

The application requests liquor Use Permit approval to sell liquor as permitted by a Series 12 restaurant license within the restaurant and outdoor patio area. A Series 12 restaurant license allows the on-site sale of beer, wine, and spirits for on-site consumption. Under a Series 12 license, the establishment must derive at least forty (40) percent of its gross revenue from the sale of food and non-alcoholic beverages.

PUBLIC / NEIGHBORHOOD NOTIFICATION

- The request was noticed in accordance with the requirements of the Chandler Zoning Code.
- The applicant's neighborhood meeting was held on October 30, 2012. One resident attended the meeting who expressed support of the requested Use Permit.
- The Police Department has been informed of the application and responded with no concerns.
- At the time of the memo, Planning Staff is not aware of any concerns or opposition to this request.

PLANNING COMMISSION VOTE REPORT

Motion to Approve.

In Favor: 7 Opposed: 0

RECOMMENDED ACTION

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of Liquor Use Permit LUP12-0026 U.S. EGG RESTAURANT, subject to the following conditions:

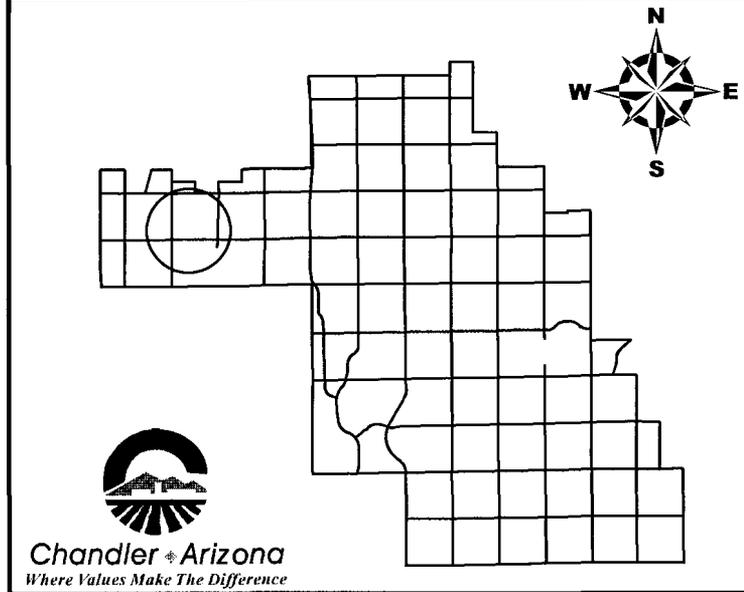
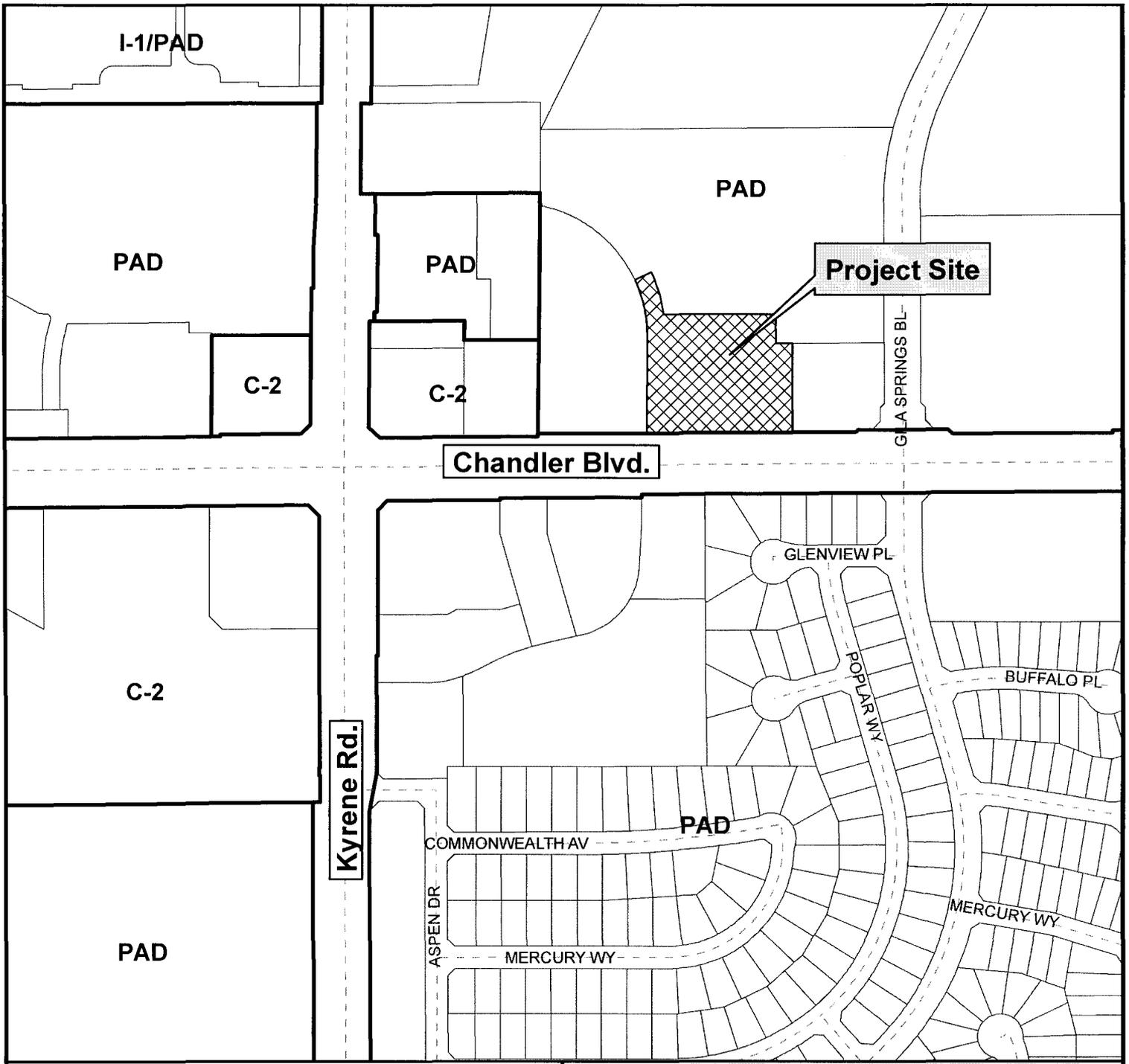
1. Expansion, modification, or relocation beyond the approved exhibits (Site Plan, Floor Plan, and Narrative) shall void the Use Permit and require new liquor Use Permit re-application and approval.
2. The liquor Use Permit is granted for a Series 12 (restaurant license) only, and any change of licenses shall require re-application and new liquor Use Permit approval.
3. The liquor Use Permit is non-transferable to other restaurant locations.
4. The site shall be maintained in a clean and orderly manner.

