

Repl. #4

MAY 09 2013

Chandler



Chandler - Arizona
Where Values Make The Difference

MEMORANDUM

Transportation & Development - CC Memo No. 13-049b

DATE: MAY 9, 2013

TO: MAYOR AND COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
MARSHA REED, ASSISTANT CITY MANAGER *MR*
R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, CITY PLANNER *ES*

SUBJECT: DVR12-0042/PPT13-0003 MUMTAZ GATED COMMUNITY

Request: Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) along with Preliminary Development Plan (PDP) approval for a townhome development

Location: East of the southeast corner of McQueen and Willis roads

Applicant: Jalil Ahmad; Mars Enterprises, LLC

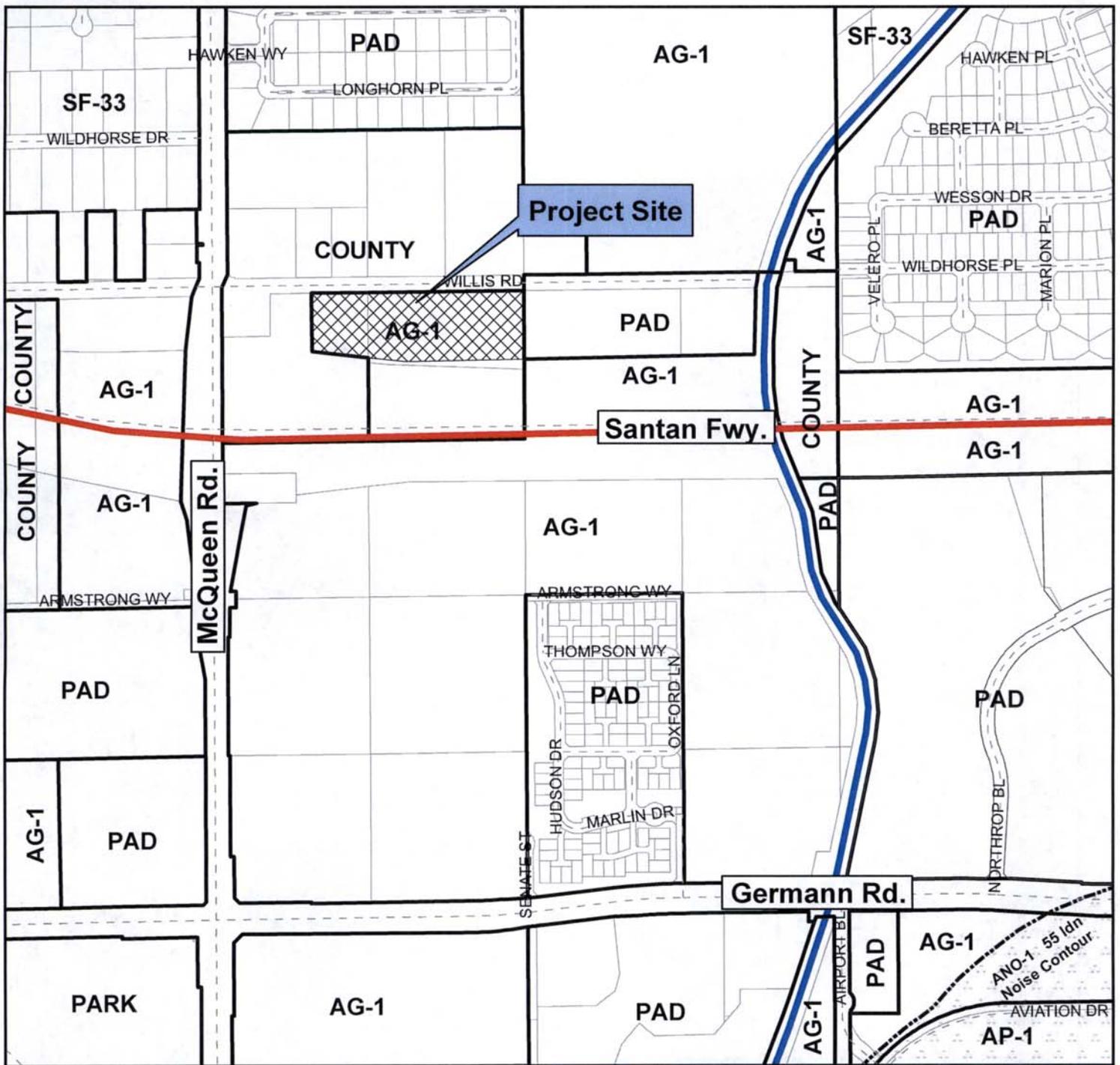
Based on concerns expressed at the May 6, 2013, City Council Study Session, the applicant requests a continuance to the June 13, 2013, City Council meeting in order to address design concerns. Accordingly, Planning Staff recommends a continuance to the June 13, 2013, City Council meeting.

PROPOSED MOTION

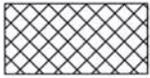
Move to continue case DVR12-0042/PPT13-0003 MUMTAZ GATED COMMUNITY, to the June 13, 2013, City Council meeting, as recommended by Planning Staff.

Attachments

1. Vicinity Maps



Vicinity Map

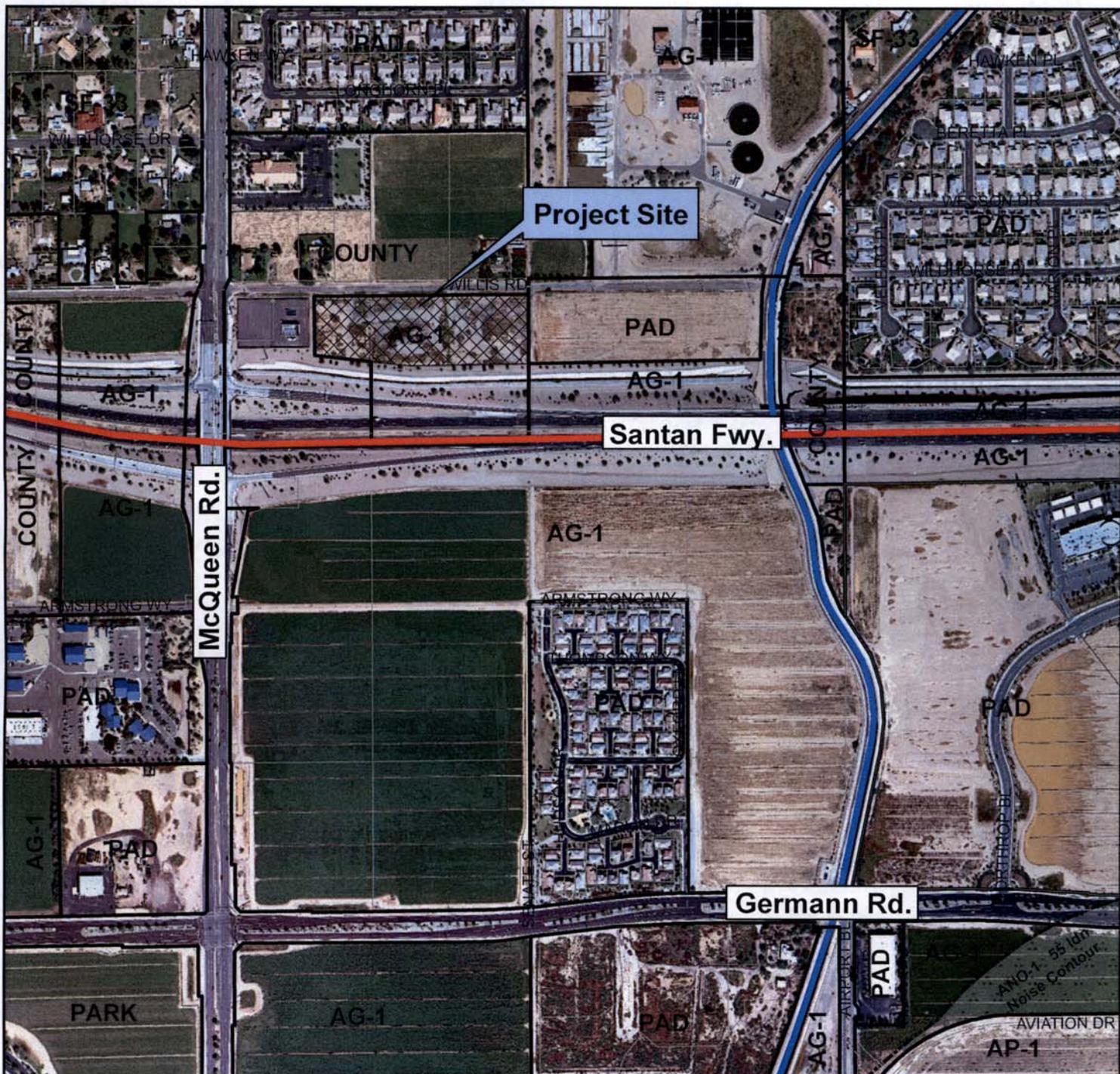


DVR12-0042

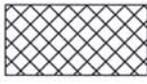
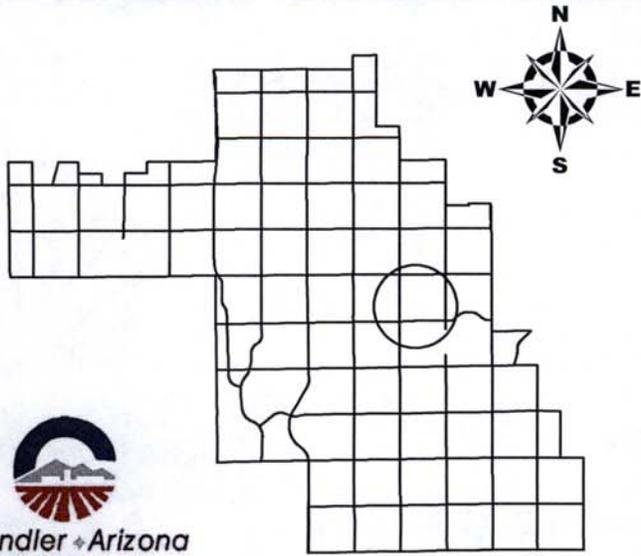
Mumtaz Gated Community



Chandler, Arizona
Where Values Make The Difference



Vicinity Map



DVR12-0042

Mumtaz Gated Community





MEMORANDUM **Transportation & Development - CC Memo No. 13-049a**

DATE: MAY 9, 2013

TO: MAYOR AND COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
MARSHA REED, ASSISTANT CITY MANAGER *MR*
R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJ*
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, CITY PLANNER *ES*

SUBJECT: DVR12-0042/PPT13-0003 MUMTAZ GATED COMMUNITY
Introduction and Tentative Adoption of Ordinance No. 4454

Request: Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) along with Preliminary Development Plan (PDP) and Preliminary Plat (PPT) approval for a townhome development

Location: East of the southeast corner of McQueen and Willis roads

Applicant: Jalil Ahmad; Mars Enterprises, LLC

The request was continued from the April 25, 2013, City Council meeting to allow the development team additional time to finalize development details and to be heard by the Planning Commission.

RECOMMENDATION

The request is for Rezoning from AG-1 to PAD along with PDP and PPT approval for a townhome development. Planning Commission and staff, upon finding consistency with the General Plan, Chandler Airpark Area Plan and Planned Area Development zoning, recommends approval with conditions.

BACKGROUND

The subject site is located east of the southeast corner of McQueen and Willis roads, and was recently annexed and granted a City initial zoning designation of AG-1. The site is located within the nine square miles Chandler Airpark Area Plan and designated as supporting high-

density residential allowing for residential density up to 18 units per acre. West of the subject site is an existing Arizona Department of Transportation (ADOT) facility located within the jurisdiction of the County. North are single-family homes with agricultural privileges also located within the County. East is vacant land zoned PAD for multi-family residential development. The subject site abuts the Santan Loop 202 freeway, and is a remnant piece from the development of the Santan Loop 202 freeway.

SITE LAYOUT/BUILDING ARCHITECTURE

The development is proposed as a gated single-family townhome development with 23 three-unit townhomes for a total of 69 units at an overall density just under 11 dwelling units per acre. One main point of entry is provided along Willis Road, with a secondary emergency access point located at the site's east end. The entry terminates at the community center, which serves as the main amenity area and focal point of the community. The community center provides a centralized gathering area/prayer room, library, multi-purpose room, kitchen area, and fitness areas that are provided strictly for the residents of the community. A children's amenity area is provided at the southeast corner of the site.

