditions.

BACKGROUND

The request is for an Area Plan amendment from the Section 16 Area Plan from multi-family residential development to medium density single-family residential development, along with rezoning from PAD for multi-family residential to PAD for single-family residential, along with Preliminary Development Plan approval for subdivision layout; and Preliminary Plat approval.

The subject site is located west of the southwest corner of Queen Creek Road and Arizona Avenue and is roughly 12 acres. The site is part of the larger 50 acre Chandler Center development which included roughly 20 acres of commercial development at the immediate southwest corner of the intersection, 20 acres of multi-family apartments located south of the immediate intersection corner, with the remaining 10 acres zoned for multi-family development in the form of condominiums (during the design process 2 acres were removed from the commercial development and incorporated into the subject site). The subject site is the location of the originally approved condominium development. Surrounding the entire Chandler Center project on the west and south are single-family homes. The site is adjacent to Queen Creek Road on the north. East is vacant land zoned for commercial development.

AREA PLAN AMENDMENT

The request seeks an amendment to the Section 16 Area Plan. In 2008, an Area Plan amendment along with a Rezoning and PDP was approved addressing the entire 50 acre parcel in which the subject site is a piece. With the 2008 approval, the Area Plan for the subject site was amended from Commercial to Multi-Family Residential. The current request includes an amendment to the existing Area Plan amending the subject site from Multi-Family Residential to Single-Family Residential. Prior to the 2008 Area Plan amendment, the entire 50 acres was planned for regional commercial development. The designation of commercial stemmed from historic plans designating Arizona Avenue as a major commercial and employment corridor; however, throughout the years with various Area Plan amendments, General Plan updates, Rezonings, and development occurring along Arizona Avenue and elsewhere, the Regional Commercial designation was no longer warranted at the site, and the amendment to Multi-Family development was granted.

SUBDIVISION LAYOUT

As part of the review for single-family residential development, subdivisions requesting a designation of PAD have to meet a number of design elements as outlined in the Council adopted Residential Development Standards (RDS). Depending on the size of the residential lots, a certain number of points need to be obtained. In this case, since all of the lots are 7,000 square feet or less, all of the development standards for subdivision diversity need to be met (eight required), along with meeting all of the 21 optional subdivision diversity elements. Additionally, in the event that any lots are less than 7,000 square feet, the same number of lots shall be required to be at least 10,000 square feet. When the RDS were initially envisioned, the standards were designed more towards larger subdivision development such as the Dobson

Crossing subdivision adjacent to the west, where large amounts of land allowed for design creativity where the potential existed for curvilinear streets, lake systems, and multiple lot sizes within a single subdivision. In addition to the standards outlined in the RDS, infill projects were granted relief from meeting the standards, assuming unique aspects could be provided; however, the subject site does not represent an infill parcel.

The proposal is for a 47 lot single-family residential subdivision, with an overall density of 4.01 dwelling units per acre. The average lot size is 6,269, with a maximum lot size of 9,281 square feet and a minimum lot size of 5,657 square feet. Typical lot dimensions are 52' x 115'.

Currently the proposed subdivision meets six of the eight standard requirements and eight of the 21 optional elements. While Staff realizes that a subdivision of this size cannot meet all of the diversity standards as outlined in the RDS, the development team and Staff worked diligently to try and create a subdivision that provides diversity in the spirit of the RDS.

Two points of access are provided for the subdivision, with the main western entry providing a more enhanced formal entry that includes stamped asphalt, a tree-lined element, passive landscape terminus with low-wall seating, and terraced landscaping. The main entry terminates in a cul-de-sac that provides views into a large outdoor area in the adjacent apartment complex to the southeast of the subject site. In an effort to provide active outdoor amenity areas, the design team reviewed ways in which they could enhance the elements provided. A shade ramada along with picnic tables is provided on the northern end of the open space area, the picnic tables will incorporate a chess table pattern as an additional active element. Additionally, a tot lot area and boulder climbing area is provided. A secondary seating area is provided at the southern end of the outdoor area. Due to the proximity to the open space area of the adjacent apartment complex, and the overall historic design of providing an open space / view corridor element from the intersection corner, the design team looked at the potential for providing view corridors into the adjacent open space area. By doing this, the outdoor area acts as an extension of the larger outdoor area, and provides a safer place for users of the open space area by reducing the amount of frontage along the streets. Additionally, a pedestrian link is provided at the southern end of the subdivision as envisioned with the original Dobson Crossing development.

HOUSING PRODUCT

In addition to the constraints of the meeting the necessary subdivision layout, architectural constraints tend to arise when dealing with relatively small lots. As outlined in the RDS, housing product is required to provide the nine architectural diversity elements, and a minimum of at least seven optional points. The housing product, as represented, provides the nine required elements and provides eight of the optional elements (seven required).

Architectural styles include Spanish Colonial (Elevation A), Traditional Cottage (Elevation B), and Territorial Ranch (Elevation C). Stone is standard element on the Territorial Ranch elevation. Five floor plans are provided; two two-story plans and three single-story plans. Four of the five plans are garage forward; plan 4017 will provide a side-loaded garage, and plan 4018 will provide a casita option that will be designed similar to a side-loaded single-car garage; the

applicant is working with Staff for a final design. Floor plans range in size from 1,756 square feet to 2,701 square feet.

In an effort to provide strong architectural theming, each elevation will provide specific coach light design, front door design, and window mullions specific to the architectural style. Additionally, window pop-out elements are provided specific to the elevation, as well as, window shutters and treatments to the rear patios.

DISCUSSION

The subject site represents a unique opportunity for single-family residential development. Of lately, single-family residential subdivisions are typically between 20-40 acres, allowing for creative design making it easier to meet the requirements of the RDS. Staff believes that the development team has done a good job providing a unique subdivision that meets a number of the development standards in light of the site constraints.

Two deviations from the RDS are requested for the subdivision. The requested two deviations are: requirement 3) *Vehicular access to rear yards*; and requirement 4) *Deeper rear yard setbacks – 30 ft. for a two-story home*. Addressing the concern for vehicular access, the applicant is proposing a side yard setback of five-feet, and a side yard setback of seven-feet. Due to the reduced setbacks, providing access to rear yards is impossible. In an effort to address this, the design team has developed the housing product to include two and one-half and three car garages to allow for storage of additional vehicles, etc. The second deviation, requesting relief from the 30 ft. rear yard setback, the applicant is requesting a deviation of three feet. Planning Commission and Staff believes that the difference of three feet is inconsequential since it pertains to one of the two story plans.

Planning Commission and Staff support the request citing that the design team has worked carefully on the subdivision layout to provide an attractive addition to Chandler's housing stock, while working with difficult site constraints. Additionally, Planning Commission and Staff believe the development team has done a good job incorporating various architectural elements into the housing product creating strong architectural interest.

PUBLIC/NEIGHBORHOOD NOTIFICATION

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- Two neighborhood meetings were held, one addressing the Area Plan amendment, and the other addressing the Rezoning/PDP. A total of five neighbors participated in the meetings, all generally supporting the request.

At the time of this writing, Staff has received a couple of telephone calls regarding the request. All of the callers had general questions and were in support of the request. Staff has not received any telephone calls or letters opposed to this application. Prior to the Planning Commission hearing the applicant submitted a petition of surrounding property owners in support of the request.

PLANNING COMMISSION VOTE REPORT

Motion to Approve:

In Favor: 4 Opposed: 0 Absent: 3 (Baron, Cunningham, Rivers)

RECOMMENDED ACTIONS

Area Plan Amendment

Planning Commission and Staff, upon finding consistency with the General Plan, recommend the approval of APL11-0001 HAMILTON HEIGHTS, Area Plan amendment of the Section 16 Area Plan, amending the plan from multi-family residential development to allow for single-family residential development.

Rezoning

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of DVR10-0023 HAMILTON HEIGHTS, Rezoning from Planned Area Development (PAD) for multi-family residential to PAD for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hamilton Heights" and kept on file in the City of Chandler Planning Division, in File No. APL 11-0001/DVR10-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
2. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
3. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
4. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.

6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
7. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
8. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
10. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Hamilton Heights development shall use treated effluent to maintain open space, common areas, and landscape tracts.

11. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of DVR10-0023 HAMILTON HEIGHT, Preliminary Development Plan for subdivision layout and housing product, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit No. 10, Development Booklet, entitled "Hamilton Heights", and kept on file in the City of Chandler Planning Division, in File No. APL11-0001/DVR10-0023, except as modified by condition herein.
2. No more than two identical side-by-side roof slopes should be constructed along arterial or collector streets or public open space.
3. The same elevation shall not be built side-by-side or directly across the street from one another.
4. All homes built on corner lots within the residential subdivision shall be single-story.
5. For lots adjacent to an arterial street, two-story homes are limited to every third lot, with no more than two, two-story homes built side-by-side.

Preliminary Plat

Planning Commission and Staff recommend approval of Preliminary Plat PPT10-0005 HAMILTON HEIGHTS, subject to the following condition:

1. Approval by the City Engineer and Director of Transportation & Development with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Area Plan Amendment

Move to adopt Resolution No. 4574 for case APL11-0001 HAMILTON HEIGHTS requesting Area Plan amendment to the Section 16 Area Plan, re-designating approximately twelve acres located west of the southwest corner of Arizona Avenue and Queen Creek Road from Multi-Family Residential and Commercial, to Single-Family Residential.

Rezoning

Move to introduce and tentatively adopt Ordinance No. 4343 in case DVR10-0023 HAMILTON HEIGHTS, Rezoning from Planned Area Development (PAD) for Multi-Family Residential and PAD for Commercial, to PAD for Single-Family Residential, subject to the conditions recommended by Planning Commission and Staff.