PROPOSED MOTION

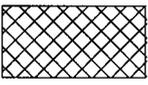
Move to approve Liquor Use Permit case LUP12-0026 U.S. EGG RESTAURANT, subject to the conditions recommended by Planning Commission and Planning Staff.

Attachments

1. Vicinity Maps
2. Narrative
3. Site Plan
4. Floor Plan



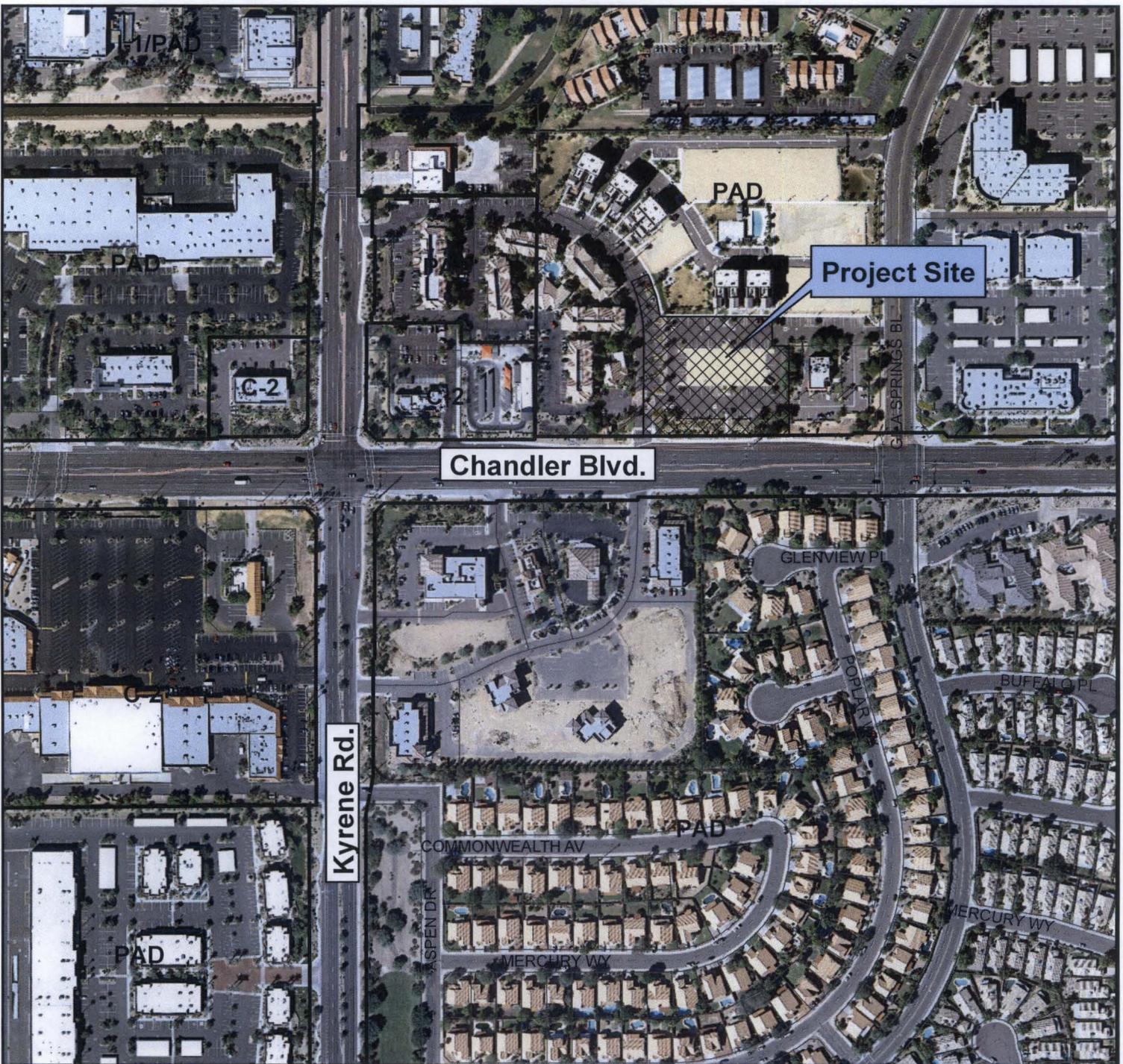
Vicinity Map



LUP12-0026

**U.S. Egg Restaurant
Liquor Use Permit**

CITY OF CHANDLER 10/2/2012



Chandler Blvd.

Kyrene Rd.

Project Site

Vicinity Map



LUP12-0026

**U.S. Egg Restaurant
Liquor Use Permit**

PROJECT NARRATIVE
Use Permit LUP-12-0026

For its Project Narrative, in accordance with the requirements of the City of Chandler Liquor Use Permit Application, US Egg - Chandler, LLC dba U.S. Egg Restaurant states as follows:

U.S. Egg Restaurant is submitting this Use Permit application to allow for alcohol consumption on the premises of the restaurant located at 5840 W. Chandler Blvd, (Northwest corner of Gila Springs and Chandler Blvd) Chandler, Arizona 85226. This application is to request approval of the Liquor Use Permit allowing on-site consumption of alcoholic beverages inside the establishment and on the fenced outdoor patio. This series liquor license does not permit package to go sales. This type of license does not have minimum distance requirements from churches or schools. The consumption of alcoholic beverages at this site will not negatively impact residents or other businesses within the surrounding area.