While townhome development is considered single-family residential, the residential development standards do not directly apply; similarly multi-family development standards do not apply. Although residential design standards do not apply, the development provides sufficient outdoor areas and community amenities that meet the intent of the guidelines from a design standpoint.

Three building types are provided with three units per building. Square footage of the units range from 1,803 square feet up to 1,881 square feet, and all include three bedrooms. Each unit is two-story. With each building type a number of color schemes are provided, ensuring variation of the street scene. Additionally, each unit has a modest rear yard area of ten-feet; typical of recent similar approvals. Building type three presents a unique opportunity for multi-generational living. The design team has incorporated a second-story stand-alone unit that allows for flexibility in living arrangements allowing for multi-generational families to have individual areas. Rental of the units will be restricted through covenant, conditions, and restrictions (CC&R's). It should be noted that for building type three the garage shows one separate parking stall per unit, the interior demising wall was inadvertently left in the design; the wall will be removed as each unit is required to provide two covered parking stalls.

DISCUSSION

Due to the site limitations in depth and width, the layout presents unique development opportunities. Implementation of addressing the limitations has produced a minimized front setback, and reduced internal roadway width from typical roadway standards. Typical residential development produces typical front yard setbacks of 10 to 20 feet from single-family detached housing. As proposed, the front setback varies from 2 to 6 feet. While this type of design eliminates the ability of parking in a driveway, ample guest parking is provided at the community center. Due to the proposed reduced right-of-way widths of the internal drives of the community, the development is designated as a "private" roadway allowing for a reduced width from typical public street standards. While concerns generally arise when street widths are reduced requiring

the elimination of on-street parking, due to the providing of guest parking, concerns are remediated. Additionally, the development team has worked with the City to ensure that all utilities can be accommodated within the reduced street.

AIRPORT COMMISSION

The Airport Commission found that there were no conflicts between airport operations and the proposed development, but wanted to ensure that disclosure statements would be provided to future residents that there may be aircraft noise. Staff has added condition no. 10 addressing disclosure of airport operations in the vicinity.

PUBLIC/NEIGHBORHOOD NOTIFICATION

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- A neighborhood meeting was held on Monday, February 11, 2013. Five neighbors were in attendance. All five neighbors are adjacent to the development along the north side of Willis Road. No direct opposition to the proposed land use was stated; however there were strong concerns expressed over traffic patterns and general circulation along Willis Road and how the neighbor's parcels may be impacted. Due to Willis Road being a dead-end street, solutions to providing multiple access points are limited, and may best be examined once development occurs north of Willis Road. In light of this, the Traffic Division has reviewed traffic volumes along McQueen Road and currently reports that McQueen Road has not yet approached maximum volume. If traffic patterns pose a concern for both the existing and future residents of the area, the Traffic Division has the ability to review signal timing to off-set any continuous traffic flows. Concerns were also expressed regarding annexation and connections to city utilities in the future.

At the time of this writing, staff has received no telephone calls or letters opposed to this application other than emails expressing concerns regarding traffic circulation.

PLANNING COMMISSION VOTE REPORT

Motion to Approve:

In Favor: 3 Opposed: 1 Absent: 3 (Baron, Donaldson, Pridemore)

The request was placed on the Action Agenda due to staff being aware of traffic concerns expressed by the neighbors to the north, and their interest in attending the meeting. One neighbor planned on speaking, but was unable to make the meeting; however the neighbor has emailed staff expressing concerns. The emails are attached.

Planning Commission discussed the item with particular concerns regarding circulation, freeway noise, and the color palette. At the meeting the applicant explained that the colors did not clearly translate from the elevations to the paint palette exhibit; the colors have been updated for the Council development booklets. Regarding freeway noise, staff ensured Planning Commission that the development underwent a sound study and that if a noise attenuation wall is required, then the wall will be built. Condition no. 11 was added to satisfy any remaining concerns. Lastly, Commission discussed traffic concerns with Willis Road and ultimately came to the

conclusion that traffic will be generated with any type of development and that with the ability of the City to offset signal times that traffic concerns could be sufficiently addressed.

RECOMMENDED ACTION

Rezoning

Planning Commission and staff, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommends approval of DVR12-0042 MUMTAZ GATED COMMUNITY, Rezoning from AG-1 to PAD for a single-family residential townhome development, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "MUMTAZ GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0042, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent rights-of-way and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The CC&R's to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.

8. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Mumtaz Gated Community development shall use treated effluent to maintain open space, common areas, and landscape tracts.

9. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
10. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
 - a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully

acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.

- b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
- c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
- d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from an aircraft. A registered engineer shall certify that the project is in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

"This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler."

11. The development shall provide sound attenuation measures in accordance with ADOT standard details and requirements excepting any decibel reductions or sound attenuation credits for the use of a rubberized asphalt paving surface. Any noise mitigation, if required, is the responsibility of the development.

Preliminary Development Plan

Planning Commission and staff, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommend approval of DVR12-0042 MUMTAZ GATED COMMUNITY, Preliminary Development Plan approval for a single-family residential townhome development, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit 9, Development Booklet, entitled "MUMTAZ GATED COMMUNITY", kept on file in the City of Chandler Planning Services Division, in File No. DVR12-0042, except as modified by condition herein.
2. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
3. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
4. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

Preliminary Plat

Planning Commission and staff recommend approval of the Preliminary Plat PPT13-0003 MUMTAZ GATED COMMUNITY, subject to the following condition.

1. Approval by the City Engineer and Director of Transportation & Development with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Rezoning

Move to Introduce and Tentatively Adopt Ordinance No. 4454, approving case DVR12-0042 MUMTAZ GATED COMMUNITY, Rezoning from AG-1 to PAD for a single-family residential townhome development subject to the conditions as recommended by Planning Commission and staff.

CC Memo No. 13-049a

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Preliminary Development Plan

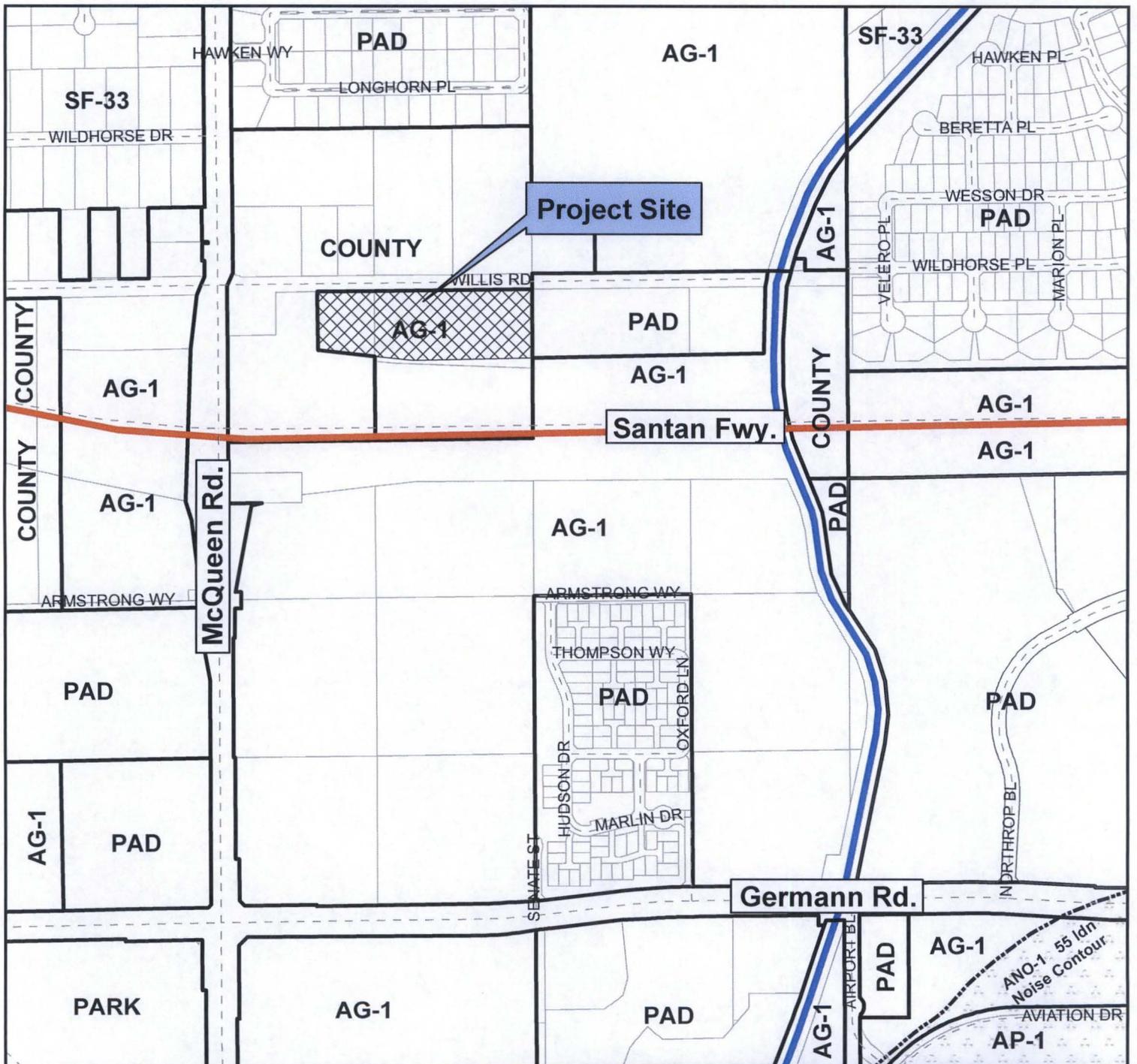
Move to approve DVR12-0042 MUMTAZ GATED COMMUNITY, Preliminary Development Plan for a 69 unit single-family residential townhome development, subject to the conditions recommended by Planning Commission and staff.

Preliminary Plat

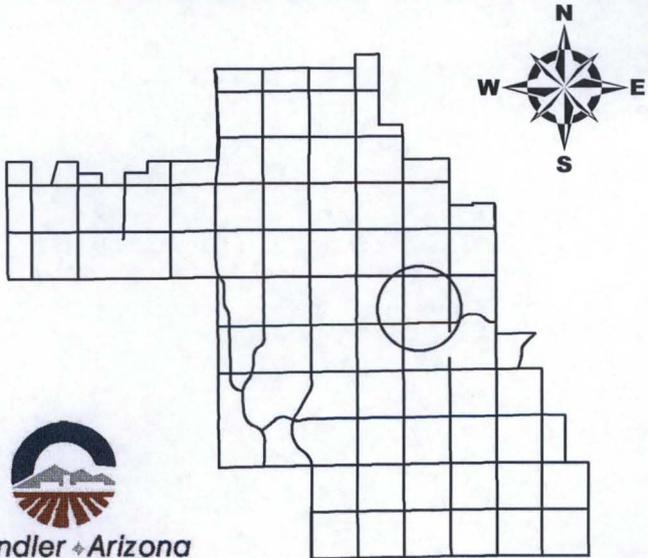
Move to approve PPT13-0003 MUMTAZ GATED COMMUNITY, Preliminary Plat for a 69 unit single-family residential townhome development, subject to the condition recommended by Planning Commission and staff.