Preliminary Development Plan

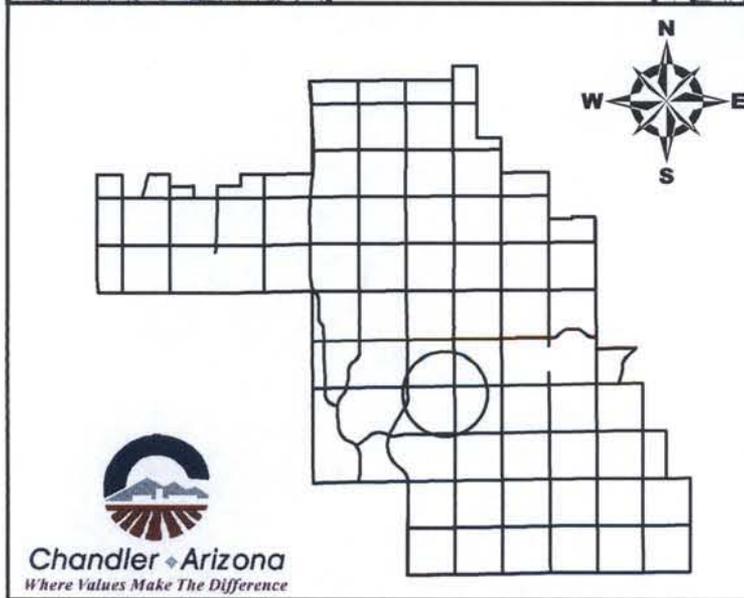
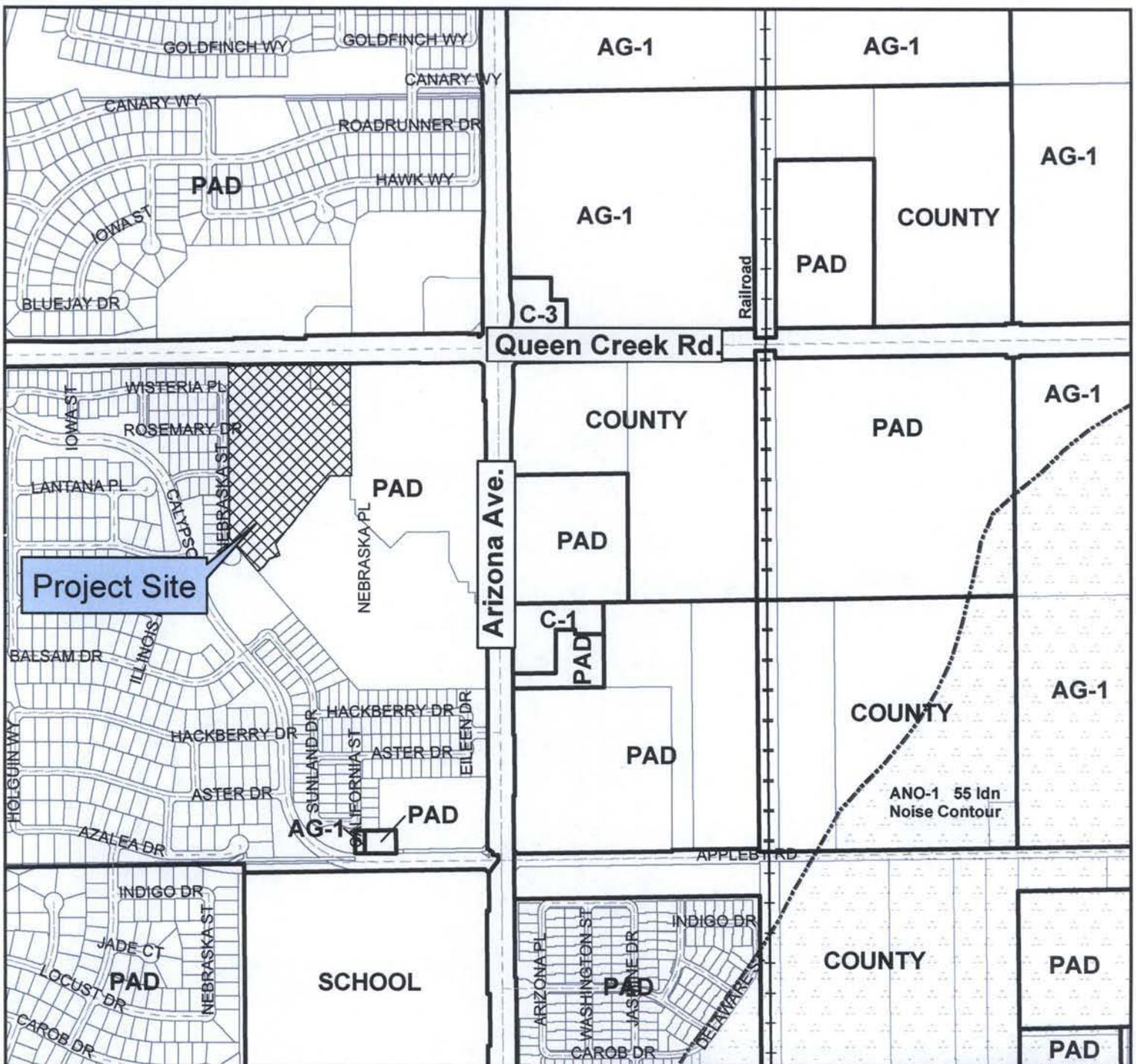
Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of DVR10-0023 HAMILTON HEIGHTS, Preliminary Development Plan for subdivision layout and housing product

Preliminary Plat

Move to approve PPT10-0005 HAMILTON HEIGHTS, Preliminary Plat for a 47 lot single-family residential subdivision, subject to the condition recommended by Planning Commission and Staff.

Attachments

1. Vicinity Maps
2. Site Plan
3. Section 16 Area Plan
4. Landscape Plan
5. Elevations
6. Applicant Narrative
7. Preliminary Plat
8. Resolution No. 4574
9. Ordinance No. 4343
10. Development Booklet

