



MEMORANDUM Transportation & Development - CC Memo No. 13-046

DATE: MARCH 26, 2013

TO: MAYOR AND CITY COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
 PATRICK MCDERMOTT, ASSISTANT CITY MANAGER *PM*
 R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*
 JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
 KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, CITY PLANNER *ES*

SUBJECT: DVR12-0043/PPT12-0021 JACARANDA PLACE
 Introduction and Tentative Adoption of Ordinance No. 4445

Request: Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) along with Preliminary Development Plan (PDP) and Preliminary Plat (PPT) approval for a single-family residential subdivision

Location: West of the northwest corner of Lindsay and Riggs roads

Applicant: Jeremy Ramsdell; Ashton Woods Homes

RECOMMENDATION

The request is for Rezoning from AG-1 to PAD along with PDP and PPT approval for a 57-lot single-family residential subdivision . Planning Commission and Staff, upon finding consistency with the General Plan and Southeast Chandler Area Plan (SECAP), recommend approval with conditions.

BACKGROUND

The subject site is located west of the northwest corner of Lindsay and Riggs roads. North and west of the site are county islands; east is the Shadow Ridge single-family residential subdivision. South, across Riggs Road is the Springfield Lakes master-planned community. Located at the southeast corner of the site is an existing SRP substation. At the northwest corner of the subdivision is an existing communication pole that will remain. The pole was approved through the county. The eastern portion of the subject site was recently annexed and granted city

initial zoning of AG-1; the western portion of the site was approved in 2005 for a custom single-family residential subdivision. The request combines the previously approved subdivision and the recently annexed properties. The subject site is located within the SECAP and designated as supporting Rural/Agrarian Character allowing for residential development to occur up to 3.5 dwelling units per acre. With a minimum lot size of 10,716 square feet, an overall density of 2.3 units per acre is provided. Due to density being less than 2.5 dwelling units per acre density incentives/amenities as outlined in the SECAP, are not required; however elements are incorporated into the overall design of the subdivision.

SUBDIVISION LAYOUT

The gated 57 lot subdivision provides a single-point of access off of Riggs Road, as well as provides a gated emergency access point along 142nd Street. The 142nd Street alignment serves the county island directly north of the subdivision. Due to the Shadow Ridge development to the east, 142nd Street does not meet city standards for a full right-of-way width. In an effort to accommodate city standards, as well as to fulfill requests by the county island to the north, 142nd Street will be widened to 29', four-feet wider than the typical city standard. Additionally, the developer has agreed to locate a fire hydrant at the northeast corner of the subdivision, outside of the subdivision perimeter wall. The gated entrance and perimeter wall designs are uniquely designed and incorporate a contemporary design with rural theming. Predominant use of wire mesh elements along with steel framing will produce a rusted appearance. Additionally, various perforated steel panels, cladding, and tubular steel elements create a strong visual impact at the entrance of the subdivision.

The layout of the subdivision is rectilinear in design. Due to no homes backing up to Riggs Road, a deep landscaped tract with an average of 80' is provided along the frontage. A single, formally designed open space area is centrally located along the western portion of the subdivision. Amenities within the open space area include a ramada, game tables, climbing boulders, log beams, and a formal rose garden area. Various exhibits of the amenities are provided within the booklet. Since the open space is located along the western end of the subdivision, the area has three street frontages. A low hedge will surround the open space area adjacent to the street frontages for safety purposes. Landscaped retention areas are located at the southeastern and northwestern portion of the subdivision.

HOUSING PRODUCT

Three single-story and three two-story homes are proposed. Of the single-story plans, two provide second story options. Three elevations will be provided for each home; however the development team has designed five elevation styles (not all styles apply to each floor plan). The styles include: Spanish Colonial, Prairie, Tuscan, Ranch, and Spanish Monterey. The Ranch, Tuscan, Prairie elevations provide stone as a standard element. Home sizes range from 2,861 sq. ft. to 5,403 sq. ft. Typical lots are 80'x135' for a typical lot size of 10,800 square feet; however, lots range from 10,716 square feet up to 22,796 square feet.

Due to all lots exceeding 10,000 square feet, the Residential Development Standards for architectural diversity do not apply. In an effort to provide a high quality project, the design team has incorporated a number of elements found within the development standards including:

sense of arrival, project themes, deeper setbacks, and varying garage orientations. Architectural elements include four-sided architecture, courtyards, combination single and two-story elements, window mullions throughout, architecturally integrated garage doors, and standard patios. A mix of recessed, forward and side-entry, and two-car with tandem space garages are provided. Rear patios are internally incorporated into the design of the home.

DISCUSSION

Planning Commission and Staff support the request citing that the subdivision represents another quality addition to Chandler's housing stock. Furthermore, the design team has done an excellent job addressing subdivision layout and architectural standards even though typical lot size exceeds the requirements that the standards would apply to. Additionally, in working with the residential area north of the subdivision, the development team agreed to widen 142nd Street beyond standard requirements and agreed to provide a fire hydrant outside of the subdivision, elements not usually required.

In the development book under the *Development Standards* section, it states that lot coverage requested is 60% for single-story homes and 50% for two-story homes; however exempts any accessory structures from lot coverage calculations. Staff recommends that all structures not exceed 50% lot coverage. Additionally, rear setbacks for accessory structures were unintentionally omitted; Staff recommends setbacks for accessory structures meet the same requirements provided for the homes.

PUBLIC/NEIGHBORHOOD NOTIFICATION

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- Two neighborhood meetings were held. The first neighborhood meeting was run by the applicant only, and due to a large turnout and a number of questions the neighbors had, a second neighborhood meeting was scheduled to include City representatives. Thirteen neighbors attended the first meeting, on neighbor attended the second meeting. Both meetings were noticed in accordance with the Zoning Code. Staff has heard from a number of residents from the north. A majority of the calls were general in nature, with a couple of the calls reiterating the points that were raised at the first neighborhood meeting. A number of the concerns related to construction traffic and processes once development occurs such as access to Victoria Place while 142nd Street is being widened, retention and run-off along 142nd Street, widening 142nd Street, providing fire hydrants, and providing deeper rear yard setbacks along the northern lots and restricting homes to single-story along Victoria Street. Staff believes all concerns have been addressed, and is unaware of any unresolved concerns.