Attachments

1. Vicinity Maps
2. Site Plan
3. Floor Plans and Elevations
4. Preliminary Plat
5. Emails (2)
6. Ordinance No. 4454
7. Development Booklet



Vicinity Map



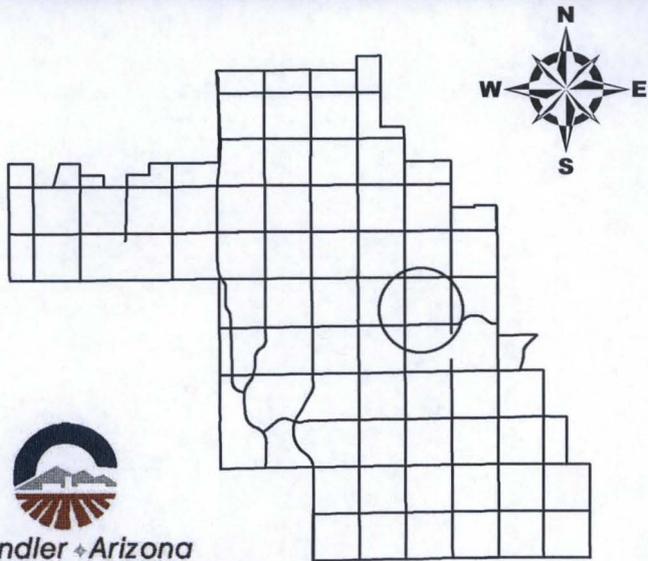
DVR12-0042

Mumtaz Gated Community



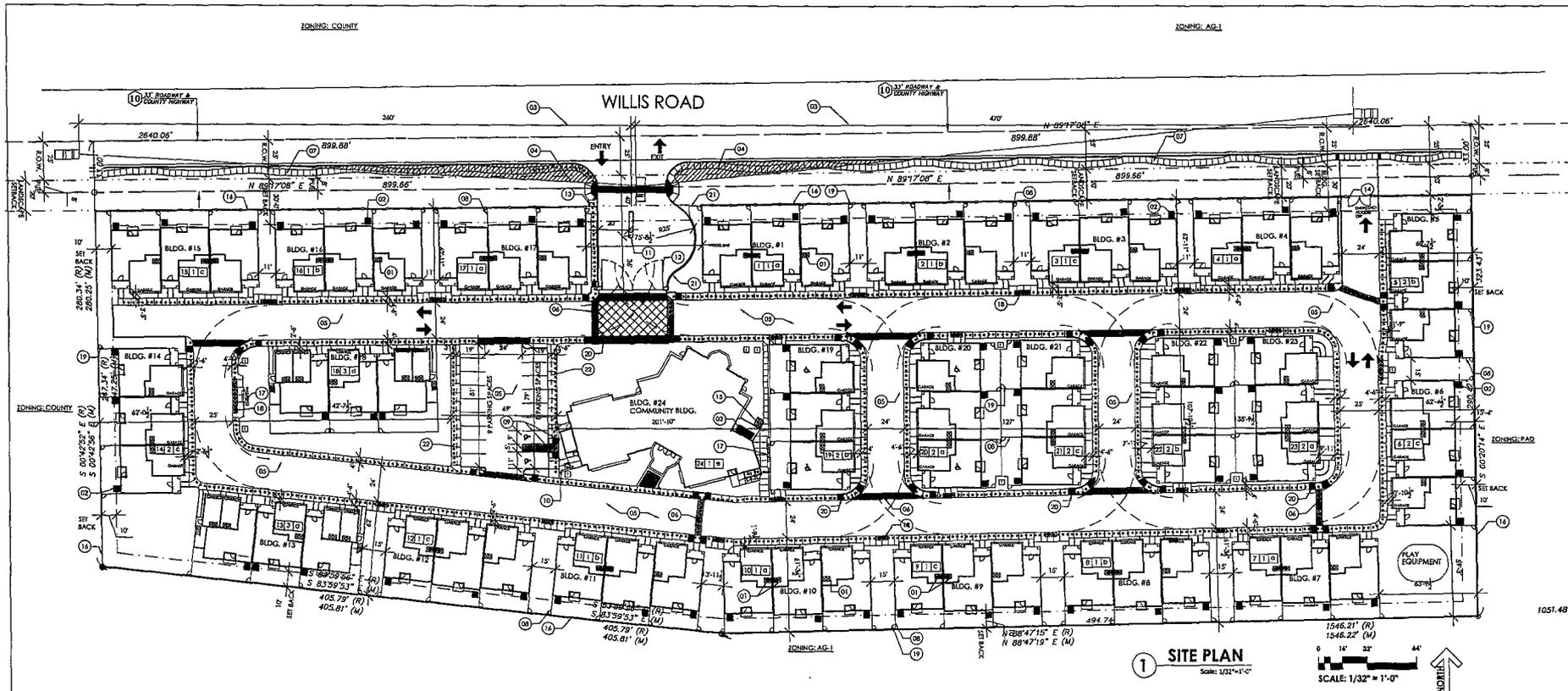


Vicinity Map

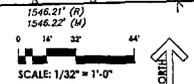


DVR12-0042

Mumtaz Gated Community



1 SITE PLAN
Scale: 1/32" = 1'-0"



SITE DATA

<p>SITE AREA: GROSS AREA = 283,977.51 SF = 6.5 ACRES NET AREA = 241,422.43 SF = 5.5 ACRES</p> <p>ZONING: EXISTING: AG-1 PROPOSED: P40 (PLANNED AREA DEVELOPMENT)</p> <p>DENSITY: PROVIDED: 49 D.U. / 6.8 NET ACRES = 11.60 D.U./ACRE</p> <p>BUILDING HEIGHT: ALLOWED: 45'-0" PROPOSED: 42'-0"</p> <p>BUILDING TYPE: BUILDING TYPE 1 FIRST FLOOR 3,972.33 SF SECOND FLOOR 3,944.83 SF BUILDING TYPE 2 FIRST FLOOR 3,974.53 SF SECOND FLOOR 3,948.50 SF BUILDING TYPE 3 FIRST FLOOR 4,272.32 SF SECOND FLOOR 4,000.15 SF COMMUNITY BUILDING FIRST FLOOR 7,285 SF SECOND FLOOR 0</p>	<p>OPEN SPACE CALCULATION: BUILDING TYPE 1 SECOND FLOOR AREA (BARGER AREA) = 3,948.50 SF TOTAL AREA = 3,984.83(13) BUILDINGS = 31,802.79 SF 3 UNITS X 13 BUILDINGS = 39 UNITS 3 BEDROOM PER UNIT X 39 UNITS = 117 BEDROOMS</p> <p>BUILDING TYPE 2 SECOND FLOOR AREA (BARGER AREA) = 3,948.50 SF TOTAL AREA = 3,948.50(8) BUILDINGS = 31,548.00 SF 3 UNITS X 8 BUILDINGS = 24 UNITS 3 BEDROOM PER UNIT X 24 UNITS = 72 BEDROOMS</p> <p>BUILDING TYPE 3 FIRST FLOOR AREA (BARGER AREA) = 4,272.32 SF TOTAL AREA = 4,272.32(2) BUILDINGS = 8,544.64 SF 3 UNITS X 2 BUILDINGS = 6 UNITS 3 BEDROOM PER UNIT X 6 UNITS = 18 BEDROOMS</p> <p>BUILDING OCCUPANCY: FIRST FLOOR AREA = 7,285 SF</p> <p>OPEN SPACE REQUIRED: 150 SF PER BEDROOM X (117+72 + 18) = 31,020 SF</p> <p>NET SITE AREA - (BUILDING COVERAGE + PAVEMENT) = 4,000.15(2) + 8,544.64(2) + 31,020.00(2) = 48,589.34(4) = 11,147.34(1) = 37,442.00(3)</p> <p>CONTRIBUTION CLASSIFICATION: TYPE V-A WITH AUTOMATED SPRINKLER SYSTEM FOR DWELLING UNITS. TYPE V-A WITH AUTOMATED SPRINKLER SYSTEM FOR COMMUNITY BUILDING.</p>	<p>SOIL COVERAGE: ALLOWED 40% PROVIDED 37% = 151,202.29(3) 54,640.00 8,544.64 + 7,285.17 + 8,812.00(3)</p> <p>PARKING: REQUIRED: 2 SPACES X 69 DWELLING UNITS = 138 SPACES 1 GUEST PARKING PER 4 DWELLING UNITS = 17.25 SPACES PROVIDED: 138 GARAGE PARKING 17 GUEST PARKING TOTAL PARKING PROVIDED 155 SPACES</p> <p>PROVIDED 2 ACCESSIBLE PARKING.</p>
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GENERAL NOTES

- ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- SIGN REQUIRES SEPARATE PERMIT.
- THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
- THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL AND THAT SUCH MUST BE RELOCATED / CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT / PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.

KEY NOTES

- RECYCLE AND TRASH CONTAINER LOCATION AT GARAGE (TYP.)
- GROUND MOUNTED MECHANICAL EQUIPMENT AT REAR YARD. (TYP.)
- SIGHT DISTANCE PER CITY OF CHANDLER.
- VISIBILITY TRIANGLE. GROUND COVER, BUSHES, AND BOULDERS LESS THAN 24" (MATURE) IN HEIGHT, OR TREES TRIMMED TO 6' CLEARANCE ABOVE FINISHED GRADE ALLOWED IN THIS AREA. NO OTHER OBSTRUCTION ALLOWED UNLESS APPROVED BY THE CITY TRANSPORTATION ENGINEER.
- ASPHALT DRIVE WAY. (TYP.)
- 6' PEDESTRIAN CROSSING (TYP.).
- 4' WIDE CONCRETE WALKWAY PER CITY OF CHANDLER.
- ACCESSIBLE PARKING SIGN. REFER TO DTL: 4/A.5.1.
- BIKE RACK. SEE DTL: 3/A.5.1.
- GATE CONTROL MECHANISM.
- WROUGHT IRON GATE WITH PAINT FINISH.
- PEDESTRIAN GATE.
- EMERGENCY ACCESS / EXIT GATE.
- TRASH CONTAINER LOCATION.
- BOUNDARY WALL.
- MAIL BOX LOCATION.
- TEMPORARY TRASH CONTAINER LOCATION-TYP.
- SERVICE DOOR AT BACKYARD. (TYP.)
- ACCESSIBLE RAMP. 1:12 SLOPE. (TYP.)
- WROUGHT IRON PAINTED FENCE.
- OUTLINE OF CAR OVERHANG.

SYMBOLS

	FIRE TRUCK TURNING RADIUS.		ACCESSIBLE PARKING AISLE
	CONCRETE PAVEMENT		PROPERTY LINE
	CONCRETE PAVEMENT ACCESSIBLE WALK		BUILDING SET BACK LINE
	PEDESTRIAN SAFE CIRCULATION WAY		VEHICLES
	ACCESSIBLE PARKING SPACE AND ACCESSIBLE UNIT.		PEDESTRIAN WALK WAY
	ACCESSIBLE RAMP		COLOR SCHEME BUILDING TYPE BUILDING NUMBER
	ACCESSIBLE PARKING SIGN		TRASH AND RECYCLE CONTAINER
			GROUND MOUNTED MECHANICAL UNIT.
			TRANSFORMER LOCATION
			SERVICE DOOR AT PARTITION WALL AT BACKYARD.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



EXPIRES 03/31/2018
NOT FOR CONSTRUCTION
PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-10-2013

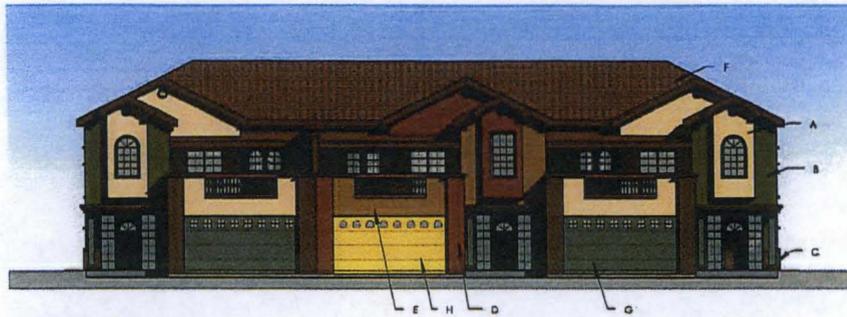
DRAWING TITLE

SITE PLAN

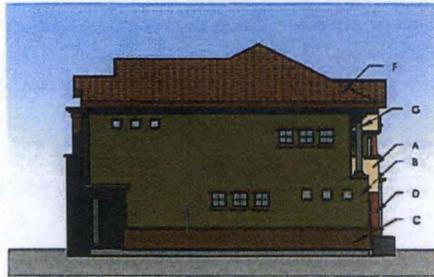
SHEET NO.