The Chandler restaurant is one of four family owned and operated restaurants in the metropolitan Phoenix area. This U.S. Egg restaurant was constructed in 2010 and opened to the public in 2011. This is a request for approval to sell spirituous liquor with on-site consumption within the restaurant and adjacent fenced outdoor patio. The restaurant offers Breakfast and Lunch meals and will continue to operate 7 days a week from 6:30 am until 2:30 pm. A copy of the existing menu with existing hours of operation is attached. There are no entertainment related activities such as live music, outdoor music speakers, pool tables, or the like requested. The restaurant currently employs 20 people. The interior of the restaurant seats approximately 200 and the outdoor patio seats 25 people.

U.S. Egg Restaurant has a large existing clientele due to the quality of the food and exceptional service. Weekends are especially busy for breakfast at the U.S. Egg Restaurant with many customers desiring to enjoy alcoholic beverages such as a mimosa (Champagne and orange juice) with their breakfast or brunch. The consumption of alcoholic beverages on premises will complement the food service provided by the restaurant. A restaurant series liquor license is permitted to sell all types of spirituous liquor for consumption on the premises only. A small outdoor patio on the south side of the business will be used for food and alcohol consumption. The patio is contiguous with the restaurant and is enclosed with iron fencing with access from interior doors of the restaurant to service customers seated on the patio. There is existing landscaping previously approved by the City of Chandler to produce a safe, inviting and aesthetically appealing dining area.

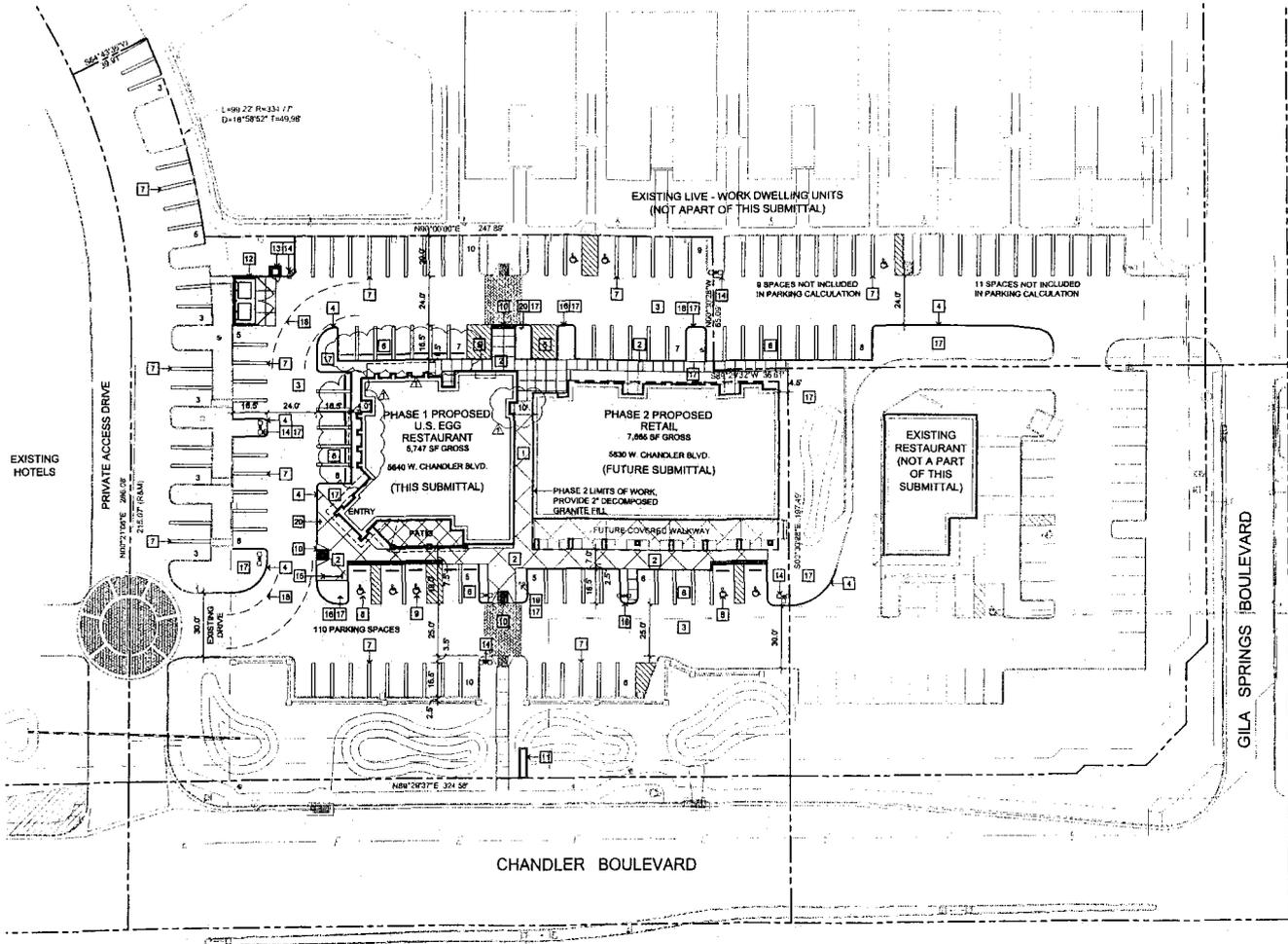
The U.S. Egg Restaurant will be closed every day at 2:30 pm. Therefore, the issuance of a Use Permit will not disrupt the existing balance of daytime and nighttime