PLANNING COMMISSION VOTE REPORT

Motion to Approve:

In Favor: 4 Opposed: 0 Abstain: 1 (Baron) Absent: 2 (Donaldson, Rivers)

Two neighbors spoke at the Planning Commission hearing. Both neighbors generally supported the request; however requested that the homes along Victoria Street be limited to single-story. The developer agreed to condition no. 5 of the Preliminary Development Plan recommendation to limit homes to no more than two two-story homes to be located adjacent to each other in an

effort to compromise. Additionally, one of the speakers had concerns with construction traffic, 142nd Street and Riggs Road speeds, multi-use equestrian trail, and protection of their animals and property during construction.

RECOMMENDED ACTIONS

Rezoning

Planning Commission and Staff, upon finding consistency with the General Plan and the SECAP, recommend approval of DVR12-0043 JACARANDA PLACE, Rezoning from AG-1 to PAD, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "JACARANDA PLACE" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0043, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
8. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.

9. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
10. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
11. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Jacaranda Place development shall use treated effluent to maintain open space, common areas, and landscape tracts.

12. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with

the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of DVR12-0043 JACARANDA PLACE, Preliminary Development Plan for subdivision layout and housing product, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "JACARANDA PLACE", and kept on file in the City of Chandler Planning Division, in File No. DVR12-0043, except as modified by condition herein.
2. No more than two identical side-by-side roof slopes should be constructed along arterial or collector streets or public open space.
3. The same elevation shall not be built side-by-side or directly across the street from one another.
4. All homes built on corner lots within the residential subdivision shall be single-story.
5. No more than two, two-story homes shall built side-by-side for lot 43 through 49.

Preliminary Plat

Planning Commission and Staff recommend approval of the Preliminary Plat PPT12-0021 JACARANDA PLACE, subject to the following condition.

1. Approval by the City Engineer and Director of Transportation & Development with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Rezoning

Move to Introduce and Tentatively Adopt Ordinance No. 4445 approving DVR12-0043 JACARANDA PLACE, Rezoning from AG-1 to PAD, subject to the conditions as recommended by Planning Commission and Staff.

Preliminary Development Plan

Move to approve DVR12-0043 JACARANDA PLACE, Preliminary Development Plan for subdivision layout and housing product, subject to the conditions recommended by Planning Commission and Staff.

Preliminary Plat

Move to approve PPT12-0021 JACARANDA PLACE, Preliminary Plat for a 57 lot single-family residential subdivision, subject to the condition recommended by Planning Commission and Staff.

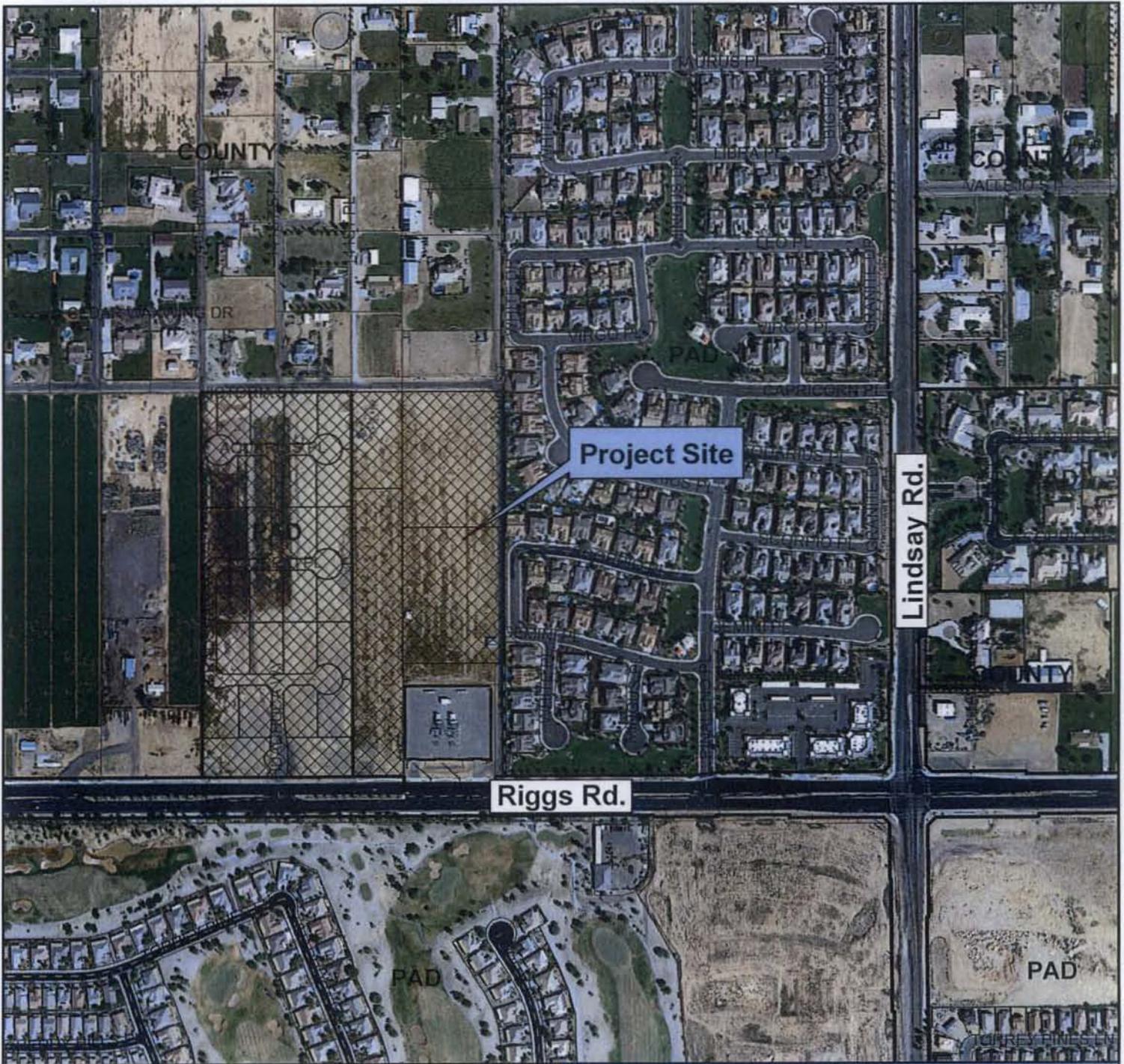
CC Memo 13-046

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Attachments

1. Vicinity Maps
2. Site Plan
3. Landscape Plan
4. Amenity Exhibit
5. Elevations
6. Applicant Narrative
7. Preliminary Plat
8. Ordinance No. 4445
9. Development Booklet