A1.1

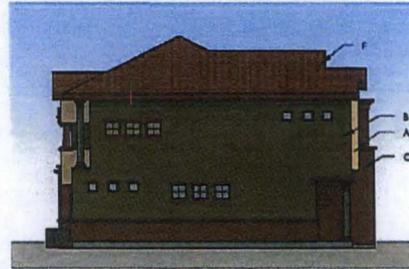
C.O.C. LOG NO. PRE12-0032



① FRONT ELEVATION



② RIGHT ELEVATION



③ LEFT ELEVATION



④ REAR ELEVATION

EXTERIOR COLOR SCHEME "a"			
MARKS	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Light Tan]	BLUSHING SW 6617 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Dark Green]	RURAL GREEN SW 4418 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Dark Brown]	TO BE DETERMINED	STONE VENEER
D	[Dark Brown]	FOXY SW 6233 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Light Tan]	GOLDEN RULE SW 4383 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	[Dark Brown]	MANUFACTURER: US TILE OR WESTLE	ROOF TILE
G	[Dark Green]	CHATELAIN SW 4170 SHERWIN-WILLIAMS	COLUMNS & GARAGE DOOR
H	[Yellow]	BANANA CREAM SW 4473 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MASS HOMES
MASS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 183-2012

DATE: 04-10-2013

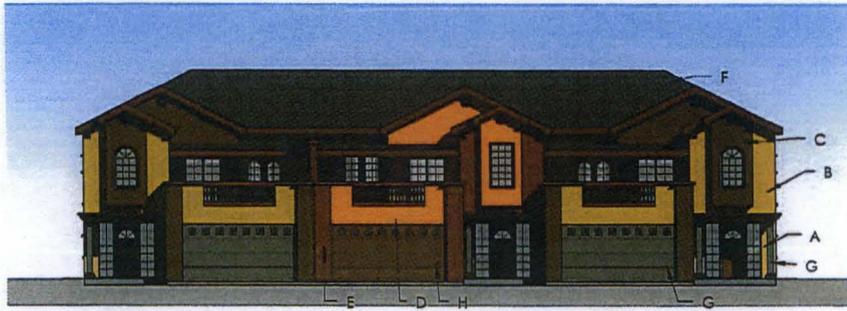
DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
"a"

SHEET NO.

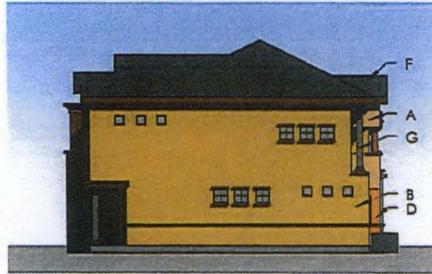
A3.1.2 - a



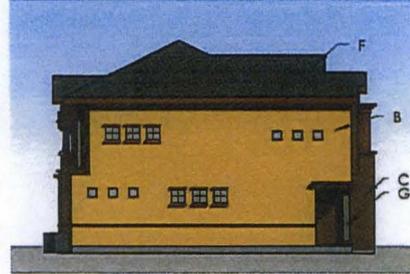
EXPIRES 03/31/2016



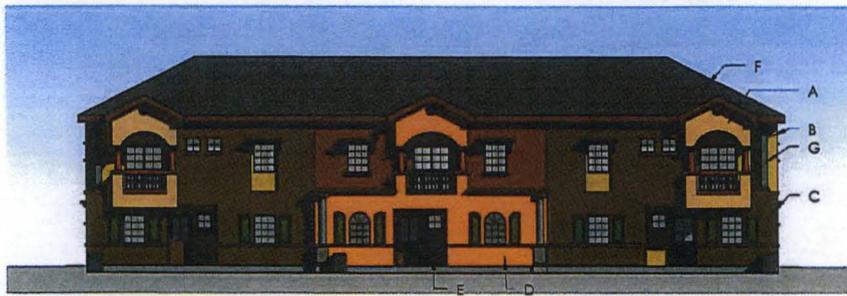
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "B"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Yellow]	BLUSHING SW 4417 SHERWIN-WILLIAMS	SUCCO SYSTEM ON WALL
B	[Orange]	GILBY GOLD SW 4411 SHERWIN-WILLIAMS	SUCCO SYSTEM ON WALL
C	[Dark Brown]	EMMENT SPONZ SW 4412 SHERWIN-WILLIAMS	SUCCO SYSTEM ON WALL
D	[Light Orange]	GUSTO GOLD SW 4414 SHERWIN-WILLIAMS	SUCCO SYSTEM ON WALL
E	[Dark Brown]	PORT SW 4331 SHERWIN-WILLIAMS	SUCCO SYSTEM ON WALL
F	[Dark Grey]	MANUFACTURER: US TILE ON WHEEL	ROOF TILE
G	[Dark Green]	CHARMOCH SW 4171 SHERWIN-WILLIAMS	COLUMNS GARAGE DOOR
H	[Dark Green]	IDEALLY TAN SW 4115 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENTS:
MAAR3 HOMES
MAAR3 ENTERPRISES LLC
P.O. BOX 12763
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

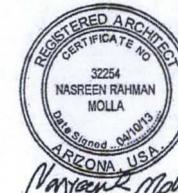
PROJECT NO. 103-2912

DATE: 04-16-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
"B"

SHEET NO.

A3.1.2-b

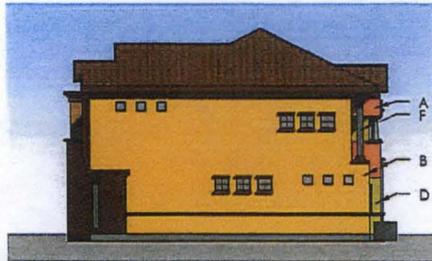


EXPIRES 03/31/2016

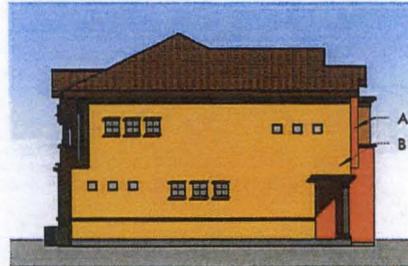
C.O.C. LOG NO. PRE12.0032



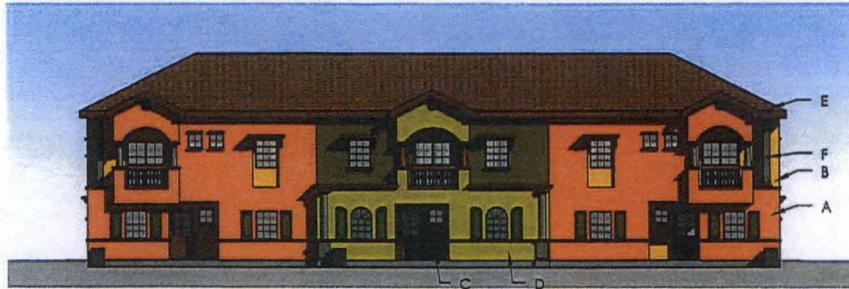
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "c"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Orange]	CORAL ISLAND SW 6322 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Yellow]	CHRISTONAL GOLD SW 6382 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Green]	RURAL GREEN SW 6416 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Light Yellow]	RICE PADDY SW 6414 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Brown]	MANUFACTURER: US TILE OR WRESTLE	ROOF TILE
F	[Dark Green]	CHARWOOD SW 6171	COLUMNS GARAGE DOOR
G	[Dark Brown]	TOTALY TAN SW 6115	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 19703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 103-2812

DATE: 04-16-2013

DRAWING TITLE
**ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
"c"**

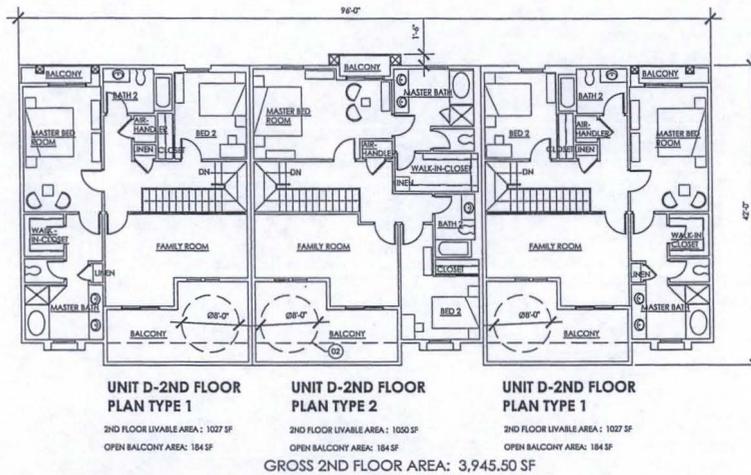
SHEET NO.

A3.1.2- c

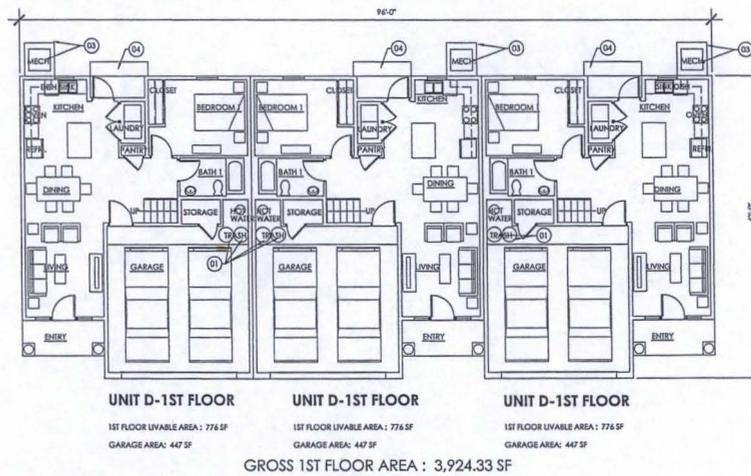


EXPIRES 03/31/2016

C.O.C. LOG NO. PRE13-0832



2 BUILDING TYPE 2 - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE 2 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING INFORMATION:

BUILDING OCCUPANCY:

GROUP: R-2 DWELLING
U PRIVATE GARAGE

CONSTRUCTION CLASSIFICATION:

V-8 WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES: (C)

1. TRASH CONTAINER AND RECYCLE CONTAINER.
2. CIRCLE INDICATES REQUIRED OPEN SPACE.(TYP.)
3. MECHANICAL EQUIPMENT (GROUND MOUNTED)
4. CONCRETE SLAB ON GRADE.

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:

1. EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
3. STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
4. WINDOWS ARE TREATED WITH SHADING DEVICE, SHUTTERS, MOST OF WINDOWS ARE RECESSED.
5. ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
8. SCREENED BACKYARD IS PROVIDE TO INCREASE PRIVACY.
9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12203
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



DATE: 04-10-2013
NOT FOR CONSTRUCTION
PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-10-2013

DRAWING TITLE
**BUILDING TYPE 2-
FIRST AND 2ND
FLOOR PLAN**

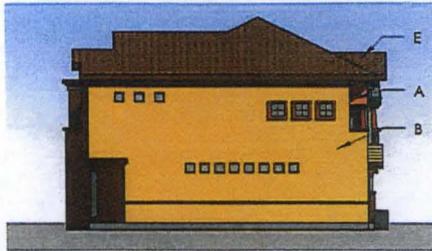
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A3.2.1

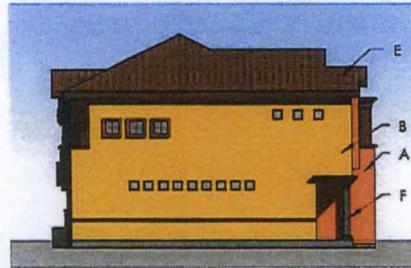
C.O.C. LOG NO. PRE12-0032



① FRONT ELEVATION



② RIGHT ELEVATION



③ LEFT ELEVATION



④ REAR ELEVATION

EXTERIOR COLOR SCHEME "c"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	Orange	CORAL ISLAND SW 6332 SHERWIN-WILLIAMS	SIUCCO SYSTEM ON WALL
B	Yellow	CERAMPHAL GOLD SW 6822 SHERWIN-WILLIAMS	SIUCCO SYSTEM ON WALL
C	Green	RURAL GREEN SW 6418 SHERWIN-WILLIAMS	SIUCCO SYSTEM ON WALL
D	Yellow	RICE PADDY SW 6414 SHERWIN-WILLIAMS	SIUCCO SYSTEM ON WALL
E	Brown	MANUFACTURER: US TILE OR WESTLE	ROOF TILE
F	Dark Green	CHAIRROOM SW 6177	COLUMNS GARAGE DOOR
G	Dark Brown	TOTALTY TAN SW 6115	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 100-2812

DATE: 04-18-2013

DRAWING TITLE
ELEVATIONS

BUILDING TYPE 2
COLOR SCHEME
"c"

SHEET NO.