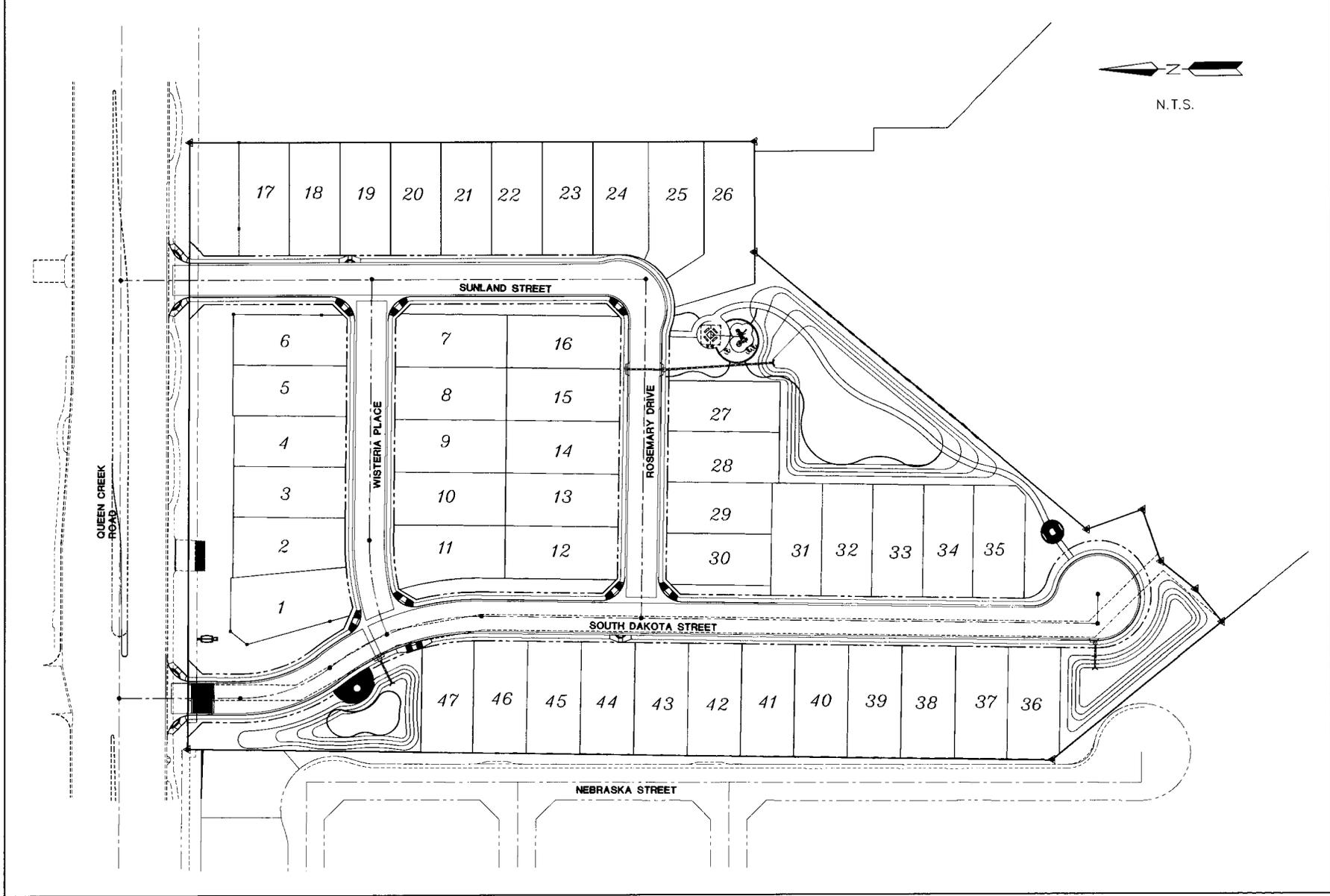


Vicinity Map

DVR10-0023

Hamilton Heights

CITY OF CHANDLER 11/22/2010



HAMILTON HEIGHTS
 SWC ARIZONA AVE & QUEEN CREEK RD
 CHANDLER, ARIZONA

30'0" SOUTH PRIEST DR, STE 102
 TEMPE, ARIZONA 85282
 PH (480) 629-8830

VANTAGE RESOURCES, LLC
 A Bowman Company

PROJ #: 9508
 DATE: 11/2/11
 SCALE: N.T.S.
 DRAWN: S.F.
 SHT. 1 OF 1

PRELIMINARY DEVELOPMENT PLAN

X:\9508\ Preliminary Plat\9508-Pre Dev Plan.dwg 11-02-2011 - 12:03pm

SITE PLAN

HAMILTON HEIGHTS
SWC ARIZONA AVE & QUEEN CREEK RD
AREA PLAN AMENDMENT
 FEBRUARY 14, 2011



APPROVED SECTION 16 AREA PLAN



PROPOSED SECTION 16 AREA PLAN

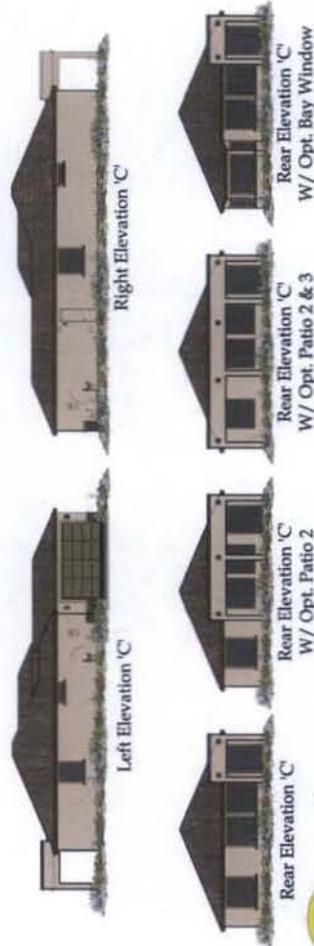
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DATE	
REVISION	
REV.	
HAMILTON HEIGHTS ARIZONA AVENUE & QUEEN CREEK ROAD CHANDLER, ARIZONA	
AREA PLAN AMENDMENT	
3010 SOUTH ARIZONA AVE. STE. 102 CHANDLER, ARIZONA 85226 PH: (480) 835-8030 FAX: (480) 835-8030 WWW.VANTAGERESOURCES.COM	
VANTAGE RESOURCES, LLC	
PROJ. NO.	2081
SCALE	N.T.S.
DRAWN	SNF
DATE	2/14/2011
DWG. NO.	1
SHT.	1 OF 1

AREA PLAN



Front Elevation 'C'



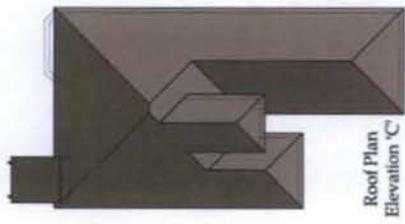
Left Elevation 'C'

Right Elevation 'C'

Rear Elevation 'C'
W/ Opt. Patio 2

Rear Elevation 'C'
W/ Opt. Patio 2 & 3

Rear Elevation 'C'
W/ Opt. Bay Window



Roof Plan Elevation 'C'



Floor Plan

HAMILTON HEIGHTS - 1756 SQ. FT.

01/04/2012 - DVR10-0032



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Elevation 'A'
Standard Courtyard



Front Elevation 'A'

- STANDARD COURTYARD
- EXTERIOR LIGHTING
- STANDARD PAINT
- STANDARD FLOORING
- STANDARD CEILING
- STANDARD WALLS
- STANDARD ROOFING
- STANDARD GARAGE FLOOR FINISH
- STANDARD GARAGE WALL FINISH



Left Elevation 'A'



Right Elevation 'A'



Rear Elevation 'A'



Rear Elevation 'A'
W/ Opt. Bay Window



Roof Plan Elevation 'A'



Floor Plan Elevation 'A'

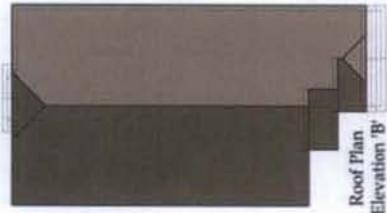
HAMILTON HEIGHTS - 1895 SQ. FT.

01/04/2012 - DVR10-0032

PLAN 4018-1



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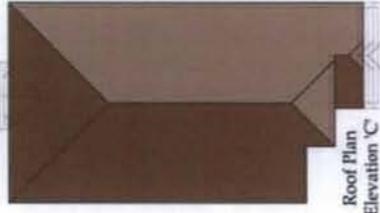
HAMILTON HEIGHTS - 1895 SQ. FT.

01/04/2012 - DVR10-0032

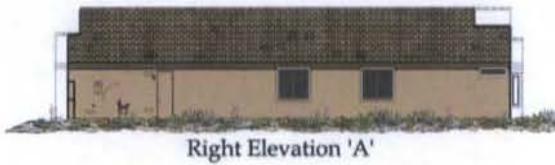


PLAN 4018-1

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Pulte Homes PLAN 4018-1
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HAMILTON HEIGHTS - 1895 SQ. FT.
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PLAN 4019-5



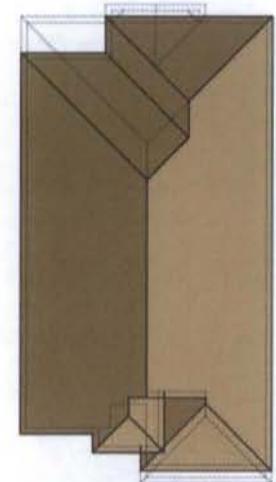
HAMILTON HEIGHTS - 1997 SQ. FT.

Hamilton Heights - 4019-5



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Hamilton Heights - 4019-5



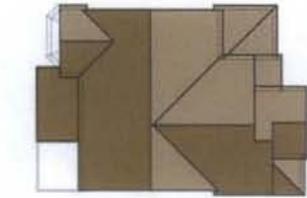
PLAN 4019-5

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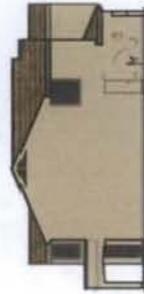
Front Elevation 'A'



Roof Plan Elevation 'A'



Second Floor Plan Elevation 'A'



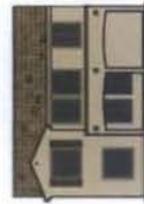
Left Elevation 'A'



Right Elevation 'A'



Rear Elevation 'A' W/ Patio Option



Rear Elevation 'A' W/ Opt. Walk Deck 1



Rear Elevation 'A' W/ Opt. Walk Deck 2



Rear Elevation 'A' W/ Opt. Bay Window



First Floor Plan Elevation 'A'



PLAN 4025-1

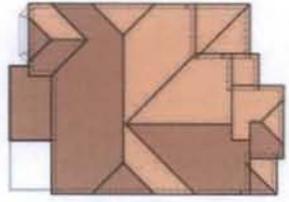
HAMILTON HEIGHTS - 2486 SQ. FT.

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Front Elevation 'B'



Roof Plan Elevation 'B'



Second Floor Plan Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'



First Floor Plan Elevation 'B'



Rear Elevation 'B'
W/ Patio Option



Rear Elevation 'B'
W/ Opt. Walk Deck 1



Rear Elevation 'B'
W/ Opt. Walk Deck 2



Rear Elevation 'B'
W/ Opt. Bay Window



PLAN 4025-1

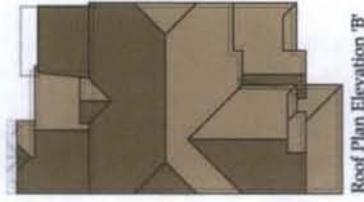
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HAMILTON HEIGHTS - 2486 SQ. FT.

01/04/2012 - DVR10-0032



Front Elevation 'B'



Roof Plan Elevation 'B'



Second Floor Plan Elevation 'B'



Left Elevation 'B'



Right Elevation 'B'



Rear Elevation 'B' W/ Patio Option



Rear Elevation 'B' W/ Opt. Bay Window



First Floor Plan Elevation 'B'

HAMILTON HEIGHTS - 2701 SQ. FT.

01/04/2012 - DVR10-0032

PLAN 4026-2

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I. INTRODUCTION

Hamilton Heights is a proposed 47-lot single-family residential development located on the south side of Queen Creek Road, one-quarter mile west of Arizona Avenue in Chandler, Arizona (the "Site"). The Site consists of approximately 12.72 acres south of Queen Creek Road and west of Arizona Avenue (see Exhibit 1 for the Vicinity Map). This request is to amend the Area Plan designation from Multi-Family Residential to Medium Density Single Family Residential (see Exhibit 9 for the Area Plan Amendment); amend the Planned Area Development zoning from Multi-Family Residential (condominium), which was adopted with the Chandler Center zoning case, to Planned Area Development (PAD) Single-Family Residential; and to approve the proposed Preliminary Development Plan (PDP) and preliminary plat for the subdivision layout. The current zoning for the Site is for 124 condominium units. With the slow down of the condominium market that continues to prohibit such land use and density from being economically viable, the proposed single-family use provides for a development that is consistent with and complementary to the adjacent neighborhoods. The Site is currently being used for agricultural purposes.