Vicinity Map



DVR12-0043

Jacaranda Place





Climbing Boulder



Log Beam



Whirligig



Game Tables



Community Garden



Community Garden



Boulder Slope



Bench

0 20 40

scale: 1" = 20'



north

02.13.13

Community Park Plan

JACARANDA PLACE

andersonbaron
plan · design · achieve
1000 WEST 10TH STREET, SUITE 100
DENVER, COLORADO 80202





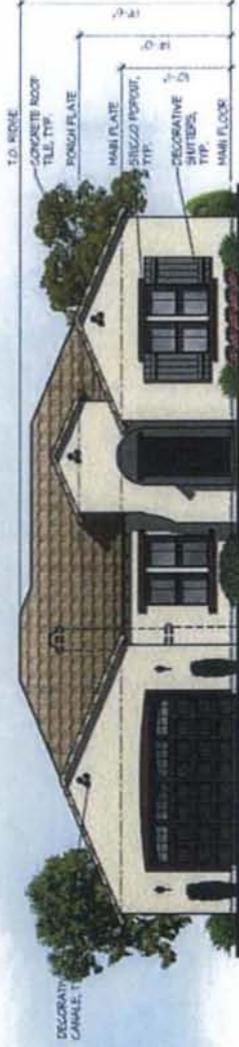
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Rear Elevation
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Left Side Elevation
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Front Elevation
 scale: 3/16" = 1'-0"



Plan 6529
 Elevation A: Spanish Colonial
 Color Scheme 3

Jacaranda Place - Chandler, AZ

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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



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Plan 6529
 Elevation F: Tuscan
 Color Scheme 3

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



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Plan 6532
Elevation A: Spanish Colonial
Color Scheme 2

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

WOOD CORBEL
TYP.
R.S. WOOD TRIM
TYP.

T.O. RIDGE
CONCRETE ROOF
TILE, TYP.
MAN FLATE
DECORATIVE
RAFTER TAILS,
TYP.
STONE
VENEER, TYP.
MAN FLOOR

2'-6"
10'-1"



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Plan 6532
Elevation B: Ranch
Color Scheme 4

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



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Plan 6532
Elevation G: Desert Prairie
Color Scheme 1

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

DECORATIVE
CANALS, TYP.

STUCCO POPOUT,
TYP.

DECORATIVE
SHUTTERS,
TYP.

T.O. ROOF

CONCRETE ROOF
TILE, TYP.

PORCH PLATE

MAIN PLATE

14'-1"

5'-0"

MAIN FLOOR



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Plan 6536
Elevation A: Spanish Colonial
Color Scheme 4

Jacaranda Place - Chandler, AZ



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Right Side Elevation
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Rear Elevation
 scale: 3/16" = 1'-0"



Left Side Elevation
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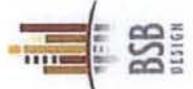
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Plan 6536
 Elevation F: Tuscan
 Color Scheme 1

Jacaranda Place - Chandler, AZ

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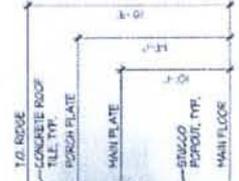
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Rear Elevation
 scale: 3/16" = 1'-0"



Left Side Elevation
 scale: 3/16" = 1'-0"

Front Elevation
 scale: 3/16" = 1'-0"



1. DECORATIVE
 SHUTTERS, TYP.
 STONE VENER, TYP.



Plan 6536
 Elevation G: Desert Prairie
 Color Scheme 2

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



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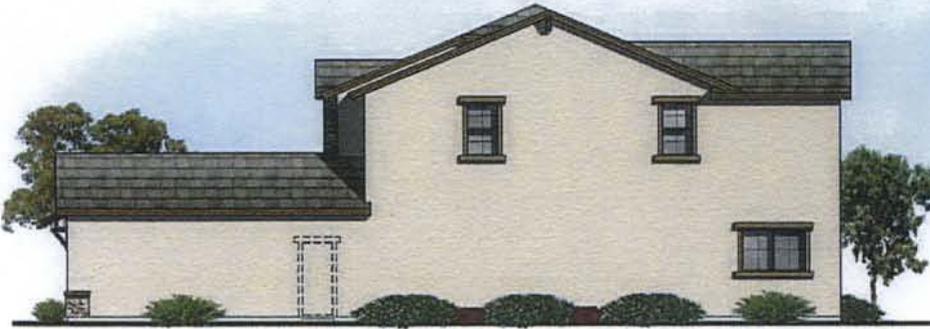
Plan 6546
 Elevation A: Spanish Colonial
 Color Scheme 1

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

Plan 6546
 Elevation B: Ranch
 Color Scheme 1

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



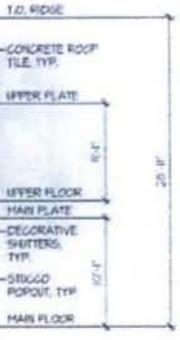
Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



STUCCO POPOUT, TYP.
 DECORATIVE CANALE, TYP.
 STUCCO POPOUT, TYP.

Plan 6546
 Elevation C: Spanish Monterey
 Color Scheme 1

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



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Plan 6550
Elevation F: Tuscan
Color Scheme 2

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"



STUCCO POPOUT, TYP.