A3.2.2-c



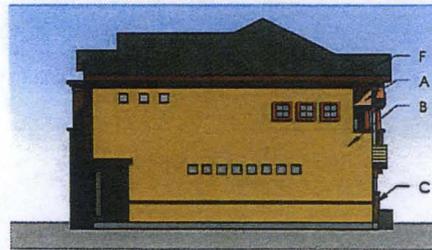
Nasreen Rahman Molla

EXPIRES 09/31/2016

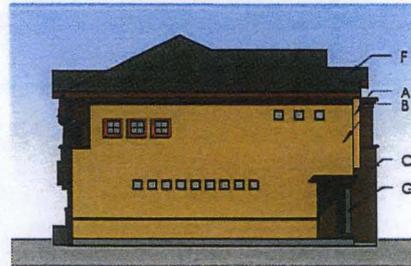
C.O.C. LOG NO. PRE12-0032



① FRONT ELEVATION



② RIGHT ELEVATION



③ LEFT ELEVATION



④ REAR ELEVATION

EXTERIOR COLOR SCHEME "b"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	BLUSHING SW 6617 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Color swatch]	GUEST GOLD SW 6671 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Color swatch]	BRUNNET BRONZE SW 6412 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Color swatch]	GUETO GOLD SW 6704 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Color swatch]	POKY SW 6223 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	[Color swatch]	MANUFACTURER: US TILE OR WEGTLE	ROOF TILE
G	[Color swatch]	CHANDOOM SW 4171 SHERWIN-WILLIAMS	COLUMNS GARAGE DOOR
H	[Color swatch]	TOTALLY TAN SW 6115 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY FOR BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 100-2012

DATE: 04-16-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2
COLOR SCHEME
"b"

SHEET NO.

A3.2.2-b



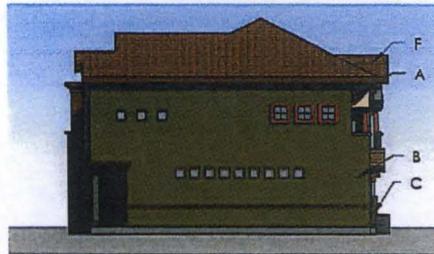
Nasreen Rahman Molla
Date Signed: 04/16/13

EXPIRES 03/31/2016

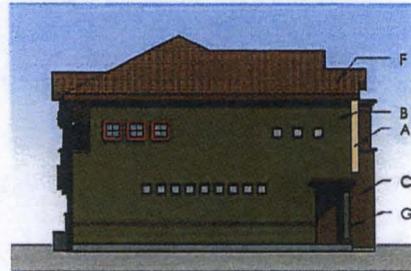
C.O.C. LOG NO. PRE 12.0032



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "a"

MATERIAL	COLOR	COLOR NUMBER/NAME	SURFACE
A	Light Yellow	BLUSHING SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	Dark Green	RURAL GREEN SW 8416 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	Dark Brown	TO BE DETERMINED	STONE VENEER
D	Dark Brown	FOAT SW 4333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	Light Brown	GOLDEN HALE SW 4392 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	Brown	MANUFACTURER'S TILE OR WISLE	ROOF TILE
G	Dark Green	CHARCOAL SW 4370 SHERWIN-WILLIAMS	COLUMNS & GARAGE DOOR
H	Yellow	BANANA CREAM SW4673 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
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EXPIRES 03/31/2016



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South - East corner of MicQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 163-2012

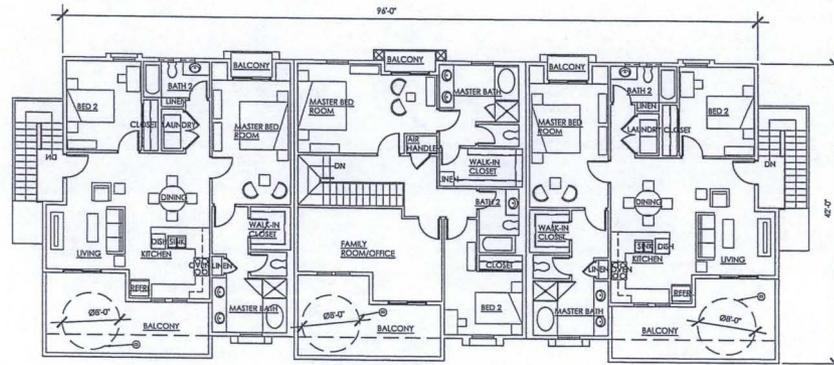
DATE: 04-10-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2
COLOR SCHEME
"a"

SHEET NO.

A3.2.2-a

C.O.C. LOG NO. PRE12-0032



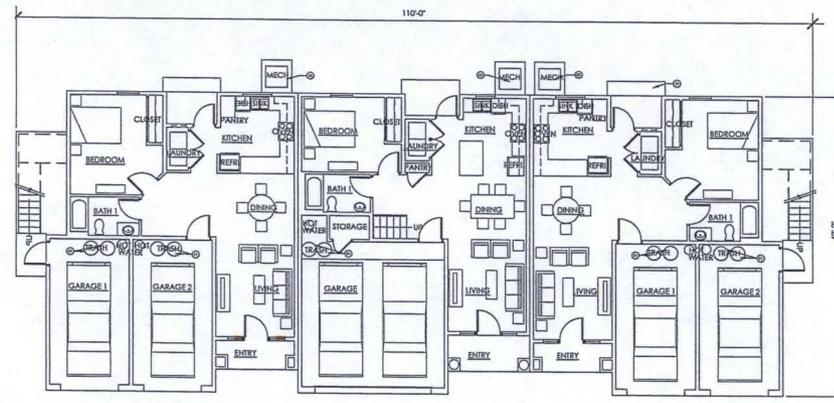
UNIT C-2ND FLOOR
2ND FLOOR LIVABLE AREA: 1069 SF
2ND FLOOR OPEN BALCONY: 209 SF

**UNIT D-2ND FLOOR
PLAN TYPE 2**
2ND FLOOR LIVABLE AREA: 1050 SF
OPEN BALCONY AREA: 184 SF

UNIT C-2ND FLOOR
2ND FLOOR LIVABLE AREA: 1069 SF
2ND FLOOR OPEN BALCONY: 209 SF

GROSS 1ST FLOOR AREA : 4,100.15 SF

2 2ND FLOOR PLAN - BUILDING TYPE 3
SCALE: 1/8" = 1'-0"



UNIT C-1ST FLOOR
1ST FLOOR LIVABLE AREA: 812 SF
GARAGE 1 AREA: 230 SF
GARAGE 2 AREA: 230 SF

UNIT D-1ST FLOOR
1ST FLOOR LIVABLE AREA: 776 SF
GARAGE AREA: 447 SF

UNIT C-1ST FLOOR
1ST FLOOR LIVABLE AREA: 812 SF
GARAGE 1 AREA: 230 SF
GARAGE 2 AREA: 230 SF

GROSS 1ST FLOOR AREA : 4,273.72 SF

1 1ST FLOOR PLAN - BUILDING TYPE 3
SCALE: 1/8" = 1'-0"

NOTES:

BUILDING OCCUPANCY:

GROUP: R-2 DWELLING
U PRIVATE GARAGE

CONSTRUCTION CLASSIFICATION:

V-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES: @

1. TRASH CONTAINER AND RECYCLE CONTAINER.
2. CIRCLE INDICATES REQUIRED OPEN SPACE (TYP.)
3. MECHANICAL EQUIPMENT (GROUND MOUNTED)
4. CONCRETE SLAB ON GRADE.

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:

1. EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
3. STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
4. WINDOWS ARE TREATED WITH SHADING DEVICE, SHUTTERS. MOST OF WINDOWS ARE RECESSED.
5. ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
8. SCREENED BACKYARD IS PROVIDE TO INCREASE PRIVACY.
9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY

South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



OWNER REVIEWED
NOT FOR CONSTRUCTION

PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-10-2013

DRAWING TITLE
**BUILDING TYPE 3-
1ST AND 2ND
FLOOR PLANS**

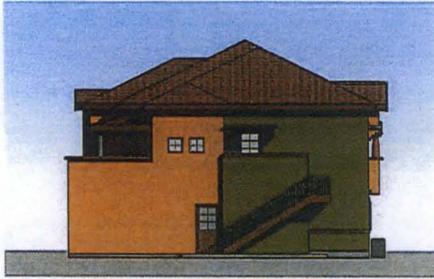
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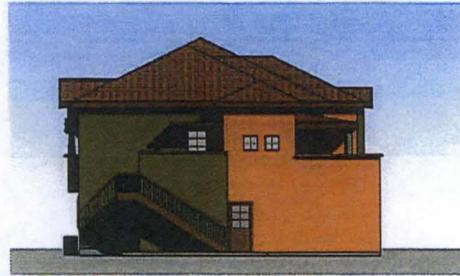
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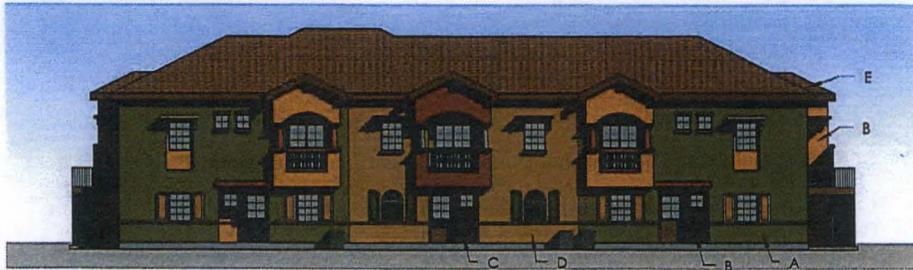
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "d"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Green]	RURAL GREEN SW 6418 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Orange]	FOLSY GOLD SW 6360 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Brown]	FOXY SW 6333 SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Light Orange]	GOLDEN RULE SW 6363 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Dark Brown]	MANUFACTURED US TILE OR WESTLE	ROOF TILE
F	[Dark Green]	CHAIRROOM SW 6171 SHERWIN-WILLIAMS	COLUMNS & GARAGE DOOR
G	[Yellow]	BANANA CREAM SW 6678 SHERWIN WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
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4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL
NARS
ARCHITECTURE & INTERIOR LLC
32254 N. ASH AVE. SUITE 100
CHANDLER, AZ 85248
PH: 480.544.4100
WWW.NARSARCHITECTURE.COM

CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

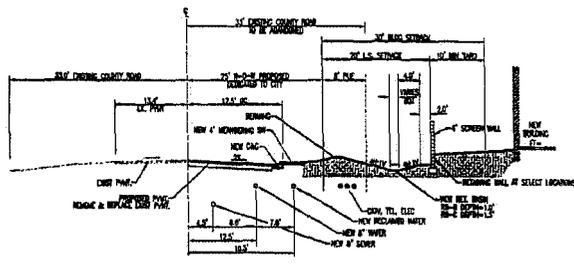
PROJECT NO. 103-2012

DATE: 06-10-2013

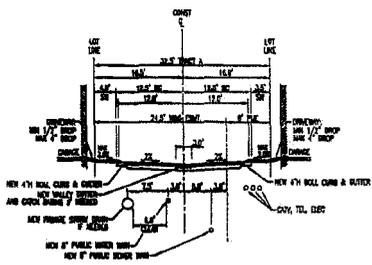
DRAWING TITLE
ELEVATIONS
BUILDING TYPE 3
COLOR SCHEME
"d"

SHEET NO.
A3.3.2-d

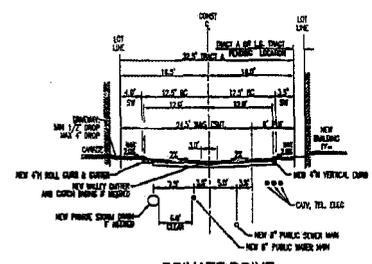
REGISTERED ARCHITECT
CERTIFICATE NO.
32254
NASREEN RAHMAN
MOLLA
Date Signed: 04/10/13
ARIZONA, U.S.A.
EXPIRES 03/31/2016



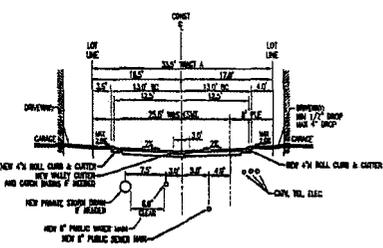
WILLIS ROAD / DTL. C-213
SECTION A-A
N.T.S.



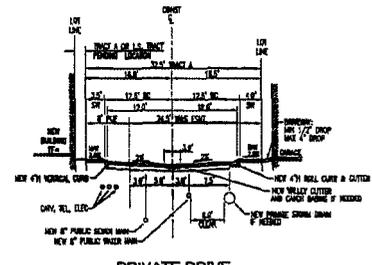
PRIVATE DRIVE
SECTION B-B
N.T.S.