II. SURROUNDING AREA AND EXISTING ZONING

The proposed project is compatible with the surrounding land uses which include the Village at Dobson Crossing residential subdivision to the west and south, commercially zoned agricultural land to the east, Campanello Apartments that are under construction to the southeast and Queen Creek Road followed by Carino Villas Condominiums to the north. An aerial exhibit of the Site and surrounding developments is shown in Exhibit 2.

Existing zoning for the Site is PAD Multi-Family use for a condominium development. The Site is designated on the City of Chandler's General Plan as Low Density (Single Family) Residential.

III. PROPOSED PAD AND PDP

This request is to change the zoning to allow for 47 single-family residential units with a minimum lot area of 5,657 square feet, a minimum lot size of 52' x 115' and a net overall project density of 4.01 du/ac.

A. DEVELOPMENT STANDARDS

The Site has been planned with the following residential lot development standards:

DEVELOPMENT STANDARDS SUMMARY

Acres	
Gross	12.72
Net	11.71
Open Space	2.37
% Open Space	20.4%
Number of Proposed Lots	47
Density	4.01 du/acre
Minimum Lot Area (sf)	5,657
Minimum Lot Size	52' x 115'
Front Yard Setback	10' to livable area/side-entry garage; 18' to face of front-entry garage
Side Yard Setback	5' / 7'
Rear Yard Setback	15'
Maximum Lot Coverage	55%
Maximum Structure Height	2 Stories or 30'

Lot Area: There shall be a minimum lot area of 5,657 square feet for each lot. Each lot shall have a minimum width of 52 feet and a minimum depth of 115 feet, with the exception of a few lots that have shallower depths as shown on the preliminary plat (see Exhibit 11).

Lot Coverage: The main building and all accessory buildings or structures on each lot shall not occupy more than 55% of the total lot area.

Front and Rear Yard: The minimum front yard setback for a forward facing garage will be 18 feet measured from the property line to the face of the garage door and 10 feet measured from the property line to the nearest point of the home which may be livable area, optional garage bonus room, porch, side-entry garage and/or entry structure. The rear yard setback will be 15 feet. Accessory structures such as open-air ramadas that exceed 150 square feet shall have a minimum rear yard setback of 5 feet (provided that the building code requirements are met).

Side Yard: The minimum side yard setback will be 5 feet and 7 feet for a combined total of 12 feet. The City of Chandler Zoning Code allows for pot shelves, fireplaces, entertainment centers, bay windows, architectural pop outs, and specialty rooms, such as a breakfast nook or sitting area, to encroach a maximum 2 feet (24 inches) into the side yard setbacks for interior lots. These projections are to be no greater than 5 feet in length. Accessory structures such as open-air ramadas that exceed 150 square feet shall have a minimum side yard setback of 5 feet (provided that the building code requirements are met).

B. RESIDENTIAL DEVELOPMENT STANDARDS

Hamilton Heights has been designed to meet the spirit and intent of the City's Residential Development Standards. Due to the parcel's constraints, shape, and limited size, the conventional criteria of the City's Residential Development Standards for single family detached housing cannot be fully applied to the Site and preclude the incorporation of some of the diversity elements. Despite this condition, Pulte has worked diligently to incorporate many diversity elements into the project's design. The Hamilton Heights project will be developed to conform to as many of the listed required and optional Residential Development Standards as adopted by the City Council on May 23, 2002 as possible given the constraints of the Site. The design elements of the project meet the spirit and intent of the Residential Development Standards by providing diversity and innovation within the Site and complementing the existing and future developments adjacent to the Site. The proposed land use intensity and quality will meet or exceed that of the surrounding environment. The Site satisfies the spirit and intent of the Residential Development Standards through the integration of design elements that include:

- i. Effective internal open space that is "activated" through the integration of the amenities and accessibility to the open space.
- ii. Connectivity to external open space within the Campanello Apartments and Village at Dobson Crossing to the south and southeast of the Site.
- iii. A curvilinear street system that has short sections of straight streets to help create a diverse and varied streetscape.
- iv. Diverse product with three architectural styles and four-sided architecture.
- v. Similar project theming and architecture to the Village at Dobson Crossing.
- vi. Staggering of perimeter walls along Queen Creek Road.
- vii. A distinctive and unique neighborhood layout that will help foster a sense of neighborhood and neighbor interaction.

Additional detail regarding the diversity elements for both subdivisions and product is provided below.

Required Subdivision Diversity Elements

The design of the Site satisfies the spirit and intent of the Residential Development Standards as discussed above. The parcels satisfy six out of the eight required Subdivision Diversity Elements as provided below. A deviation is requested for two of the required elements as discussed in greater detail in Section IV.C below.

1. Sense of Neighborhood Arrival: Creative entry features that will provide the community with a distinctive character assuring a sense of pride for the residents will be constructed at the primary community entrance from Queen Creek Road. Enhanced pavement treatment, symmetrical street theme trees,

planter walls and a visual landscape terminus have been added to the neighborhood entry in creating a strong "sense of arrival."

2. Distinctive Project Themes: This project provides a cohesive theme throughout the single-family community that complements the adjacent neighborhoods. Examples of theming features include theme walls, consistent plant palette, distinct color palette, raised planters, and amenity open space that provides a tot lot, ramada, and boulder garden and sand play area. The project theme is enhanced by three focal areas at the Site's main entry and at the two entry points to the primary active open space area. These focal points include hardscape elements, theme trees and sitting areas.
3. Vehicular Access to Rear Yards: Although the side yard setbacks do not allow for full-sized vehicle access (see deviation request in Section IV.C), the 7' side yard of each home allows for screened placement of garbage bins and other items. Furthermore, all of the proposed housing plans provide for 2 ½ - 3 ½ car garage space to allow for storage of vehicles, trailers, small boats and other large items.
4. Deeper Rear Yard Setbacks: With the project's site constraints, deeper rear yard setbacks of at least 27' will be provided for two-story homes. This is a deviation of 3' from the Residential Development Standards requirement of 30' (see deviation request in Section IV.C). Only one of the proposed housing plans (Plan 4026-2) requires this deviation.
5. Irregular Shaped Retention Areas: This project provides meandering or irregular retention areas that are located throughout the community with a maximum 4:1 side slopes. Undulating side slopes will be incorporated into the basins as an additional measure of diversity.
6. Retention Areas to be Usable and Accessible: The main central retention area has been planned to provide convenient pedestrian access to the proposed amenities from all areas of the development. This area will include a tot lot play structure, ramada with picnic tables (one of the tables shall have a chess board surface) and children's area consisting of a boulder garden and sand play area. Retention area grading will be designed to keep the amenities from being inundated by the 10-year storm events.
7. Landscaped Parkway: This project provides a generous 40 foot landscaped parkway along Queen Creek Road to be maintained by the Homeowners Association (see Exhibit 10 for the Queen Creek Road Exhibit).
8. Perimeter Visual Breaks: The project theme wall has been designed with an attractive and diverse blend of landscaping along with an entry feature that will provide visual breaks along Queen Creek Road. Stagers have been incorporated into the rear lot wall for lots backing to Queen Creek Road.

Optional Subdivision Diversity Elements

In addition to meeting the above mentioned required subdivision diversity elements, the proposed preliminary development plan will meet the following ten (10) optional subdivision diversity elements. While it is acknowledged that all required ten (10) optional subdivision diversity elements are not met literally due to the Site's constraints and size, the proposed preliminary development plan has maximized the number of diversity elements that are possible and generally meets the spirit and intent of the Residential Development Standards to provide diversity within the proposed residential community.

1. Curvilinear Street System: Although the unique property boundary constraints limit the ability to fully comply with this element, the project incorporates a curvilinear entry street with safe traffic sight visibilities. Additionally, a visual landscape terminus at the primary entryway and at the cul-de-sac along with short street lengths and limited double-loaded streets add to the street-scene diversity and pedestrian safety of the neighborhood streets.
2. Cul-de-sacs with a Diversity Feature or Access to Common Open Space: The site layout contains one cul-de-sac to create a diverse street circulation system and provide a focal theme element with pedestrian access to the lush landscape open space areas.
6. Provide Different Lot Widths: The site layout contains lot widths of 52' to 57'.
7. Wider Corner Lots: Corner lots will include a ten (10) foot wide landscape tract on the street side of the lot.
10. Stagger Front Yard Setback Lines: No more than two adjacent lots shall have the same front yard setback. Front yard setback staggering of a minimum of 5' shall be utilized to meet the spirit and intent of this requirement.
11. Stagger Rear Setback Lines: For all six (6) lots backing to Queen Creek Road, the rear planes of homes on adjacent lots having the same floor plan shall be staggered by ten (10) feet or more. Adjacent lots backing to Queen Creek Road with different floor plans shall not be required to have such a stagger.
12. Landscaped Open Spaces: This project will have landscaped open spaces that are visible from arterial street and residential street view with maximum 4:1 side slopes along street frontages. View wall will be provided where project open spaces mesh with adjacent open space areas. Significant open space at the two entries and northern portion of the Site will be visible from Queen Creek Road. Although the large central open space area is not visible from Queen Creek Road, it has been located adjacent to the large open space tracts of the adjacent multi-family development and the adjacent single family subdivision as shown on the Aerial Map in Exhibit 2, creating a cohesive open space amenity that is accessible by pedestrians and that connects visually between the Site and Campanello Apartments. Pedestrian connectivity to the open space within Campanello Apartments and the Village

at Dobson Crossing will be provided with a concrete walkway at the south end of the cul-de-sac as shown in Exhibit 4.