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Plan 6550
Elevation G: Desert Prairie
Color Scheme 3

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

Plan 6554
Elevation B: Ranch
Color Scheme 2

Jacaranda Place - Chandler, AZ



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Right Side Elevation

scale: 3/16" = 1'-0"



Rear Elevation

scale: 3/16" = 1'-0"



Left Side Elevation

scale: 3/16" = 1'-0"



Front Elevation

scale: 3/16" = 1'-0"

HOOD CORBELS, TYP.
DECORATIVE RIS, HOOD TRIM, TYP.

T.O. ROOF
CONCRETE ROOF TILE, TYP.
UPPER PLATE
DECORATIVE SHUTTERS, TYP.
UPPER FLOOR
MAIN PLATE
STONE VENEER, TYP.
STUCCO POPOUT, TYP.
MAIN FLOOR

Plan 6554
Elevation F: Tuscan
Color Scheme 2

Jacaranda Place - Chandler, AZ



The drawings represent the distribution of materials and appointments shown. Subject to change without notice. All design components are applicable unless otherwise noted. All dimensions are in feet and inches. All other specifications apply.

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I. INTRODUCTION

Ashton Woods Homes (“Ashton Woods”) is the proposed homebuilder for approximately 27 acres near Lindsay Road and Riggs Road (the “Site”). The Site will be developed as Jacaranda Place, a single-family subdivision. Ashton Woods is requesting the site be zoned Planned Area Development (PAD) for Single-Family Residential, along with approvals of the Preliminary Plat and Preliminary Development Plan (PDP) for Subdivision Layout and Housing Product.

The proposed single-family residences will provide expanded housing choices for the Southeast Chandler Area. Jacaranda Place will be compatible with neighboring developments, will be in conformance both the City of Chandler Residential Development Standards and the Southeast Chandler Area Plan, and will provide an attractive presence in the area.

II. SURROUNDING AREA AND EXISTING ZONING

An aerial and vicinity map of the Site is attached as **Exhibit 1**. The Site is bounded by Riggs Road and Springfield Lakes subdivision to the south, Shadow Ridge subdivision to the east, single-family County residences to the north, and private undeveloped property to the west. City of Chandler property and an SRP substation are also adjacent to the southeast corner of this property.

This PAD/PDP and preliminary plat request is preceded by an application to annex the eastern portion of the site into the City of Chandler (the “City”) with an existing zoning designation of RU-43. The Site is designated on the City’s General Plan as Residential and is located within the Southeast Chandler Area Plan. The Southeast Area Plan identifies the site as Traditional Suburban Character with a target density of less than 2.5 du/ac.

III. PROPOSED PAD AND PDP

This proposed Jacaranda Place PAD is for a single family neighborhood that is compatible with the City’s General Plan, Southeast Chandler Area Plan, and surrounding area.

Jacaranda Place is proposed to be developed with 57 lots on 26.05± gross and net acres with a minimum lot size of 80’ x 135’, resulting in a density of 2.3 du/ac. The project has 5.42 acres of open space comprising 20.8% of the overall project area. The project will be gated with private internal streets. See **Exhibit 2, Preliminary Site Plan** for the project layout. Primary access to the site will be from Riggs Road, where residents will pass by a lushly landscaped open space area, with a variety of trees, shrubs, and turf. See **Exhibit 3, Master Landscape Plan**.

A. DEVELOPMENT STANDARDS

This project has been planned with the following residential lot development standards, the details of which are discussed below.

Regulation	Development Standard
Front Yard Setback	20 ft. to the garage door of a forward facing garage 15 ft. to a side entry garage or livable area component
Rear Yard Setback	Single Story: 20 ft. Two Story: 30 ft. 20' for patios & single story elements of two-story homes
Side Yard Setback	5 ft. and 10 ft.
Minimum Lot Width	80 ft.
Minimum Lot Area	10,716 sq. ft.
Maximum Lot Coverage *	60% for single-story 50% for two-story

*Casitas, ramadas, and accessory structures are not included in lot coverage calculations.

Front Yard: The minimum front yard setback for a forward facing garage is 20 feet measured from the property line to the face of the garage door and 15 feet measured from the property line to a side entry garage or the nearest livable area component, which may include but is not limited to, optional garage bonus room, porch, or other livable space.

Rear Yard: Two-story homes must be set back a minimum of 30 feet from the rear property line; single-story homes must be setback a minimum of 20 feet. Rear setbacks are measured to the rear patio columns and/or living area of the home. Patio covers may encroach up to 10 feet into the rear setback. Single-story living spaces of two-story homes may encroach up to 10 feet into the rear setback; however, the 30-foot setback must be maintained for the main body of the house. Casitas, ramadas, and accessory structures may encroach into the rear setback area.

Side Yard: The minimum side yard setbacks will be 5 feet and 10 feet for a combined total of 15 feet. The City of Chandler Zoning Code allows for pot shelves, fireplaces, entertainment centers, bay windows, architectural pop outs, and specialty rooms, such as a breakfast nook or sitting area, to encroach a maximum 2 feet (24 inches) into the side yard setbacks for interior lots. These projections are to be no longer than 5 feet in length. Ashton Woods' requests projections into the side yard setbacks to be increased to provide up to 3 feet of encroachment for pot shelves, fireplaces, entertainment

centers, bay windows, architectural pop-outs and specialty rooms, so long as a minimum 3-foot setback is maintained from property line to projection. Ashton Woods additionally requests that the length of the projection be increased to 15 feet in width on the one-story element of the home and 6 feet in width on the two-story element. In all cases, the distance from the edge of roof eave to the property line must be a minimum of 3 feet.

B. SUBDIVISION DIVERSITY STANDARDS

Jacaranda is proposed to be developed with 57 lots on 26.05± gross and 24.77 net acres with a minimum lot size of 80' x 135', resulting in a density of 2.3 du/ac (based on net acreage). The project will be gated with private internal streets. **See Exhibit 2, Preliminary Site Plan** for the project layout. Primary access to the site will be from Riggs Road, where residents will pass through a unique gated entry sequence with a rural agrarian character and a contemporary flair. This entry will be bordered by lushly landscaped open space areas, with a variety of trees, shrubs, and turf. **See Exhibit 3, Master Landscape Plan.**

All lots within Jacaranda Place are over 10,000 S.F.; therefore, the project is not required to meet the requirements of the City's Residential Subdivision Diversity Standards. However, Jacaranda Place will be implementing eight of the required subdivision diversity elements along with several of the Optional Subdivision Diversity elements.