uses and will not affect vehicular or pedestrian traffic in the adjacent parking lots as there is adequate parking and entrances/exits to the businesses, and properties on the northwest corner of Gila Springs and Chandler Blvd.

If you should have any additional questions you may contact me at the number listed below.

Sincerely,

Theresa J. Morse
Consultant
480-353-8035



1 SITE PLAN
SCALE: 1" = 30'-0"

KEYED NOTES

- SITE KEYED NOTES**
- 9'-0" WIDE WALKWAY BETWEEN BUILDINGS.
 - CONCRETE SIDEWALKS WITH SALT FINISH AND SCORING AS SHOWN.
 - MINIMUM 2" ASPHALTIC CONCRETE PAVEMENT APPLIED OVER MINIMUM 4" AGGREGATE BASE COURSE. REFERENCE GEOTECHNICAL INVESTIGATION REPORT.
 - 8" CAST IN PLACE CONCRETE CURBS.
 - 12'-0" WIDE SERVICE/LOADING SPACE SLOPED TO BE FLUSH WITH SIDEWALK.
 - MINIMUM 8'-0" X 18'-0" PARKING SPACES WITH DOUBLE STRIPPING AND MAXIMUM 2'-0" OVERHANG WHERE SHOWN.
 - DOUBLE STRIPPING AT EXISTING PARKING SPACES AS SHOWN.
 - MINIMUM 11'-0" X 10'-0" DESIGNATED AND MARKED ACCESSIBLE PARKING SPACES WITH MINIMUM 5'-0" WIDE STRIPED ACCESSIBLE ADJACENT TO DESIGNATED SPACES. PROVIDE TRUNCATED DOMES ON THE CURB BETWEEN THE BUILDING AND THE PARKING SPACE. REFERENCE DETAILS 1, 2, 3 ON SHEET A122.
 - ACCESSIBLE / VAN ACCESSIBLE PARKING SPACES PER CITY OF CHANDLER STANDARDS. REFERENCE SHEET A122.
 - ACCESSIBLE RAMP(S) MAXIMUM 1:12 SLOPE WHERE AND AS SHOWN WITH ADA COMPLIANT TACTILE SURFACES (TRUNCATED DOMES) WHERE REQUIRED. REFERENCE DETAIL 13, AND 13A ON SHEET A122.
 - MONUMENT SIGN LOCATION. CONSTRUCTION OF MONUMENT SPACE WILL BE FURNISHED UNDER SEPARATE AGREEMENT BY OTHERS AND PERMITTED UNDER SEPARATE APPLICATION. REFERENCE DETAILS ON SHEET A316.
 - MINIMUM 8'-0" HIGH DOUBLE REFUSE ENCLOSURE, MINIMUM 24'-0" X 10'-0". IN COMPLIANCE WITH CITY ORDINANCE. FINISH AND COLOR TO MATCH APPROVED BUILDING. REFERENCE SITE DETAILS A121.
 - MINIMUM 8'-0" HIGH TALLOW BRN ENCLOSURE. PROVIDE REINFORCED MASONRY STRUCTURE. FINISH AND COLOR TO MATCH APPROVED BUILDING. REFERENCE SITE DETAILS A121.
 - 16'-0" HIGH POLE MOUNT, SHIELDED. "SHROUD" TYPE SITE LIGHT FIXTURE. REFERENCE ELECTRICAL SITE PLAN.
 - BICYCLE RACKS PER DETAIL 8 ON A122.
- LANDSCAPE KEYED NOTES**
- MINIMUM 9'-0" WIDE LANDSCAPE ISLANDS WHERE SHOWN IN PARKING LOT WITH 8" CAST IN PLACE CURBS.
 - LANDSCAPE PLANTING AND FEATURES AS SHOWN ON LANDSCAPE AND IRRIGATION DOCUMENTS BY OTHERS UNDER THIS APPLICATION.
- FIRE PREVENTION KEYED NOTES**
- FIRE TRUCK ACCESS. ALLOW FOR MINIMUM TURNING RADIUS REQUIREMENTS OF THE LOCAL FIRE AUTHORITY.
 - FIRE DEPARTMENT CONNECTION(S), (FDC) AS REQUIRED BY THE LOCAL FIRE AUTHORITY.
 - "NO PARKING, FIRE LANE" SIGNAGE AS REQUIRED BY THE LOCAL FIRE AUTHORITY.