19. Enlarged Landscape Tract Along Arterial Streets: Although the landscape tract along Queen Creek Road does not extend for one half of the project frontage, it maintains a minimum depth of 45 feet, an average depth of 105 feet and has with no more than six (6) lots backing up to the tract. While the site constraints of the Site limit the ability to fully comply with this element, diversity is provided through this open space and the limited number of homes that will back up to Queen Creek Road. The open space along Queen Creek Road along with the proposed rear yard setbacks for lots backing to Queen Creek Road significantly exceed that of adjacent developments to the west as shown in Exhibit 10.
20. Twenty-foot (20') Landscaped Parkway: A minimum 20 foot landscaped parkway is provided along arterial streets measured from the right-of-way line to the fence. The parkway provided averages over 45 feet in width measured to the curb as shown on the preliminary plat (see Exhibit 11).
21. Other Subdivision Features: Other subdivision features that have been incorporated into the Site's design include raised planters in several of the open space tracts, a chess table in the ramada area and a children's area consisting of a boulder garden and sand play area in the large open space area south of the tot lot.

Required Architectural Diversity Elements

The project has been designed to meet the spirit and intent of the Architectural Diversity Elements. The proposed housing product (see Section III.E and Exhibit 7) satisfies all nine required diversity elements as provided below.

1. Provide Four-Sided Architecture: All portions of homes visible from Queen Creek Road will have four-sided architecture as provided by shutters on Plan 4025-1, roof ridge line breaks, rear patio parapet walls, window mullions, pop-outs, corbels and clay pipe accents (depending upon the architectural style).
2. De-emphasize Garage Fronts: Garage forward facing plans shall not extend from the main body of the house by more than eight (8) feet or shall include standard low courtyard walls.
3. Front Door or Courtyard Entry to be Visible from Street: Front doors or courtyard entries shall be visible from the street on all plans.
4. Single-Story or Combination One- and Two-Story Homes on Corner Lots: Single-story homes or combination of one- and two-story homes (with the two-story portion encompassing a maximum of 75% of the building footprint) shall be built on all six (6) corner lots, which are Lots 6, 7, 11, 12, 16 and 30 as shown on the preliminary plat (see Exhibit 11). The two-story portions of Plans 4025-1 and 4026-2 exceed 75% of the building footprint, and therefore these two plans shall not be built on the six (6) corner lots identified above.

5. Enhanced Rear Elevations Along Arterial and Open Spaces: Enhanced rear elevations will be provided through the use of varied roof massing, rear patio parapet walls, window accent detailing, rear elevation roof line breaks, varied rooflines between floor plans and the three elevations, and other architectural detailing (e.g., corbels and clay pipe accents).
6. Variety of Roofing Colors, Textures and Shapes: As shown in Exhibit 8, a variety of roofing colors, textures and shapes will be provided.
7. Durable Exterior Materials and Finishes: Standard durable materials such as stucco and tile will be provided. In addition, stone veneers will be standard on Elevation "C" for all floor plans (see Exhibit 8).
8. Two-Story Homes to Include Single-Story Element: Two-story homes include single-story elements that preclude a "box-on-box" effect.
9. Standard Covered Rear Patios: Covered rear patios are provided as standard for all floor plans. All rear patios shall have parapet walls.

Optional Architectural Diversity Elements

The proposed housing product meets nine (9) optional architectural diversity elements as provided below (seven (7) architectural diversity elements are required), and therefore the housing product exceeds the expectations of the Architectural Diversity Elements as provided in the Residential Development Standards.

1. Three (3) Significant Architectural Style Differences: Three architectural styles will be provided for each floor plan as described in Section III.E and as shown in Exhibit 7.
2. Prohibit Same Elevation on Adjacent Homes: The same floor plan and elevation will not be located on immediately adjacent lots or on lots directly across the street from each other (where the fronts of each home face each other).
3. Standard Façade Material: Stone veneers will be standard on Elevation "C" for all floor plans (see Exhibit 8). In addition, other architectural elements include shutters, clay pipe accents, corbels, wing walls and other features that will enhance each elevation and the overall quality and diversity of the neighborhood.
4. Distinctive Architectural Details: The three architectural styles all have distinctive architectural details that include window details, stucco eaves, corbels, parapet walls, arbor details, covered front porches, clay pipe accents, window mullions, stylized exterior lighting, garage door designs, front door designs, etc.
5. Screening for Trash Containers: All trash and recycling containers will be stored and screened behind the side-yard wall.

6. Standard Front Porches or Defined Courtyards on at Least One Elevation: Standard front porches or defined courtyards will be provided for all floor plans as shown in Exhibit 7. These front-yard outdoor living spaces will enhance the sense of neighborhood and community by encouraging residents to interact in the front of their homes.
9. Prohibit Series of Roof Slopes Visible from Arterial: For Lots 1-6 (as shown on the preliminary plat), identical rear elevation roof lines shall not be built on more than two (2) adjacent lots along Queen Creek Road.
10. Variety of Front-Yard Landscape Packages: While the front yard landscaping will not be installed by the builder as a standard feature, at least three landscaping packages will be offered as an option to be installed by the builder, and custom landscape packages will also be offered. If the landscaping is not installed by the builder, the builder and Homeowners' Association will require that front yard landscaping be designed and installed utilizing strict standards within 180 days of a retail closing by a homeowner. The Homeowners' Association will have approval rights for all front yard landscaping.
12. Four-Sided Architecture: Four-sided architecture will be provided through the integration of stucco eaves, window detailing, corbels, shutters, clay pipe accents, window mullions, parapet walls, etc.

C. LANDSCAPING / OPEN SPACE / AMENITIES

A major objective of this proposed plan is to provide for a well-planned neighborhood that incorporates community open spaces, recreational amenities and a visual cohesiveness of landscape and architectural elements.

The Site has a total open space area of 2.37 acres, which constitutes 20.4% of the project. In addition to the internal open space, a landscaped streetscape with a minimum width of 45 feet and an average width of 105 feet measured to the back of curb is provided along the project frontage of Queen Creek Road. Another open space area is provided along the primary entrance to the project which features a small landscaped gathering/focal element and small passive turf area.

Open space areas will be developed to enhance the quality of life and provide recreational activities for residents. Recreational amenities will include a tot lot play structure, individual riding toys, ramada equipped with picnic tables, grill and trash receptacle and children's area consisting of a boulder garden and sand play area. Two turf areas adjoin the ramada area, tot lot and boulder garden for active play and recreation. A contiguous sidewalk shaded by trees provides easy access to the neighborhood park for residents throughout the community as well as access to the external open space within the Campanello Apartments and the Village at Dobson Crossing. The landscape treatment for the open space area will consist of a combination of large canopy shade trees, evergreen screen trees, lush drought tolerant shrubs and ground cover plantings that will create a park-like setting. See the Conceptual Landscape Plan in Exhibit 4 for more detail.

The Homeowners' Association will maintain all open space, recreational amenities, common areas, and landscaping. All common open space areas will be irrigated with reclaimed water through an agreement with Ocotillo Management Group.

D. THEME / WALLS / ENTRY MONUMENTATION

In order to help create a strong sense of community, the theme and view walls of Hamilton Heights will aesthetically compliment the architectural styles of the adjacent neighborhoods. This will be achieved by incorporating similar materials, colors and forms, such as a split face block accent banding and single score block walls, split face block columns with precast architectural pier caps, and wrought iron fencing. Material colors will be selected to compliment the architecture of Hamilton Heights as well as the adjacent communities (see Conceptual Wall Elevations in Exhibit 5). The project theme is enhanced by three focal areas at the Site's main entry and at the two entry points to the primary active open space area. These focal points include hardscape elements, theme trees and sitting areas.

Hamilton Heights will have one entry monument sign located along Queen Creek Road at the main entry. This sign will be set perpendicular to the street to provide a clear view of the sign for both east and westbound traffic. The architectural style of the entry sign will complement the perimeter theme walls and homes of Hamilton Heights as well as the adjacent neighborhoods. The sign will have a height of 6 feet and a width of twenty feet and will include three attached raised planter beds, an attached accent wall, an arched sign wall with signage inset area and precast architectural caps. Material finishes include painted single score block and sand textured stucco (see Conceptual Entry Monument in Exhibit 5).

E. HOUSING PRODUCT

Pulte will be offering five floor plans at Hamilton Heights on a conventional lot size that will provide a high-quality workforce housing alternative compared to other current and future housing opportunities in South Chandler. The proposed floor plans consist of three (3) single-story plans and two (2) two-story plans, ranging from 1,756 to 2,701 square feet (see Exhibit 7). The floor plans and elevations have been designed to meet the current lifestyles of today's homebuyers and to complement the existing homes built within the Village at Dobson Crossing and other communities in South Chandler. Design features include open great rooms, flexible living spaces, downstairs master bedroom, outdoor living spaces and oversize garages. The three architectural styles that will help promote diversity within the community are as follows:

1. Elevation "A" – Spanish Colonial

This architectural style is influenced by the Spanish character of this region. It exemplifies an informal appearance and incorporates architectural features that include stucco eaves, arched recessed windows, arch features in front and rear elevations, clay pipe accents, gabled roof forms, "S" type roof tiles and themed wing walls.

2. Elevation “B” – Traditional Cottage

This architectural style is more formal and has a more crafted appearance. This style incorporates architectural features that include clipped gables, corbels, shutters, low arches, decorative vents and flat roof tiles.

3. Elevation “C” – Territorial Ranch

This architectural style is more rustic in nature and is generally inspired by rural country architecture. This style incorporates architectural features that include hipped roofs, shutters, stone finishes, decorative vents and flat roof tiles.