Appendix A identifies the Subdivision Diversity Standards, Optional Diversity Standards.

C. PAD DEVELOPMENT AMENITIES FOR INCREASED DENSITIES

The Southeast Chandler Area Plan allows for density increases greater than 2.5 du/ac using amenity options. With a proposed density of 2.3 du/ac, this project will not be seeking a density greater than 2.5 du/ac; however, Ashton Woods Homes will still enhance the project by incorporating the following optional Community Amenity elements:

A-1. Neighborhood play lots/pocket parks provided as appropriate and located no greater than 1,320 feet from any dwelling unit.

A-6 Exceed 10% open space requirement by a minimum of an additional 7.5%.

A-20. Recreational facilities and amenities with comprehensive streetscape and neighborhood furniture palettes (benches in open space, decorative light standards, trash receptacles, neighborhood landscape planting, playground equipment).

Appendix A identifies the Southeast Chandler Area Standards that Jacaranda Place satisfies.

D. ARCHITECTURE

Ashton Woods is excited about the proposed housing product it has designed for Jacaranda Place and believes that it will complement the strong architectural richness already found within the surrounding area.

Six separate floor plans will be offered, three single story homes and three two story homes. Each plan will offer three different elevations, which include a combination of three of the following styles: Spanish Colonial, Prairie, Tuscan, Ranch and Spanish Monterey. **See Exhibit 4: Floor Plans and Elevations, Exhibit 5: Colors and Materials Palette and Exhibit 9: Material Images.**

E. ARCHITECTURAL DIVERSITY STANDARDS

Even though the project is not required to meet the requirements of the City's Residential Architectural Diversity Standards, as previously mentioned, the proposed homes for Jacaranda Place will satisfy the nine required elements and seven of the optional elements. **Appendix B** identifies the Architectural Diversity Standards that Jacaranda Place satisfies.

F. LANDSCAPING AND OPEN SPACES

The homes within Jacaranda Place will be integrated into a comprehensive open space and landscaping plan. **See Exhibit 3: Master Landscape Exhibit.** Open space areas on the Riggs Road frontage provide a window into the community. Strategically located open space parcels coupled with tree-lined streets create an interesting and diverse street scene and experience for residents and visitors alike.

Jacaranda Place will have a contemporary theme with agrarian influence consistent with the landscaping theming in southeast Chandler along Riggs Road. This interpretation of Chandler's agricultural past will be seen through deliberate placement of plants in organized rows and columns similar to what you may find in an agricultural field. This treatment of plants will only be used in strategic areas to suggest the theme. Regular plantings of natural planting arrangements will also be apparent along Riggs Road.

Within the common area open spaces the landscaping will consist of mostly low water use plantings that are placed and designed to create a lush, comfortable neighborhood feeling. Trees will be deciduous and evergreen to add variety throughout the seasons. Colorful understory plantings will consist of low maintenance shrubs and groundcovers with a large amount of turf to add to the agricultural theme. City supplied effluent water and a fully automatic irrigation system will irrigate the open spaces within this development.

Open space areas will have an abundance of turf for recreational activities and natural organic shaped character. The main central open space area will be more organized for users with sidewalks, and a shade ramada with picnic tables for gatherings. There will

seating for parents. A rose garden will be sited within the central open space as well as a tree-shaded seating area. **See Exhibit 3: Master Landscape Exhibit and Exhibit 8: Community Park Plan.**

G. ENTRY MONUMENTATION AND THEME WALLS

The entry monument and entry accent panel will have a rural agrarian character with a unique contemporary flair. They will consist of different natural colored masonry blocks, and rustic metal elements. **See Exhibit 7: Entry Plan and Entry Elevations.** These materials are representative of materials that can be found on any agricultural site but are assembled together to form a more contemporary aesthetic. Materials and finishes are meant to be honest and unpainted. They will take on a natural patina as they age much like farm buildings and equipment do. **See Exhibit 6: Wall Plan and Community Wall Elevations**

Entry walls and vehicular access gates along Riggs Road will also be natural colored masonry block with rustic metal elements to tie in with the signage. The walls and gates will be made with metal mesh to allow for a visual connection to the neighborhood.

The view fence along Riggs road will consist of rusted tubular steel posts arranged in an organic fashion that undulates with natural grade changes to add interest to passersby through their dynamic arrangement in the landscape.

Interior community walls will match the entry walls except they will not include the rustic steel elements. **See Exhibit 6: Wall Plan and Community Wall Elevations**

V. PHASING

Ashton Woods anticipates developing Jacaranda Place in one phase, with the exception of a model phase on Lots 7 through 9. Deviations from the phasing plan may be administratively approved by Staff.

IV. MISCELLANEOUS

A. GRADING AND DRAINAGE

The project site is currently used for agricultural purposes. As shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), map number 04013C3035GH panel 3035 of 4350, with a current effective date of September 30, 2005, the site falls within Flood Zone X. Zone X is defined as areas determined to be outside the 0.2% annual chance floodplain.

A preliminary grading and drainage plan is attached in **Exhibit 10.**



JACARANDA PLACE

B. UTILITIES

Water and Sewer: Provided by the City of Chandler
Reclaimed Water: Provided by the City of Chandler
Electricity: Provided by Salt River Project
Gas: Provided by Southwest Gas
Telephone: Provided by Century Link
Cable TV: Provided by Cox Communications

V. PRELIMINARY PLAT

The proposed Preliminary Plat is attached as **Exhibit 11**.