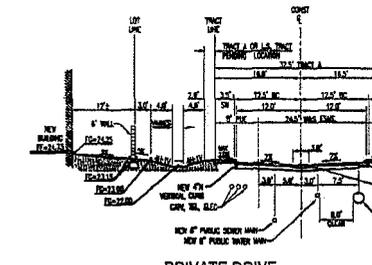
PRIVATE DRIVE
SECTION C-C
N.T.S.



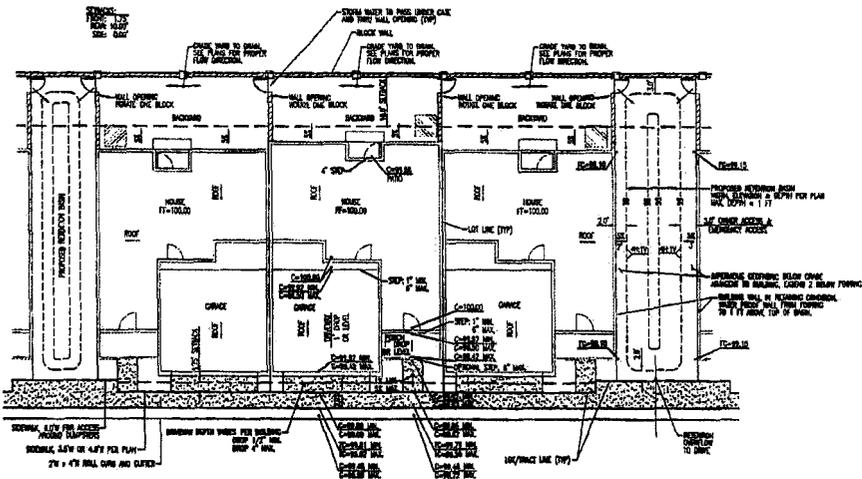
PRIVATE DRIVE
SECTION D-D
N.T.S.



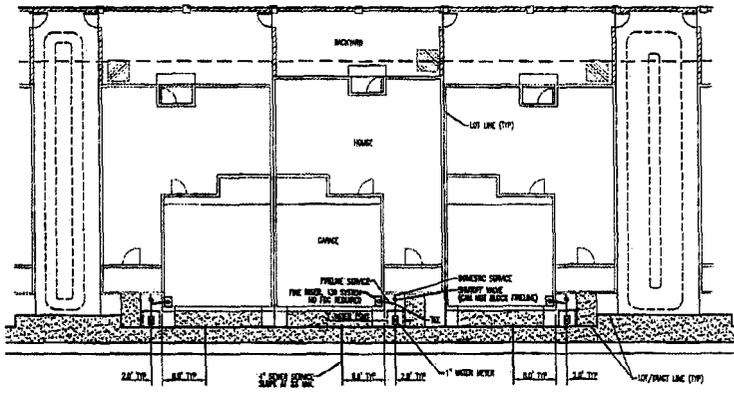
PRIVATE DRIVE
SECTION E-E
N.T.S.



PRIVATE DRIVE
SECTION F-F
N.T.S.



TYPICAL LOT GRADING
N.T.S.



TYPICAL LOT WATER AND SEWER
N.T.S.

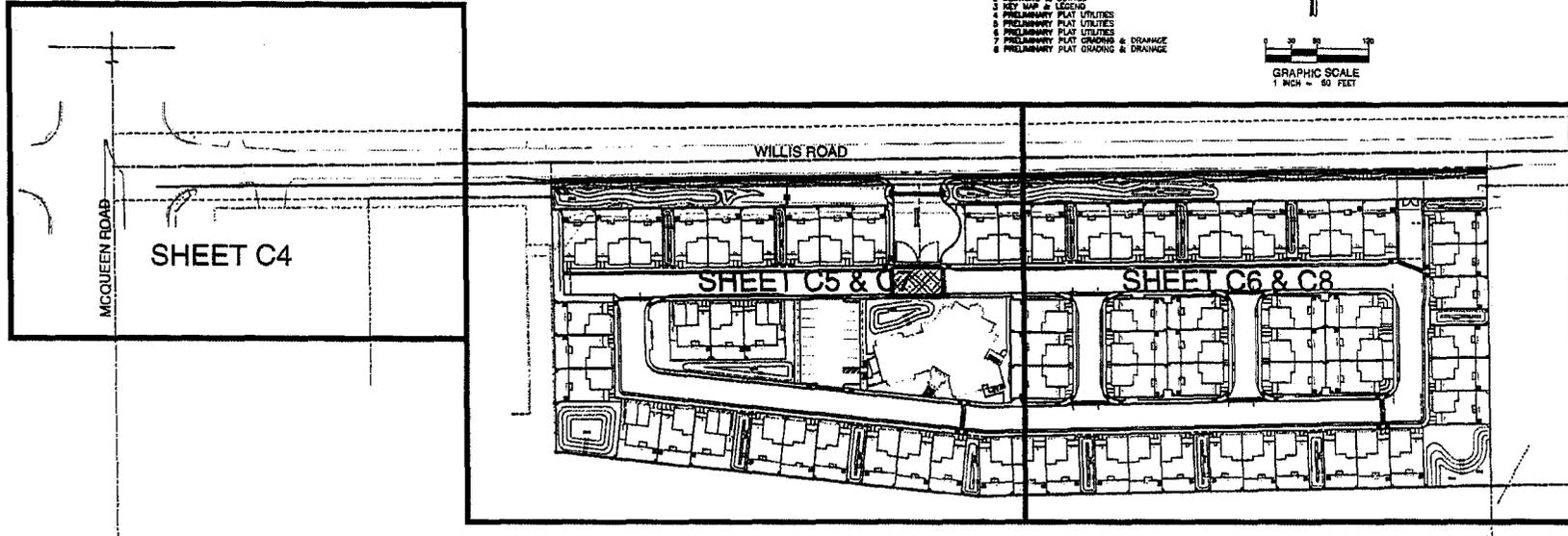
Desert Development Engineering, LLC
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10001 N. 11th Avenue • Suite 100 • Phoenix, Arizona 85021
P. 602.977.4820 • www.DDE.com

James J. Stahl
Professional Engineer
License No. 12000
State of Arizona
Exp. 12/31/2015

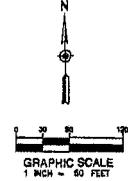
PRELIMINARY PLAT
MUMTAZ GATED COMMUNITY
S.E.C. OF McQUEEN ROAD & WILLIS ROAD
CHANDLER, ARIZONA

SCALE: N/A
DATE: 9/25/13
REVISIONS:
PROJECT NO.: 1221
PRELIMINARY PLAT SECTIONS & DETAILS
SHEET: 2 OF 8
C2

C.O.C. LOG NO. PPT. 13.0003



- SHEET INDEX**
- 1 PRELIMINARY PLAT COVER
 - 2 SECTIONS & DETAILS
 - 3 KEY MAP & LEGEND
 - 4 PRELIMINARY PLAT UTILITIES
 - 5 PRELIMINARY PLAT UTILITIES
 - 6 PRELIMINARY PLAT UTILITIES
 - 7 PRELIMINARY PLAT GRADERS & DRAINAGE
 - 8 PRELIMINARY PLAT GRADERS & DRAINAGE



LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> --- PROPERTY LINE X FOUND ADOT ALUMINUM CAP FLUSH • FOUND 1/2" REBAR CAPPED 42924 ○ EXISTING SPOT ELEVATION ▲ PROPOSED ELEVATION --- EXISTING CONTOUR --- PROPOSED CONTOUR --- WALL --- FENCE --- CURB AND GUTTER --- CONCRETE SURFACES --- INDICATES DRIVEWAY (MEANS OF ACCESS) ○ SIGN • FIRE HYDRANT • WATER VALVE • WATER METER • GAS VALVE • GAS METER • WATER BACKFLOW PREVENTION ASSEMBLY | <ul style="list-style-type: none"> □ TRANSFORMER ○ STREET LIGHT ○ POWER POLE ○ POWER POLE W/ UNDERGROUND ELECTRIC ○ LIGHT POLE □ TELEPHONE RISER → DOWN GUY □ ELECTRIC BOX □ ELECTRIC CABINET ○ WATER MANHOLE ○ SANITARY SEWER MANHOLE ○ STORM DRAIN MANHOLE --- EXISTING WATER LINE --- EXISTING SANITARY SEWER LINE --- EXISTING OVERHEAD ELECTRIC LINE --- EXISTING UNDERGROUND ELECTRIC LINE --- EXISTING GAS LINE --- EXISTING TELEPHONE LINE --- EXISTING STORM DRAIN --- PROPOSED STORM DRAIN --- PROPOSED UTILITY PER CONSTRUCTION NOTE CALLOUT |
|---|--|

ABBREVIATIONS

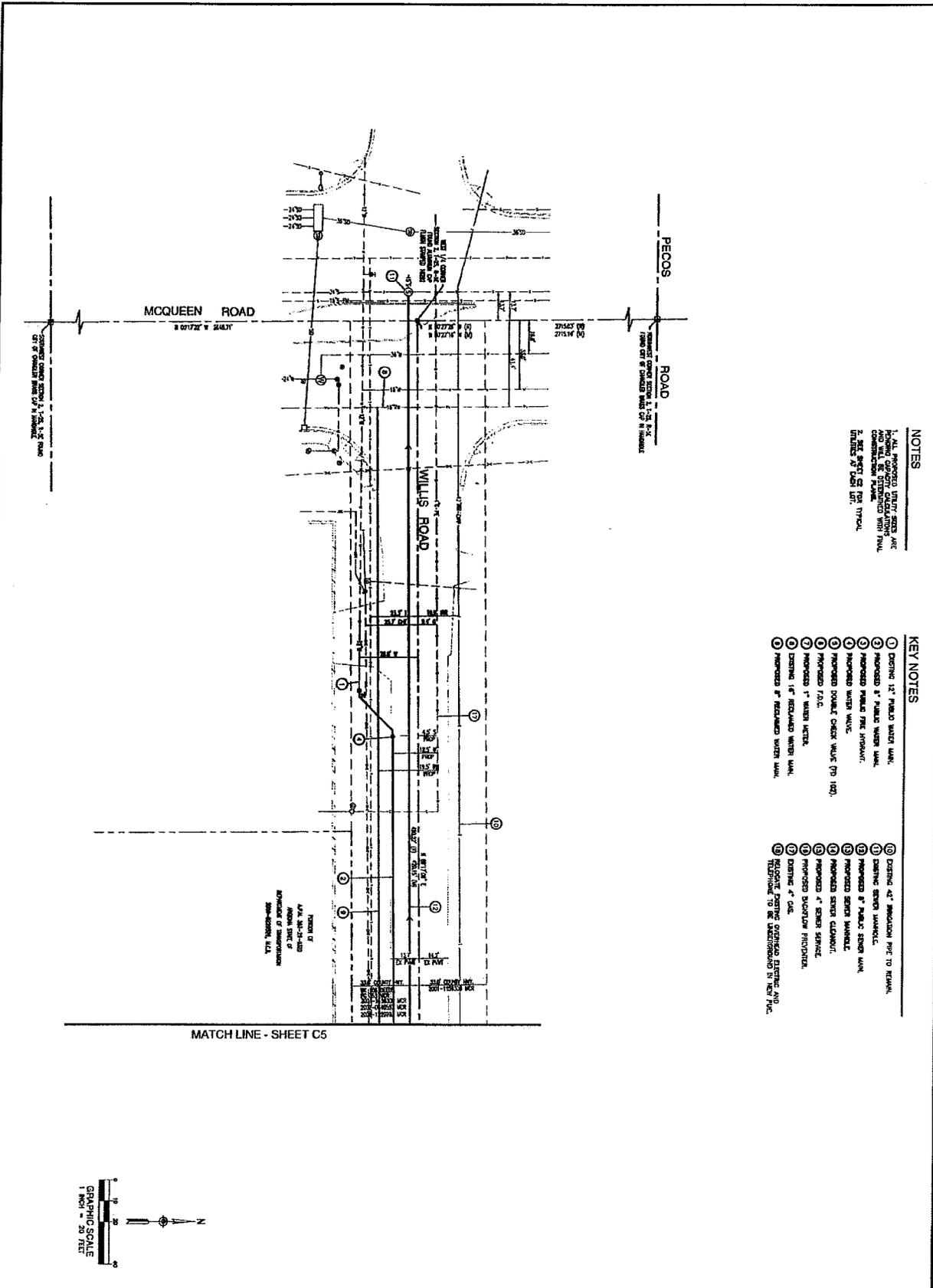
- | | | | |
|------|-------------------------|-------|--------------------------|
| APN | ASSESSORS PARCEL NUMBER | MGR | MARICOPA COUNTY RECORDER |
| BC | BACK OF CURB | M | MEASURED DATA |
| BK | BOOK | NG | NATURAL GROUND |
| BW | BACK OF WALL | OHE | OVERHEAD ELECTRIC |
| BOT | BOTTOM (OF BASIN) | P | PAVEMENT |
| CB | CATCH BASIN | PL | PROPERTY LINE |
| C | CONCRETE | PP | POWER POLE |
| C | ODD CABLE | R | RECORD DATA |
| ESMT | EASEMENT | RM | TOP OF RM |
| E | ELECTRIC | RB | RETENTION BASIN |
| EO | EXISTING GRADING | R-O-W | RIGHT-OF-WAY |
| FC | FACE OF CURB | S | SANITARY SEWER |
| FF | FINISHED FLOOR | SW | SIDEWALK |
| FG | FINISHED GRADE | SD | STORM DRAIN |
| FP | FINISHED PAD | T | TELEPHONE |
| FL | FLOW LINE | TC | TOP OF CURB |
| FW | FACE OF WALL | TF | TOP OF FOOTING |
| G | GAS | TRANS | TRANSFORMER |
| G | GUTTER | TW | TOP OF WALL |
| GB | GRADE BREAK (RIIDGE) | TRW | TOP OF RETAINING WALL |
| GR | GRATE | TYP | TYPICAL |
| HWE | HIGH WATER ELEVATION | UGE | UNDERGROUND ELECTRIC |
| IE | INVERT ELEVATION | W | WATER |
| MH | MANHOLE | | |