The proposed homes will provide architectural diversity not only through the diversity in the floor plans and elevations but also through the availability of optional features and distinctive color and materials schemes. Three color and materials schemes will be available for each of the three architectural styles, providing a total of nine schemes (see Exhibit 8) for five floor plans and creating diversity throughout the 47-lot community. Exhibit 8 also provides the cut sheets for each architectural style with each cut sheet showing the designs for the front doors, garage doors, exterior lighting, roof tile, window mullions and window pop-out details. In addition to the distinct color schemes, roof tile and stone veneer shown in Exhibit 8, other architectural elements including shutters, clay pipe, arbor details, stucco eaves, corbels, decorative vents, themed wing walls and window detailing further enhance the architectural diversity of the proposed housing product. Multiple roof forms including front-gabled, side-gabled, clipped gables and full hipped gables help to further diversify the architecture and to avoid the “sameness” look of traditional production housing. Window mullions and window pop-out details will be provided for all windows, which will further enhance the architectural styles. The diversity in the proposed floor plans as enhanced by the three architectural styles, four-sided architecture, nine color schemes, distinctive materials and architectural elements, and varied roof forms will ensure a varied streetscape, especially considering the unique layout of the Site. Exhibit 6 provides the front elevation streetscape for the proposed housing product.

F. CIRCULATION

The Site's location provides future residents with easy access to the Loop 202 San Tan Freeway and to downtown Chandler. The primary entrance providing left-turn access into the subdivision will be off of Queen Creek Road, and a secondary entrance will be provided to the east of the main entry.

G. PHASING

This project will be developed as one continuous phase with the exception of the model complex, consisting of Lots 1-3, which will be separated into a sub-phase.

IV. MISCELLANEOUS

A. GRADING AND DRAINAGE

The Site is currently used for agriculture.

As shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), map number 04013C2665G, panel 2665 of 4350, with a current effective date of September 30, 2005, the Site falls within Flood Zone X. Zone X is defined as:

Areas determined to be outside the 0.2% annual chance floodplain.

Retention basins will be constructed to hold the 100-year, 2-hour storm and to provide for active use recreational areas for residents.

The Preliminary Grading and Drainage Plan is provided in Exhibit 12.

B. UTILITIES

Electricity: Provided by Salt River Project (SRP).

Gas: Provided by Southwest Gas Corporation

Communications: Telephone provided by Century Link; Cable TV provided by Cox Communications.

Water & Sewer: Provided by the City of Chandler

Reclaimed Water: Provided by Ocotillo Management Group

C. DEVIATIONS

The following deviations are requested:

- The City's Subdivision Diversity Standards Required Element No. 3 requires vehicular access to rear yards. A deviation is requested to not require vehicular access to rear lots. The Homeowners' Association will restrict residents from storing boats, trailers, etc. in the front of the homes. All of the homes will have extra garage space, allowing adequate garage space for cars, small boats, trailers, etc.
- The City's Subdivision Diversity Standards Required Element Number 4 requires a 30-foot rear yard setback for two-story dwellings. A deviation is requested to provide a minimum rear yard setback of 27 feet for two-story homes. The proposed two-story homes for the Site provide design elements and materials that create diverse four-sided architecture. In addition, the majority of the lots do not back up to each other.

V. PROJECT TEAM

Owner/Builder:

Pulte Home Corporation
Attn: Ryan Huffman, P.E.
16767 N Perimeter Drive, Ste. 100
Scottsdale, AZ 85260-1042
Phone: 480-391-6000

Fax: 480-391-6109

Engineer: Vantage Resources, LLC
Attn: Troy Peterson, P.E.
3010 S Priest Drive, Ste. 102
Tempe, AZ 85282
Phone: 480-629-8830

Landscape Architect: Hadley Design Group, Inc.
Attn: Jason Hadley
7025 N. Scottsdale Road, Ste. 320
Scottsdale, AZ 85253
Phone: 480-429-0500

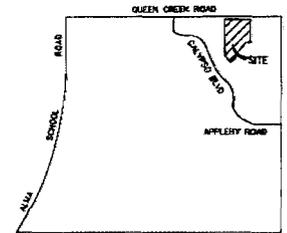
Zoning and Entitlements: Withey Morris, P.L.C
Attn: Jason Morris
2525 E. Arizona Biltmore Circle, Ste. A-212
Phoenix, AZ 85016
Phone: 602-230-0600

VI. CONCLUSION

This proposed Area Plan amendment and zoning change eliminates the multi-family condominium designation, changing it to accommodate single-family residential uses. The proposed plan for the Site meets a high standard of diversity and land use innovation, meeting the majority of the Residential Development Standards for the City of Chandler as outlined in this development booklet. The deviations from the Residential Development Standards are required due to the constraints of the Site. Notwithstanding these deviations, the proposed land use intensity and quality will meet or exceed that of the surrounding environment and meet the spirit and intent of the Residential Development Standards. The development team for Hamilton Heights is confident that the proposed project will be well received by adjacent neighbors as it complements these adjacent developments. We respectfully submit this Area Plan amendment, Planned Area Development amendment, Preliminary Development Plan and preliminary plat for approval.

Pulte Home Corporation.

HAMILTON HEIGHTS SWC ARIZONA AVE & QUEEN CREEK RD BEING A PORTION OF THE NE 1/4 OF SECTION 16, T 2 S, R 6 E OF THE G&SRB&M, MARICOPA COUNTY, ARIZONA PRELIMINARY PLAT

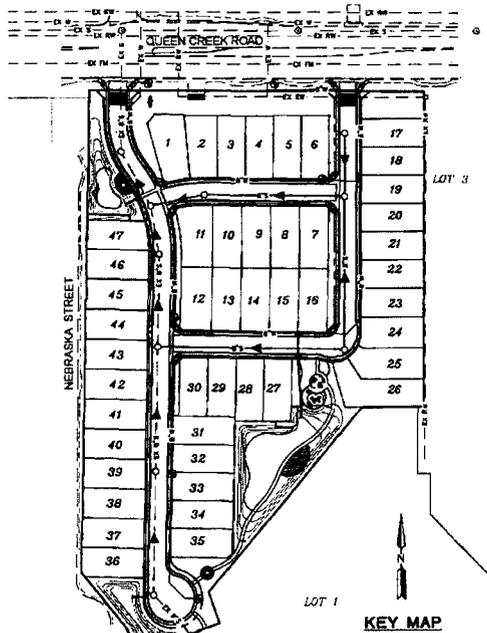


VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION

THAT PORTION OF PARCEL 1, DORSON CROSSING, ACCORDING TO BOOK 747 OF MAPS, PAGE 37, RECORDS OF MARICOPA COUNTY, ARIZONA AND AFFIDAVIT OF CORRECTION RECORDED JULY 14, 2005 IN DOCUMENT NO. 2005-1003572, MARICOPA COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 16;
 THENCE NORTH 89 DEGREES 49 MINUTES 23 SECONDS WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 16, A DISTANCE OF 1380.11 FEET;
 THENCE SOUTH 03 DEGREES 49 MINUTES 35 SECONDS WEST, DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING;
 THENCE CONTINUE SOUTH 03 DEGREES 49 MINUTES 35 SECONDS WEST, ALONG THE WEST LINE OF SAID PARCEL 1, A DISTANCE OF 890.99 FEET;
 THENCE SOUTH 38 DEGREES 34 MINUTES 31 SECONDS EAST, A DISTANCE OF 224.53 FEET;
 THENCE NORTH 51 DEGREES 04 MINUTES 29 SECONDS EAST, A DISTANCE OF 43.26;
 THENCE NORTH 38 DEGREES 30 MINUTES 03 SECONDS EAST, A DISTANCE OF 43.33;
 THENCE NORTH 70 DEGREES 07 MINUTES 09 SECONDS EAST, A DISTANCE OF 24.25;
 THENCE NORTH 19 DEGREES 12 MINUTES 52 SECONDS WEST, A DISTANCE OF 81.56;
 THENCE NORTH 39 DEGREES 49 MINUTES 33 SECONDS EAST, A DISTANCE OF 446.51 FEET;
 THENCE NORTH 89 DEGREES 52 MINUTES 32 SECONDS EAST, A DISTANCE OF 113.09 FEET;
 THENCE NORTH 80 DEGREES 00 MINUTES 02 SECONDS WEST, A DISTANCE OF 590.00 FEET;
 THENCE NORTH 89 DEGREES 48 MINUTES 25 SECONDS WEST, PARALLEL, WITH, AND 71 FEET SOUTH TO THE POINT OF BEGINNING.



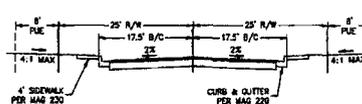
KEY MAP
1"=100'

LOT AREA TABLE

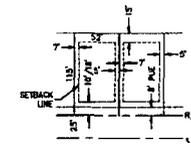
Lot #	Area	Lot #	Area	Lot #	Area
1	7544.77	17	5986.19	33	5986.00
2	6443.62	18	5986.19	34	5986.00
3	5986.00	19	5986.19	35	6180.00
4	5986.00	20	5986.19	36	6303.27
5	6084.00	21	5986.19	37	6324.89
6	6076.47	22	5986.19	38	6324.99
7	6227.65	23	5986.19	39	6324.89
8	6210.07	24	6026.64	40	6324.89
9	6210.67	25	7347.98	41	6324.99
10	6210.07	26	9281.24	42	6324.89
11	8668.30	27	5986.00	43	6324.89
12	6686.68	28	5986.00	44	6324.89
13	6246.48	29	5678.00	45	6324.89
14	6254.14	30	6457.56	46	6324.71
15	6267.81	31	5986.00	47	5985.04
16	6276.68	32	5986.00		

TRACT TABLE

Tract #	Use	Area (sq)	Area (ac)
TRACT A	LANDSCAPE, RETENTION & OPEN SPACE	12842.28	0.2948
TRACT B	LANDSCAPE, RETENTION & OPEN SPACE	21355.40	0.4901
TRACT C	LANDSCAPE & OPEN SPACE	5738.69	0.1317
TRACT D	LANDSCAPE & OPEN SPACE	2034.09	0.0467
TRACT E	LANDSCAPE & OPEN SPACE	2441.15	0.0560
TRACT F	LANDSCAPE & OPEN SPACE	598.00	0.0225
TRACT G	LANDSCAPE, RETENTION & OPEN SPACE	57682.67	1.3242



LOCAL STREET SECTION
PER C.O.C. DETAIL C-313 N.T.S.