VI. PROJECT TEAM

Owner/Builder:	Ashton Woods Homes Attn: Mari Flynn 6991 E. Camelback Road Suite A-300 Scottsdale, Arizona 85251 Phone: 480-515-9955 Fax: 480-905-3141
Engineer:	Bowman Consulting Group, Ltd. Attn: Sherri Koshiol, PE 3010 S. Priest Drive Suite 103 Tempe, Arizona 85282 Phone: 480-629-8830 Fax: 480-629-8841
Planner/Landscape Architect:	Anderson Baron Attn: Andy Baron 88 S San Marcos Place Suite 101 Chandler, AZ 85225 Phone: 480-699-7956 Fax: 480-699-7986



JACARANDA PLACE

VII. CONCLUSION

Ashton Woods' proposed Jacaranda Place development creates a distinct residential community that adds to the character and quality of the surrounding area. Jacaranda Place is a subdivision that will be an attractive presence in the area and provide additional, diverse housing choices. The proposed PAD, PDP for Subdivision Layout and Housing Product, and Preliminary Plat are consistent with the City's General Plan and Southeast Chandler Area Plan, satisfies the City's Residential Development Standards, and is complementary and compatible with the surrounding area. We request your approval.

Ashton Woods Homes

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

HOUSE PROPERTY
NCS-548112-PDK1
PARCEL NO. 1:
THE NORTHERLY 316.55 FEET OF THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT ONE-HALF OF THE MINERAL RIGHTS AS RESERVED IN DOCKET 8409, PAGE 315, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2:
AN EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES AS CREATED IN DOCUMENT NO. 1998-1168415 OVER THE FOLLOWING DESCRIBED PROPERTY:

THE EAST 24.00 FEET OF THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE NORTH 316.55 FEET THEREOF.

HOUSE PROPERTY
NCS-548112-PDK1
PARCEL NO. 1:
THE NORTH 444 FEET OF THE EAST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT 1/2 OF ALL MINERAL RIGHTS AS RESERVED IN DEED RECORDED IN DOCKET 8409, PAGE 315 RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2:
AN UNDIVIDED 50% INTEREST IN THE FOLLOWING DESCRIBED PROPERTY:

THE EAST 30 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE NORTH 888 FEET THEREOF; AND
FURTHER EXCEPT THE SOUTH 85 FEET THEREOF.

HOUSE PROPERTY
NCS-548112-PDK1
THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE NORTH 316.55 FEET THEREOF; AND
EXCEPT THE SOUTH 65.00 FEET THEREOF; AND
EXCEPT ONE-HALF OF ALL MINERAL RIGHTS AS RESERVED IN DOCKET 8409, PAGE 315, RECORDS OF MARICOPA COUNTY, ARIZONA.

HOUSE PROPERTY
NCS-548112-PDK1
THE NORTH 888 FEET OF THE EAST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN; EXCEPT THE NORTH 444 FEET THEREOF;

EXCEPT THE SOUTH 65.00 FEET THEREOF; AND
EXCEPT ONE-HALF OF ALL MINERAL RIGHTS AS RESERVED IN DOCKET 8409, PAGE 315, RECORDS OF MARICOPA COUNTY, ARIZONA.

HOUSE PROPERTY
NCS-548112-PDK1
THE NORTH 888 FEET OF THE EAST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN; EXCEPT THE NORTH 444 FEET THEREOF;

EXCEPT THE SOUTH 65.00 FEET THEREOF; AND
EXCEPT ONE-HALF OF ALL MINERAL RIGHTS AS RESERVED IN DOCKET 8409, PAGE 315, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2:
AN UNDIVIDED 50% INTEREST IN THE FOLLOWING DESCRIBED PROPERTY:

THE EAST 30 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE NORTH 888 FEET THEREOF; AND
FURTHER EXCEPT THE SOUTH 85 FEET THEREOF.

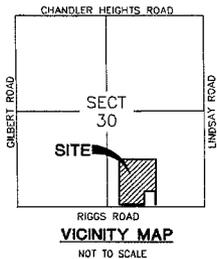
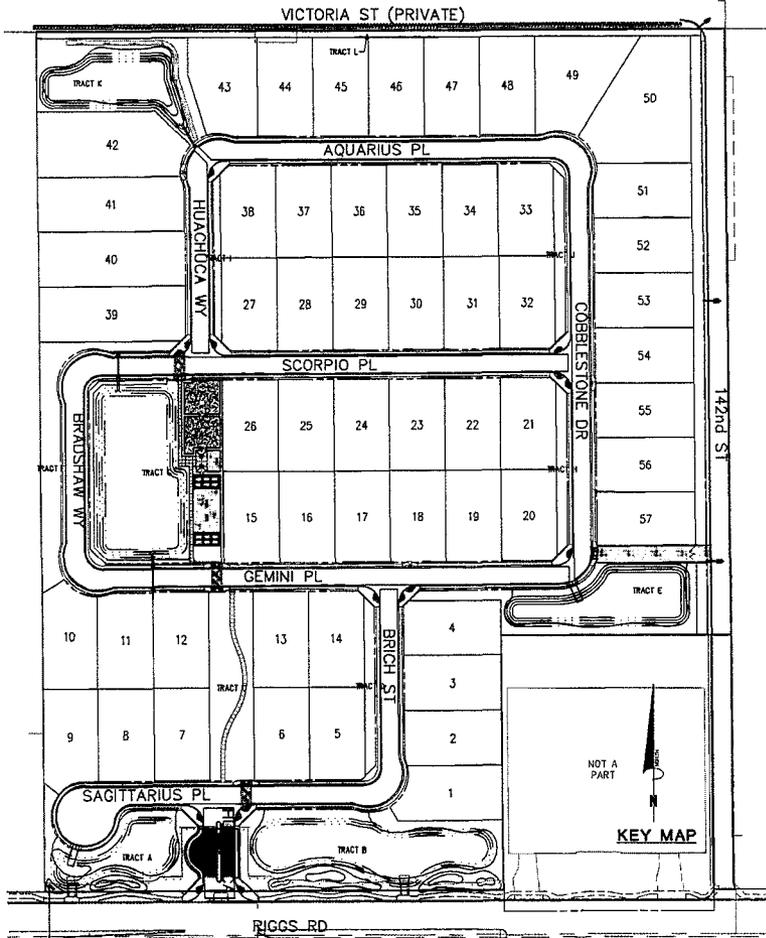
HOUSE PROPERTY
NCS-548112-PDK1
LOTS 1 THROUGH 24 INCLUSIVE, TRACT A THROUGH E INCLUSIVE, OF JACARANDA PLACE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 959 OF MAPS, PAGE 15 AND AFFIDAVIT OF CORRECTION RECORDED 2003-01-07/07 OF OFFICIAL RECORDS.