GENERAL NOTES

- REFERENCE A11 FOR EXISTING ITEMS TO REMAIN AND DEMOLITION INFORMATION.
- REFERENCE CIVIL AND SURVEY DOCUMENTS FOR SITE UTILITY INFORMATION.
- THE BUILDING SIGNAGE SHALL BE NON-ILLUMINATED ON ELEVATIONS FACING THE ADJACENT DEVELOPMENTS ALONG THE SITE'S NORTH AND WEST BOUNDARY.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEAN-UP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING.
- ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK FLOW DEVICES AND ANY OTHER UTILITY EQUIPMENT, NOT TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BLDG. COLOR.
- PROVIDE ADEQUATE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS TO PREVENT FLOODING. ALL SITE WATER SHALL BE PROPERLY RETAINED AND/OR REMOVED FROM THE SITE IN COMPLIANCE WITH THE APPROVED REQUIREMENTS OF LOCAL FLOOD CONTROL AUTHORITIES.
- PROVIDE PREMISES IDENTIFICATION PROMINENTLY DISPLAYED, PLAINLY VISIBLE, AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY IN COMPLIANCE WITH IBC SECTION 501.2 - PREMISES IDENTIFICATION AND OF AT LEAST MINIMAL LETTER AND NUMERAL SIZE AS REQUIRED BY THE LOCAL BUILDING AND FIRE AUTHORITIES HAVING JURISDICTION.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARALLEL WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL ROOF MOUNTED MECHANICAL EQUIPMENT.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.

PROJECT DATA :

PROJECT DESCRIPTION : CONSTRUCTION OF A 5,740 SF RESTAURANT BUILDING FOR U.S. EGG RESTAURANT AND SITE IMPROVEMENTS AT 5840 WEST CHANDLER BOULEVARD ON A 1.06 ACRE +/- SITE ON WEST CHANDLER BOULEVARD @ NYC GILA SPRINGS BOULEVARD.

OWNER / DEVELOPER : U.S. EGG RESTAURANTS
3228 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA 85251
(480) 947-7344

SITE DATA :

ASSESSOR'S PARCEL NUMBER : 306-03-948

LEGAL DESCRIPTION : LOT 2, THE CROSSING AT GILA SPRINGS A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE G. & S. R. B. & M. CITY OF CHANDLER, MARICOPA COUNTY, ARIZONA.