TYPICAL LOT DETAIL
N.T.S.

DEVELOPER

PULSE HOME CORP.
10725 W. FARMWOOD DR.
SCOTTSDALE, AZ 85260
PH: 480-991-8833
CONTACT: KIM HUFFMAN

ENGINEER

VANTAGE RESOURCES LLC.
3010 S. PINE ST. STE 102
MESA, AZ 85204
PH: 480-825-8830
CONTACT: PATTY PETERSON

BENCHMARK

CITY OF CHANDLER BENCHMARK (B.M.):
SECTION 4, T2S, R6E, 37 BRASS CAP BY CONCRETE 100' NORTH, 70' WEST OF
INTERSECTION OF ARIZONA AVENUE AND QUEEN CREEK ROAD, ON ROADSIDE BY SMP
STRUCTURE (BORING: 22244607, EASTING: 703845.992)
ELEVATION = 1213.88 (MVD28)
1215.87 (MVD08)
EQUIVON: N042.29 + 1.693 = 1416.96

BASIS OF BEARING

SOUTH 89 DEGREES 37 MINUTES 41 SECONDS EAST - THE NORTH LINE OF THE
NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST Q1A AND
SALT RIVER BASE AND ORIGINAL MARICOPA COUNTY COUNTY, ARIZONA.

SITE DATA

ZONING:	PAD - PLANNED AREA DEVELOPMENT
TOTAL SINGLE FAMILY LOTS:	67
GROSS AREA:	12,72 ac
NET AREA:	17,71 ac
OPEN SPACE:	2.32 ac
DENSITY:	4.31 du/ac
MIN LOT SIZE:	625415' (32.5'x305' lots 28 & 30)
MAX LOT AREA:	9,287 sq ft
Avg LOT AREA:	9,268 sq ft
AVERAGE LOT AREA:	6,288 sq ft
F.L.M.A. ZONE:	ZONE "I"
LATITUDE:	33° 15' 41"
LONGITUDE:	111° 57' 42"

UTILITY SERVICES

WATER:	CITY OF CHANDLER
SEWER:	CITY OF CHANDLER
ELECTRIC:	SALT RIVER PROJECT
TELEPHONE:	QWEST
CABLE:	COX COMMUNICATIONS
GAS:	SOUTHWEST GAS
RECLAIMED WATER:	COOTLETT MANAGEMENT GROUP

SHEET INDEX

PP01 COVER SHEET
PP02 PRELIMINARY PLAT

NOTES:

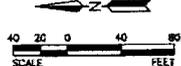
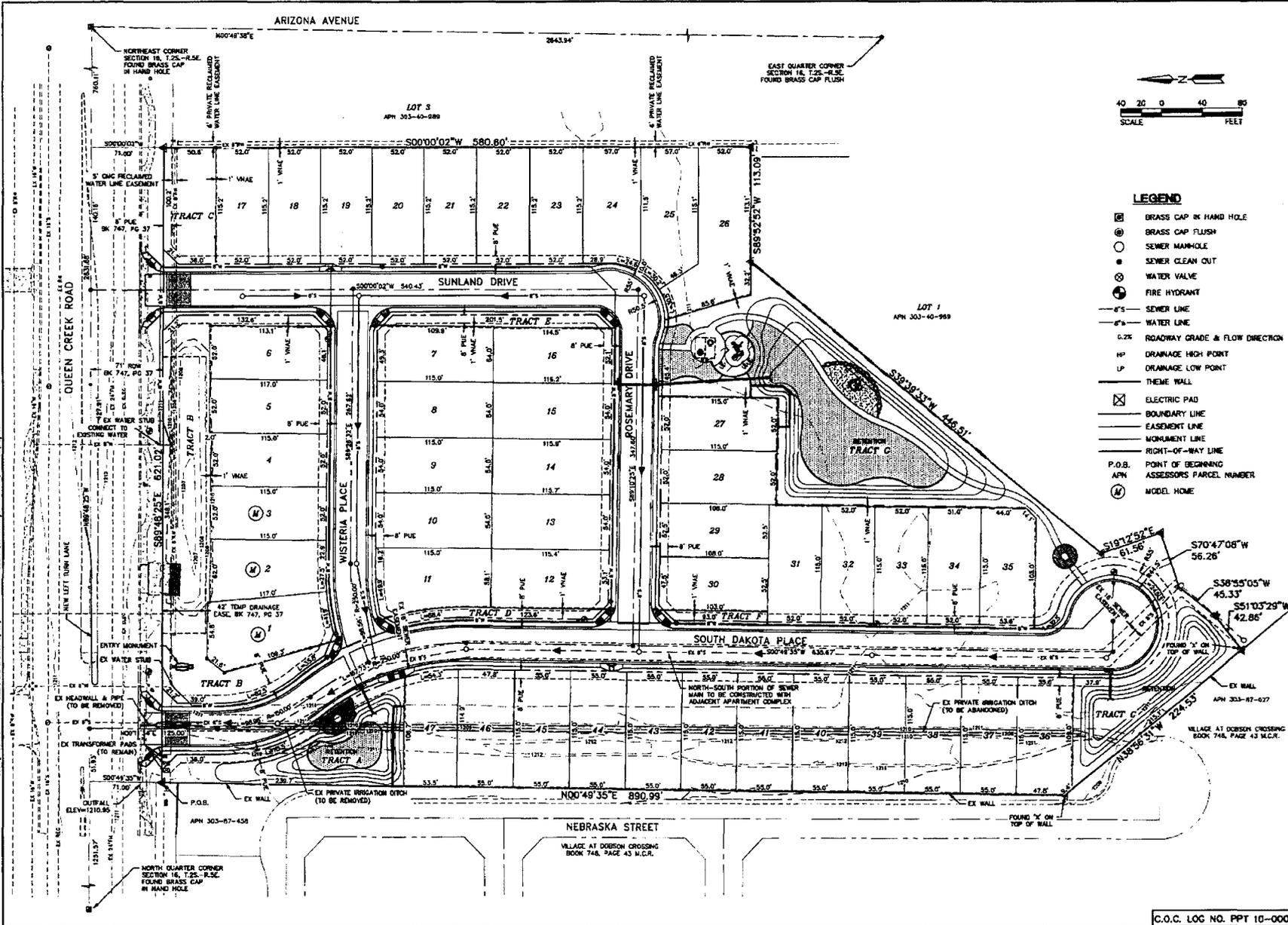
- THIS SUBDIVISION SHALL COMPLY WITH THE RESIDENTIAL DEVELOPMENT STANDARDS DATED MAY 23, 2002.
- THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

<p>HAMILTON HEIGHTS ARIZONA AVENUE & QUEEN CREEK CHANDLER, ARIZONA</p>	<p>PRELIMINARY PLAT</p>
<p>VANTAGE RESOURCES, LLC A Business Company</p>	<p>3010 SOUTH PINE STREET, STE 102 MESA, ARIZONA 85204 PH: (480) 825-8830 WWW.VANTAGERESOURCES.COM</p>
<p>PROJ. NO. 8506 SCALE: AS NOTED DRAWN: SP7 DATE: 11/14/11 DWC. NO. PP01</p>	<p>SHT. 1 OF 2</p>