EXCEPT ONE-HALF OF ALL MINERAL RIGHTS AS RESERVED IN DEED RECORDED AS DOCKET 8409, PAGE 315, RECORDS OF MARICOPA COUNTY, ARIZONA.

LEGEND

- BRASS CAP FLUSH
- MONUMENT AS NOTED
- BRASS CAP IN HAND HOLE
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE FLOW DIRECTION
- EXISTING GAS MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- EXISTING ELECTRICAL PULL BOX
- EXISTING TELEPHONE PEDISTAL
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING TELEPHONE MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT LINE
- EXISTING CONTOUR & ELEVATION
- EXISTING FENCE
- EX W — EXISTING WATER
- EX S — EXISTING SEWER
- EX G — EXISTING GAS
- ONE — EXISTING OVERHEAD ELECTRIC
- 2" S — PROPOSED SEWER
- 2" W — PROPOSED WATER
- PUE PUBLIC UTILITY EASEMENT
- VAAE VEHICULAR NON-ACCESS EASEMENT
- VTE VISIBILITY TRIANGLE EASEMENT
- ROW RIGHT OF WAY

PRELIMINARY PLAT
FOR
JACARANDA PLACE
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30,
TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA



DEVELOPER:
ASHTON WOODS HOMES
8991 E. CAMELBACK ROAD
SUITE A-500
SCOTTSDALE, AZ 85251
PHONE: (480) 515-9925
CONTACT: JEREMY RAMSDELL

ENGINEER:
BOWMAN CONSULTING
3010 S. PRIEST DRIVE
SUITE 103
TEMPE, AZ 85282
PHONE: (480) 629-8830
CONTACT: SHERI KOSHID

SHEET INDEX
PP01 COVER SHEET
PP02 TABLES AND DETAILS
PP03 PRELIMINARY PLAT

BASIS OF BEARING
THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
BEARING BEING NORTH 89 DEGREES 45 MINUTES 13 SECONDS EAST

BENCHMARK
C&C BENCHMARK 544:
SECTION 30, T2S, R6E, 3" BRASS CAP IN CONCRETE 79' SOUTH, 65' WEST OF INTERSECTION OF RIGGS RD AND GILBERT RD, 7' WEST OF BACK OF CURB
NORTHING: 807359.419
EASTING: 739000.000
ELEVATION: 1253.53 (NAVD 88)
EQUATION: 1251.92 (NAVD 29) + 1.614 = 1253.53 (NAVD 88)

SITE DATA
ZONING: PAD (MARICOPA COUNTY)
EXISTING: PAD - PLANNED AREA DEVELOPMENT
F.E.M.A. ZONE: ZONE "X"
TOTAL SINGLE FAMILY LOTS: 57
GROSS AREA: 26.95 ac
NET AREA: 24.77 ac
OPEN SPACE: 3.42 ac
DENSITY (gross): 2.19 du/ac
MIN LOT SIZE: 80,430 sq ft
MIN LOT AREA: 10,716 sq ft
MAX LOT AREA: 22,796 sq ft
AVERAGE LOT AREA: 11,945 sq ft

LATITUDE: 33°13'17" N
LONGITUDE: 111°45'44" W

UTILITIES SERVICES
WATER: CITY OF CHANDLER
SEWER: CITY OF CHANDLER
ELECTRIC: SALT RIVER PROJECT
TELEPHONE: CENTURY LINK
CABLE: COM COMMUNICATIONS
GAS: SOUTHWEST GAS
RECLAIMED WATER: CITY OF CHANDLER

FLOOD ZONE CERTIFICATION:
ACCORDING TO THE FLOOD INSURANCE RATE MAP #040130303SH, DATED SEPTEMBER 30, 2005 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1' OR LESS THAT FLOOD OR WITH DEAMBE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

- NOTES:**
- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUND REQUIREMENT HAS BEEN SATISFIED.
 - THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUND REQUIREMENT HAS BEEN SATISFIED.
 - THIS SUBDIVISION SHALL COMPLY WITH THE RESIDENTIAL DEVELOPMENT STANDARDS DATED MAY 23, 2008.
 - THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.
 - THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.



Bowman Consulting, Inc.
3010 South Priest Drive, Suite 103
Tempe, Arizona 85282
Phone: (480) 629-8830
www.bowmanconsulting.com
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COVER SHEET
JACARANDA PLACE
MARICOPA COUNTY



PPT12-0021		PROJECT NUMBER
PLAN STATUS		
DATE	DESCRIPTION	
SKF	SKF	SKF
DESIGN	DRAWN	CHKD
SCALE	N: NONE	
JOB No. 8670-01-01		
DATE: MAR 2012		
PP01		
SHEET		01 of 3

Bowman Consulting Group, LLC
 2815 South Mill Avenue, Suite 100
 Tempe, Arizona 85282
 Phone: (480) 840-0000
 www.bowmanconsulting.com