CURRENT ZONING : PLANNED AREA DEVELOPMENT (PAD)

GROSS SITE AREA : 106,448.00 SF (2.51 ACRES +/-)

NET SITE AREA : 84,302.05 SF (1.98 ACRES +/-)

OPEN SPACE RATIO : 21,961 SF / 106,448 SF = 0.1967 = 20%

PARKING CALCULATION

PARKING REQUIRED:	
2,966 SF RESTAURANT PUBLIC AREA	56.12 SPACES
48 SF SPACE PER 50 SF	9.8 SPACES
48 SF DINING PATIO	9.8 SPACES
1 SPACE PER 50 SF	10 SPACES
EMPLOYEE PARKING REQ.:	
7,885 SF FUTURE RETAIL BLDG.	30.7 SPACES
1 SPACE PER 260 SF	
TOTAL REQUIRED PARKING:	116 SPACES
ACCESSIBLE PARKING REQUIRED 110(4):	4.4 SPACES
ACCESSIBLE PARKING PROVIDED:	7 SPACES
VAN ACCESSIBLE PARKING REQUIRED 5(8):	826 SPACES
VAN ACCESSIBLE PARKING PROVIDED:	1 SPACE
STANDARD PARKING PROVIDED:	102 SPACES
TOTAL PROVIDED PARKING:	116 SPACES

BICYCLE REQUIREMENTS

BICYCLE PARKING REQUIRED: 110 / 10"	11 SPACES
BICYCLE PARKING PROVIDED:	12 SPACES

2 BICYCLE RACKS @ 8 EACH
(1 RACK TO BE PROVIDED WITH FUTURE RETAIL BUILDING)

BUILDING DATA :

IBC CONSTRUCTION TYPE: TYPE V-8 (SPRINKLERED - NFPA 13)

BUILDING HEIGHT & AREA LIMIT PER IBC: ASSEMBLY GROUP A-2, TYPE V-8 (W/ APES / NFPA 13) = ONE STORY AND 5,000 SF

BUILDING HEIGHT PROVIDED: ONE STORY, 28'-4"

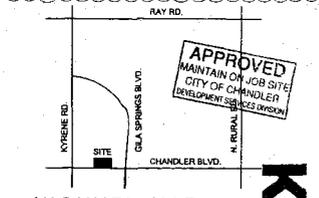
BUILDING AREA PROVIDED: 2,966 GROSS SF RESTAURANT
460 SF GROSS SF DINING PATIO
2,744 SF GROSS SF KITCHEN
OFFICE BATHROOMS

TOTAL BUILDING GROSS SF PROVIDED: 3,230 GROSS SF

MAXIMUM OCCUPANCY: 281 PEOPLE
(REFERENCE A210 FOR OCCUPANCY PLAN, EXITING SCHEDULE AND CALCULATIONS)

PUBLIC PLUMBING FIXTURES REQUIRED AND PROVIDED:

WATER CLOSETS AND URINALS REQUIRED: 1 PER 75	281 / 75 = 3.75 = 4 W.C.
PROVIDED: 4	1 MEN'S W.C. & 1 WOMEN'S W.C.
LAVATORIES REQUIRED: 1 PER 200	281 / 200 = 1.41 = 2 LAVS.
PROVIDED: 4	2 MEN'S AND 2 WOMEN'S
DRINKING FOUNTAINS REQUIRED: 1/600	281 / 600 = .47 = 1
PROVIDED: ZERO, WATER PROVIDED WITH DINING	



1 VICINITY MAP
NOT TO SCALE

CALL 3 WORKING DAYS BEFORE YOU GO
(602) 283 1000
1 (800) STAKE-IT
OUTSIDE MARICOPA COUNTY



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SIT FOR CONS'
U.S. EGG RESTAURANT

COPY/REV BY: K/O AR
DOCUMENTS USED FOR 1 UNIT, AL INITIALS
CITY SUBMIT BIDDING SET
CITY APPRO ISSUED FOR CONSTRUCTION
PROJECT NO: PROJECT M
DRAWN BY: [Signature]
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