C.C.C. LOG NO. PPT 10-0005

PRELIMINARY PLAT

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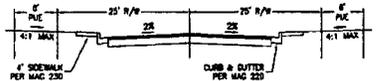
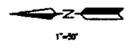
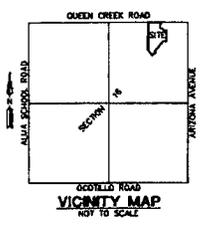
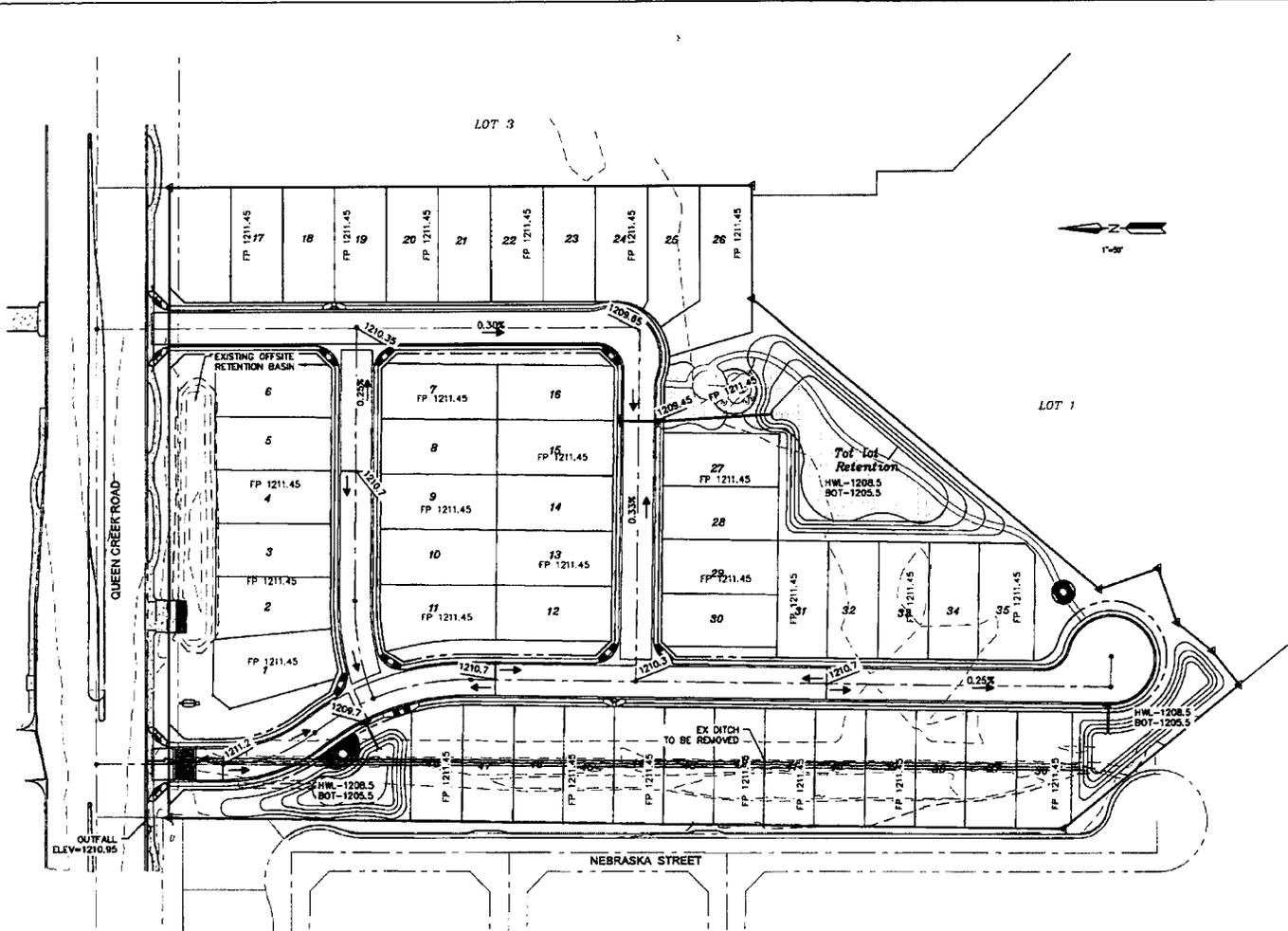
LEGEND

- ⊙ BRASS CAP & HAND HOLE
- ⊕ BRASS CAP FLUSH
- SEWER MANHOLE
- SEWER CLEAN OUT
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- SEWER LINE
- WATER LINE
- 0.2% ROADWAY GRADE & FLOW DIRECTION
- HP DRAINAGE HIGH POINT
- LP DRAINAGE LOW POINT
- THEMIC WALL
- ⊠ ELECTRIC PAD
- BOUNDARY LINE
- EASEMENT LINE
- MONUMENT LINE
- RIGHT-OF-WAY LINE
- P.O.B. POINT OF BEGINNING
- APN ASSASSORS PARCEL NUMBER
- ⊙ MODEL HOME

DATE REVISION REV:	HAMILTON HEIGHTS ARIZONA AVENUE & QUEEN CREEK CHANDLER, ARIZONA	PRELIMINARY PLAN
3010 SOUTH HIGHT DR. SUITE 102 ANTONIO, TEXAS 78204 PH: (409) 639-6600 FAX: (409) 639-6601 WWW.VANTAGERESOURCES.COM		
PROJ. NO.: 9060 SCALE: AS NOTED DRAWN: SMF DATE: 11/14/11 DRG. NO.: PP02 SHEET 2 OF 2		

C.O.C. LOG NO. PPT 10-0005

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OUTFALL:
LOW OUTFALL ELEVATION
MIN FINISH FLOOR 1212.12 (ALL LOTS)
MIN FID 1211.45

PROJECT ENGINEER:
VANTAGE RESOURCES, LLC
3010 S PINEST DRIVE
SUITE 102
TEMP, ARIZONA 85282
PH: (602) 828-9830
CONTACT: TREV PETERSON

DEVELOPER:
PULSE HOME CORP
1815 N PERIMETER BL
SCOTTSDALE, AZ 85260
CONTACT: BOB HATHAM

SITE DATA:
GROSS AREA: 12.72 ac.
NET AREA: 11.71 ac.
OPEN SPACE: 3.42 ac.
DENSITY: 4.10 du/ac
% OPEN SPACE: 26.78
TOTAL LOTS: 48
MIN LOT SIZE: 30'x115'
MIN LOT AREA: 5,730 sq. ft.
STREETS: 15'
FRONT: 15'
SIDE: 15'
REAR: 15'

REV.	REVISION	DATE
HAMILTON HEIGHTS		
5100 ARIZONA AVENUE & QUEEN CREEK ROAD CHANDLER, ARIZONA		
PRELIMINARY GRADING & DRAINAGE		
3010 SOUTH PINEST DR. STE. 102 SUITE 102 TEMP, ARIZONA 85282 PH: (602) 828-9830 CONTACT: TREV PETERSON		
VANTAGE RESOURCES, LLC A Bourque Company		
PROJ. NO.	9500	
SCALE:	1"=50'	
DRAWN:	SWP	
DATE:	10/21/11	
DWG. NO.	1	
SHT.	1 OF 1	

RESOLUTION NO. 4574

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, ADOPTING AN AMENDMENT TO THE "SECTION 16 AREA PLAN" AS A LAND USE GUIDELINE FOR FUTURE REZONING AND LAND DEVELOPMENT WITHIN THE AREA BOUNDED BY BASHA ROAD, OCOTILLO ROAD, ARIZONA AVENUE, AND QUEEN CREEK ROAD.

WHEREAS, an interest has been expressed in seeking approval of a Rezoning request, pending approval of an Area Plan amendment, for a particular development proposal located west of the southwest corner of Arizona Avenue and Queen Creek Road; and

WHEREAS, an existing Area Plan, the "Section 16 Area Plan" has been adopted for this property on April 24, 2008 by Resolution No. 4180; and

WHEREAS, the applicant prepared this amendment to the existing "Section 16 Area Plan"; and

WHEREAS, such an amendment, covering a portion of the adopted Area Plan including a map has been prepared by the applicant for consideration by the City Council after having received public input from the Planning and Zoning Commission and property owners at a previous public hearing;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. That the attached map exhibit, an Amendment to the Section 16 Area Plan, as presented to the Planning and Zoning Commission and approved at their public hearing held on January 4, 2012, is hereby adopted as the guideline for future rezoning and development for the area described within it.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this _____ day of _____, 2012.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 4574 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting was held on the _____ day of _____, 2012, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY (A.D.)

HAMILTON HEIGHTS
 SWC ARIZONA AVE & QUEEN CREEK RD
AREA PLAN AMENDMENT
 FEBRUARY 14, 2011



APPROVED SECTION 16 AREA PLAN



PROPOSED SECTION 16 AREA PLAN

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DATE	
REVISION	
REV.	
HAMILTON HEIGHTS ARIZONA AVENUE & QUEEN CREEK ROAD CHANDLER, ARIZONA	
AREA PLAN AMENDMENT	
3010 SOUTH PINEST DR, STE 102 TAMPA, FLORIDA 33613 PH: (813) 988-8822 WWW.VANTAGERESOURCES.COM	
VANTAGE RESOURCES, LLC	
PROJ. NO.	2081
SCALE	N.T.S.
DRAWN	SKT
DATE	2/14/2011
DWG. NO.	1
SHT.	1 OF 1

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Insert A

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hamilton Heights" and kept on file in the City of Chandler Planning Division, in File No. APL 11-0001/DVR10-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

ORDINANCE NO. 4343

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED AREA DEVELOPMENT (PAD) FOR MULTI-FAMILY RESIDENTIAL TO (PAD) FOR SINGLE-FAMILY RESIDENTIAL IN CASE DVR10-0023 (HAMILTON HEIGHTS) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'.

Said parcel is hereby rezoned from PAD to PAD, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hamilton Heights" and kept on file in the City of Chandler Planning Division, in File No. APL 11-0001/DVR10-0023, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
8. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
9. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
10. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping

within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.

11. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Hamilton Heights development shall use treated effluent to maintain open space, common areas, and landscape tracts.

12. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to

Legal Description
Exhibit A

That portion of parcel 3, Dobson Crossing, according to book 747 of maps, page 37, records of Maricopa County, Arizona and affidavit of correction recorded July 19, 2005 in document no. 2005-1003572, Maricopa County Recorder, being more particularly described as follows:

Commencing at the Northeast corner of said section 16;
Thence North 89 degrees 48 minutes 25 seconds West, along the North line of the Northeast quarter of said section 16, a distance of 1380.11 feet;
Thence South 00 degrees 49 minutes 35 seconds West, distance of 71.00 feet to the **point of beginning.**

Thence continuing South 00 degrees 49 minutes 35 seconds West, along the West line of said parcel 3, a distance of 890.99 feet;
Thence South 38 degrees 56 minutes 31 seconds East, a distance of 224.53 feet;
Thence North 51 degrees 03 minutes 29 seconds East, a distance of 42.86;
Thence North 38 degrees 55 minutes 05 seconds East, a distance of 45.33;
Thence North 70 degrees 47 minutes 08 seconds East, a distance of 56.26;
Thence North 19 degrees 12 minutes 52 seconds West, a distance of 61.56;
Thence North 39 degrees 39 minutes 33 seconds East, a distance of 446.51 feet;
Thence North 89 degrees 52 minutes 52 seconds East, a distance of 113.09 feet;
Thence North 00 degrees 00 minutes 02 seconds West, a distance of 580.60 feet;
Thence North 89 degrees 48 minutes 25 seconds West, parallel with, and 71 feet South of the North line of the Northeast quarter of said section, a distance of 621.02 feet to the **point of beginning.**