MARICOPA COUNTY

JACARANDA PLACE PRELIMINARY PLAT

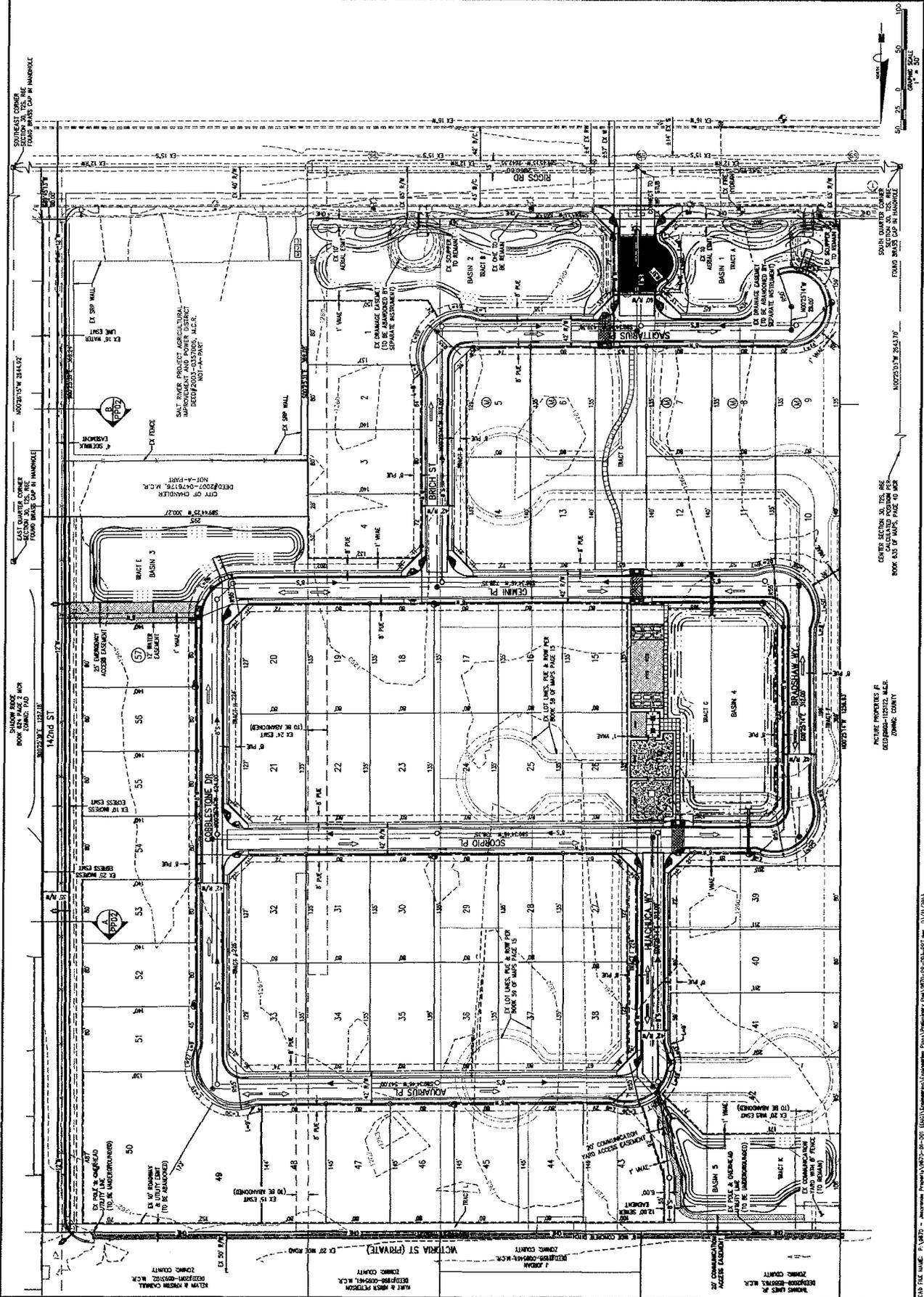
CHANDLER, ARIZONA

PROJECT NUMBER



DATE	DESCRIPTION
03/11/2011	SK
03/11/2011	DK
03/11/2011	CD
03/11/2011	CON
03/11/2011	NOE
03/11/2011	NOE

DATE: MAR 2011
 SHEET 03 OF 3



FILE NAME: P:\AR70 - Phoenix\Projects\AR70-00-000 (AR70)\Drawings\Site\AR70-00-000-001.dwg, 03/11/2011

ORDINANCE NO. 4445

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT (PAD) IN CASE (DVR12-0043 JACARANDA PLACE) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'.

Said parcel is hereby rezoned from AG-1 to PAD, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "JACARANDA PLACE" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0043, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
8. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
9. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.

10. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
11. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Jacaranda Place development shall use treated effluent to maintain open space, common areas, and landscape tracts.

12. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4445 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2013, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

GAB

PUBLISHED:



NOVEMBER 13, 2012
PROJECT # 9670-00-001

**LEGAL DESCRIPTION
JACARANDA
OVERALL BOUNDARY**

A PARCEL OF LAND LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 30, BEING A BRASS CAP IN A HANDHOLE, FROM WHICH THE SOUTH QUARTER CORNER THEREOF, BEING A BRASS CAP IN A HANDHOLE, BEARS SOUTH 89°45'13" WEST, A DISTANCE OF 2,642.35 FEET;

THENCE SOUTH 89°45'13" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1321.17 FEET TO A POINT ON THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE NORTH 00°25'39" WEST, ALONG SAID EAST LINE, A DISTANCE OF 65.00 FEET TO A POINT ON A LINE BEING 65.00 FEET NORTH OF AND PARALLEL WITH SAID SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 30 AND THE **POINT OF BEGINNING**;

THENCE SOUTH 89°45'13" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 30.00 FEET TO A POINT ON A LINE BEING 30.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30,

THENCE NORTH 00°25'39" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 369.15 FEET TO A POINT ON A LINE PARALLEL WITH AND 888.00 FEET SOUTH OF THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE SOUTH 89°44'25" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 300.28 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE SOUTH 00°25'31" EAST, ALONG SAID WEST LINE, A DISTANCE OF 369.08 FEET TO A POINT ON A LINE BEING 65.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE SOUTH 89°45'13" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 660.58 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE NORTH 00°25'14" WEST, ALONG SAID LINE, A DISTANCE OF 1256.93 TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE NORTH 89°44'25" EAST, ALONG SAID LINE, A DISTANCE OF 990.71 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30;

THENCE SOUTH 00°25'39" EAST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, A DISTANCE OF 1257.16 FEET TO THE **POINT OF BEGINNING**.

SAID PARCEL CONTAINS 1,134,626 SQUARE FEET OR 26.0474 ACRES, MORE OR LESS.