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PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA

SCALE: N/A
 DATE: 3/25/13
 REVISIONS:
 PROJECT NO.: 1221
 PRELIMINARY PLAT KEY MAP & LEGEND
 SHEET: 3 OF 8
 C3

C.O.C. LOG NO. PPT 13-0003



NOTES

1. ALL PROPOSED UTILITY SIZES ARE SHOWN AND WILL BE DETERMINED WITH FINAL CONSTRUCTION PLANS.
 2. SEE SHEET C4 FOR TYPICAL DETAILS OF SIZES SHOWN.

KEY NOTES

- ① EXISTING 12" PUBLIC WATER MAIN.
- ② PROPOSED 12" PUBLIC WATER MAIN.
- ③ PROPOSED 12" PUBLIC WATER MAIN.
- ④ PROPOSED 12" PUBLIC WATER MAIN.
- ⑤ PROPOSED 12" PUBLIC WATER MAIN.
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C.O.C. LOG NO. PPT 13-0003

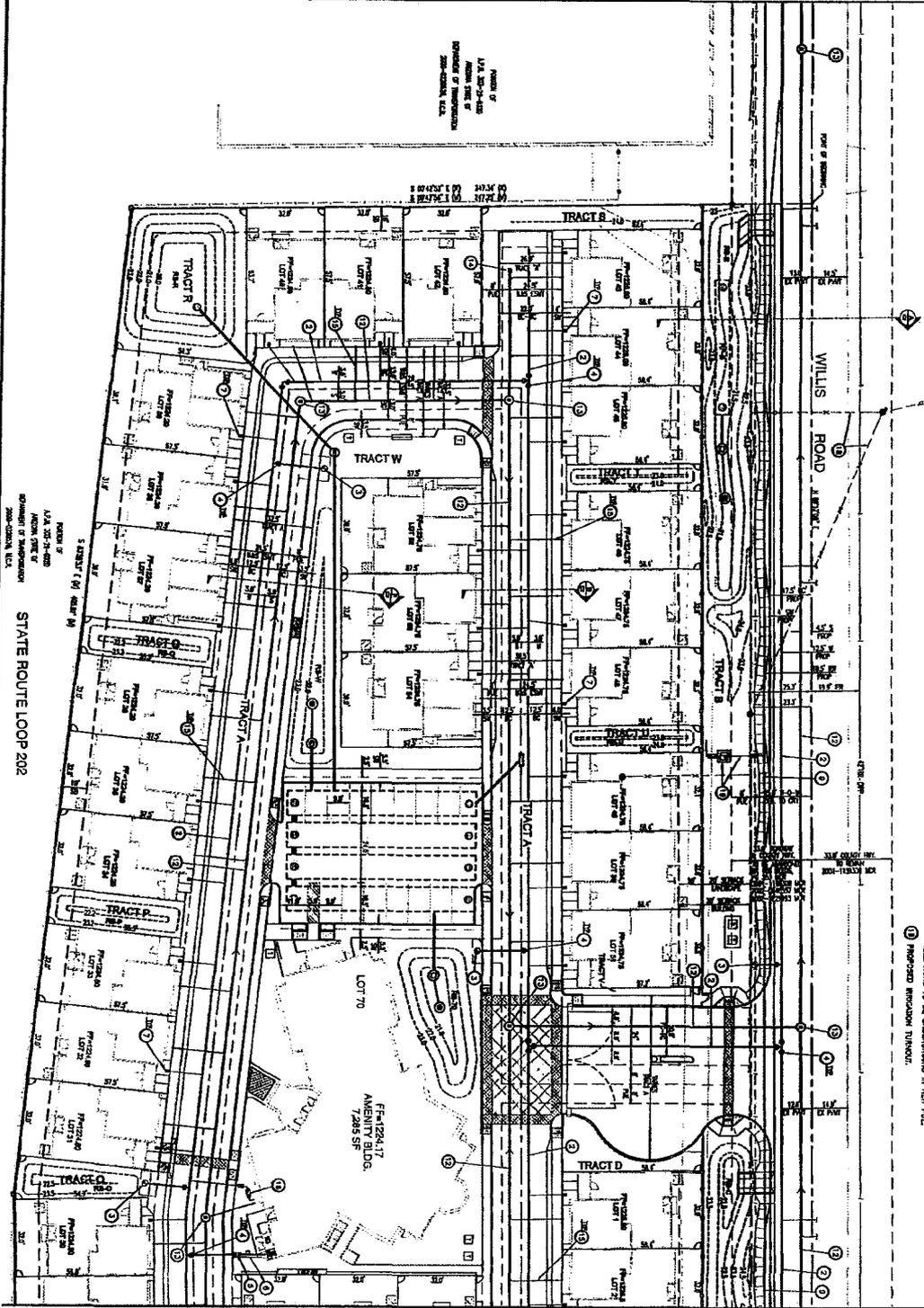
SCALE: 1"=40'
DATE: 3/25/13
REVISIONS:
PROJECT NO.: 1221
PRELIMINARY PLAT UTILITIES
SHEET: 4 OF 8
C4

PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF MCQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA



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MATCH LINE - SHEET C4



MATCH LINE - SHEET C6

EASEMENT NOTES

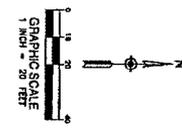
1. ALL EASEMENTS SHOWN ON THIS PLAT ARE SUBJECT TO THE RECORDING ACTS AND WILL BE RECORDED IN THE PUBLIC RECORDS OF THE COUNTY OF MARICOPA, ARIZONA. THE EASEMENTS WILL BE VALID ONLY IF RECORDED IN THE PUBLIC RECORDS.

NOTES

1. ALL PROPOSED UTILITY LINES AND EASEMENTS ARE SHOWN FOR INFORMATION ONLY AND WILL NOT BE CONSIDERED UNTIL THE UTILITY COMPANIES HAVE REVIEWED AND APPROVED THE PLAN.

- KEY NOTES**
- 1. Existing 12" Public Water Main.
 - 2. Proposed 12" Public Water Main.
 - 3. Proposed 12" Public Water Main.
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 - 97. Proposed 12" Public Water Main.
 - 98. Proposed 12" Public Water Main.
 - 99. Proposed 12" Public Water Main.
 - 100. Proposed 12" Public Water Main.

STATE ROUTE LOOP 202



C.O.C. LOG NO. PPT 13-0003

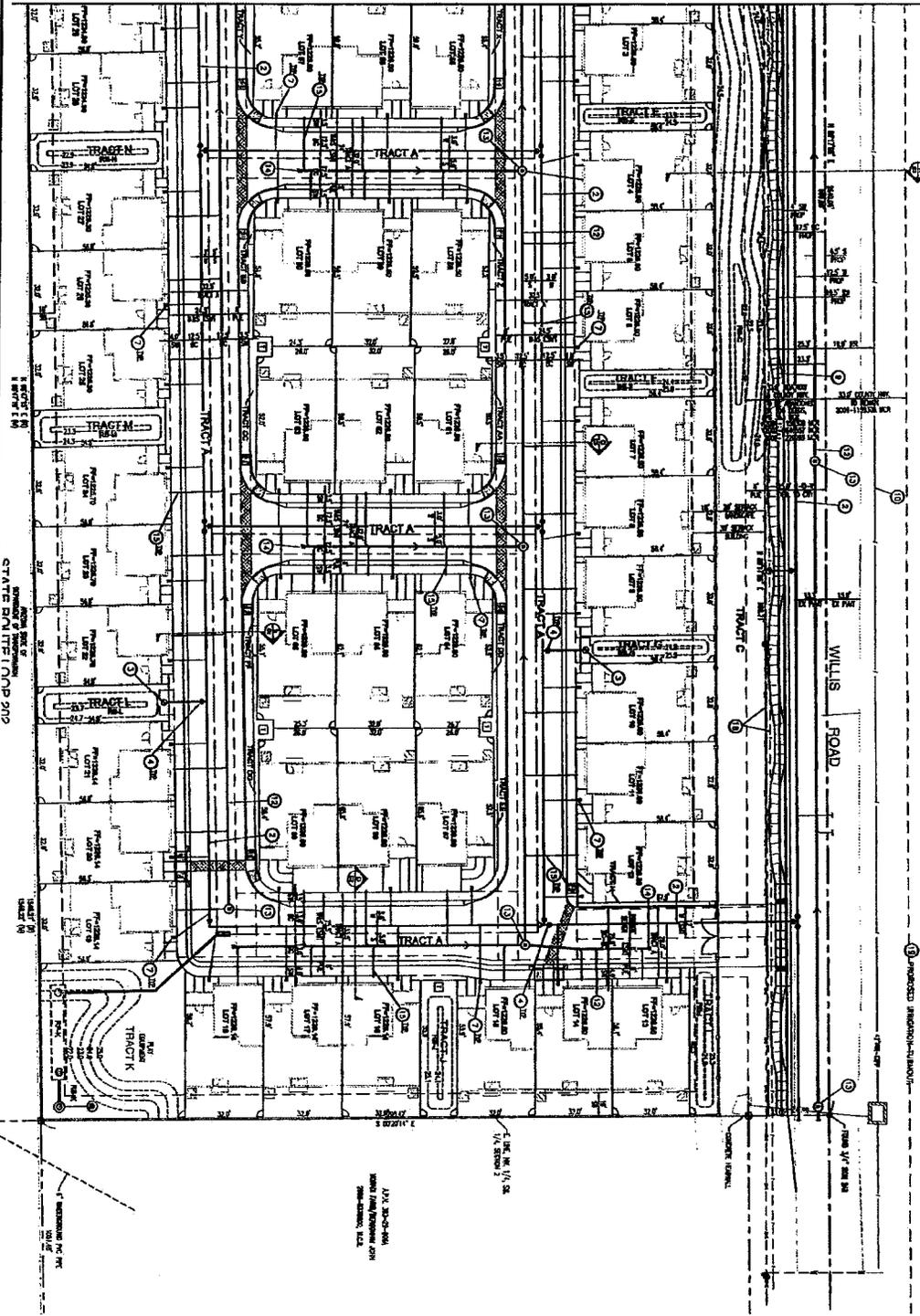
PROJECT NO.	1221
SCALE	1"=20'
DATE	02/28/13
REVISIONS	
PRELIMINARY PLAT UTILITIES	
SHEET:	5 OF 8
C5	

PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA



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MATCH LINE - SHEET C5



EASEMENT NOTES

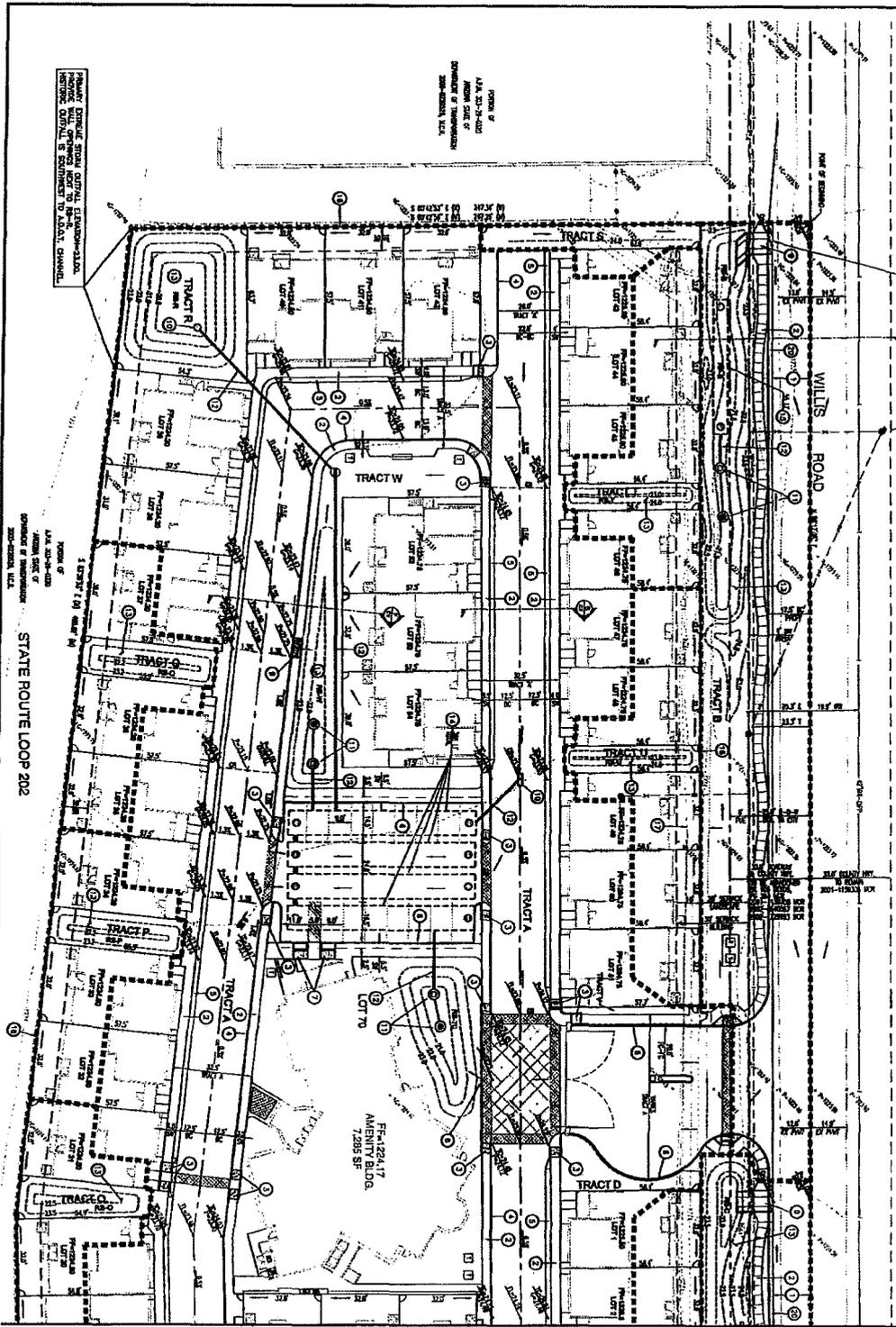
1. ALL UTILITY EASEMENTS (AND SERVICE LINES) WILL BE LOCATED IN THE UTILITY EASEMENT AREAS FROM THE CENTERLINE OF WILLIS ROAD TO THE PROPERTY BOUNDARIES. SEE SHEET C5 FOR THE LOCATION OF UTILITY EASEMENTS IN THE ONLY DEVELOP THE LAND PLAN, 1991-001.

NOTES

1. ALL PROPOSED UTILITY SIZES ARE AND WILL BE DETERMINED WITH FINAL CONSTRUCTION TRADES. SEE SHEET C2 FOR TYPICAL UTILITY SIZES AND SPACING.

KEY NOTES

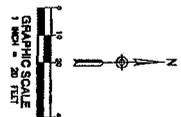
- 1. DISTINGUISH 12" PUBLIC WATER MAIN.
- 2. PROPOSED 8" PUBLIC WATER MAIN.
- 3. PROPOSED 6" PUBLIC WATER MAIN.
- 4. PROPOSED 4" PUBLIC WATER MAIN.
- 5. PROPOSED 12" WASTE WATER.
- 6. PROPOSED 8" WASTE WATER.
- 7. PROPOSED 6" WASTE WATER.
- 8. PROPOSED 4" WASTE WATER.
- 9. DISTINGUISH 12" RECYCLED WATER MAIN.
- 10. PROPOSED 8" RECYCLED WATER MAIN.
- 11. DISTINGUISH 42" RECYCLED WATER MAIN TO REPAIR.
- 12. DISTINGUISH 36" RECYCLED WATER MAIN.
- 13. DISTINGUISH 30" RECYCLED WATER MAIN.
- 14. PROPOSED 36" RECYCLED WATER MAIN.
- 15. PROPOSED 30" RECYCLED WATER MAIN.
- 16. PROPOSED 24" RECYCLED WATER MAIN.
- 17. PROPOSED 18" RECYCLED WATER MAIN.
- 18. DISTINGUISH 18" RECYCLED WATER MAIN.
- 19. DISTINGUISH 12" RECYCLED WATER MAIN.
- 20. DISTINGUISH 6" RECYCLED WATER MAIN.
- 21. DISTINGUISH 4" RECYCLED WATER MAIN.
- 22. DISTINGUISH 2" RECYCLED WATER MAIN.
- 23. DISTINGUISH 1" RECYCLED WATER MAIN.
- 24. DISTINGUISH 1/2" RECYCLED WATER MAIN.
- 25. DISTINGUISH 1/4" RECYCLED WATER MAIN.
- 26. DISTINGUISH 1/8" RECYCLED WATER MAIN.
- 27. DISTINGUISH 1/16" RECYCLED WATER MAIN.
- 28. DISTINGUISH 1/32" RECYCLED WATER MAIN.
- 29. DISTINGUISH 1/64" RECYCLED WATER MAIN.
- 30. DISTINGUISH 1/128" RECYCLED WATER MAIN.
- 31. DISTINGUISH 1/256" RECYCLED WATER MAIN.
- 32. DISTINGUISH 1/512" RECYCLED WATER MAIN.
- 33. DISTINGUISH 1/1024" RECYCLED WATER MAIN.
- 34. DISTINGUISH 1/2048" RECYCLED WATER MAIN.
- 35. DISTINGUISH 1/4096" RECYCLED WATER MAIN.
- 36. DISTINGUISH 1/8192" RECYCLED WATER MAIN.
- 37. DISTINGUISH 1/16384" RECYCLED WATER MAIN.
- 38. DISTINGUISH 1/32768" RECYCLED WATER MAIN.
- 39. DISTINGUISH 1/65536" RECYCLED WATER MAIN.
- 40. DISTINGUISH 1/131072" RECYCLED WATER MAIN.
- 41. DISTINGUISH 1/262144" RECYCLED WATER MAIN.
- 42. DISTINGUISH 1/524288" RECYCLED WATER MAIN.
- 43. DISTINGUISH 1/1048576" RECYCLED WATER MAIN.
- 44. DISTINGUISH 1/2097152" RECYCLED WATER MAIN.
- 45. DISTINGUISH 1/4194304" RECYCLED WATER MAIN.
- 46. DISTINGUISH 1/8388608" RECYCLED WATER MAIN.
- 47. DISTINGUISH 1/16777216" RECYCLED WATER MAIN.
- 48. DISTINGUISH 1/33554432" RECYCLED WATER MAIN.
- 49. DISTINGUISH 1/67108864" RECYCLED WATER MAIN.
- 50. DISTINGUISH 1/134217728" RECYCLED WATER MAIN.
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- 53. DISTINGUISH 1/1073741824" RECYCLED WATER MAIN.
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- 78. DISTINGUISH 1/36028797837523968" RECYCLED WATER MAIN.
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- 89. DISTINGUISH 1/73786977971249086464" RECYCLED WATER MAIN.
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- 91. DISTINGUISH 1/295147919648996345856" RECYCLED WATER MAIN.
- 92. DISTINGUISH 1/590295839297992691712" RECYCLED WATER MAIN.
- 93. DISTINGUISH 1/1180591678595985383424" RECYCLED WATER MAIN.
- 94. DISTINGUISH 1/2361183357191970766848" RECYCLED WATER MAIN.
- 95. DISTINGUISH 1/4722366714383941533696" RECYCLED WATER MAIN.
- 96. DISTINGUISH 1/9444733428767883067392" RECYCLED WATER MAIN.
- 97. DISTINGUISH 1/18889466857535766134784" RECYCLED WATER MAIN.
- 98. DISTINGUISH 1/37778933715071532269568" RECYCLED WATER MAIN.
- 99. DISTINGUISH 1/75557867430143064539136" RECYCLED WATER MAIN.
- 100. DISTINGUISH 1/151115734860286129078272" RECYCLED WATER MAIN.
- 101. DISTINGUISH 1/302231469720572258156544" RECYCLED WATER MAIN.
- 102. DISTINGUISH 1/604462939441144516313088" RECYCLED WATER MAIN.
- 103. DISTINGUISH 1/1208925878882289032626176" RECYCLED WATER MAIN.
- 104. DISTINGUISH 1/2417851757764578065252352" RECYCLED WATER MAIN.
- 105. DISTINGUISH 1/4835703515529156130504704" RECYCLED WATER MAIN.
- 106. DISTINGUISH 1/96714070310583122610009408" RECYCLED WATER MAIN.
- 107. DISTINGUISH 1/193428140621162245220018816" RECYCLED WATER MAIN.
- 108. DISTINGUISH 1/386856281242324490440037632" RECYCLED WATER MAIN.
- 109. DISTINGUISH 1/773712562484648980880075264" RECYCLED WATER MAIN.
- 110. DISTINGUISH 1/1547425124969297961760150528" RECYCLED WATER MAIN.
- 111. DISTINGUISH 1/3094850249938595923520301056" RECYCLED WATER MAIN.
- 112. DISTINGUISH 1/6189700499877191847040602112" RECYCLED WATER MAIN.
- 113. DISTINGUISH 1/123794009997543836940812042224" RECYCLED WATER MAIN.
- 114. DISTINGUISH 1/247588019995077673881624084448" RECYCLED WATER MAIN.
- 115. DISTINGUISH 1/495176039990155347763248168896" RECYCLED WATER MAIN.
- 116. DISTINGUISH 1/990352079980310695526496337792" RECYCLED WATER MAIN.
- 117. DISTINGUISH 1/1980704159960621391052992675584" RECYCLED WATER MAIN.
- 118. DISTINGUISH 1/3961408319921242782105985351168" RECYCLED WATER MAIN.
- 119. DISTINGUISH 1/7922816639842485564211970702336" RECYCLED WATER MAIN.
- 120. DISTINGUISH 1/15845633279684971128423401404672" RECYCLED WATER MAIN.
- 121. DISTINGUISH 1/31691266559369942256846802809344" RECYCLED WATER MAIN.
- 122. DISTINGUISH 1/63382533118739884513693605618688" RECYCLED WATER MAIN.
- 123. DISTINGUISH 1/126765066377479769027387211237376" RECYCLED WATER MAIN.
- 124. DISTINGUISH 1/253530132754959538054774422474752" RECYCLED WATER MAIN.
- 125. DISTINGUISH 1/507060265509919076109548844949504" RECYCLED WATER MAIN.
- 126. DISTINGUISH 1/1014120531019838152219107698990016" RECYCLED WATER MAIN.
- 127. DISTINGUISH 1/2028241062039676304438215397980032" RECYCLED WATER MAIN.
- 128. DISTINGUISH 1/4056482124079352608876430795960064" RECYCLED WATER MAIN.
- 129. DISTINGUISH 1/8112964248158705217752861591920128" RECYCLED WATER MAIN.
- 130. DISTINGUISH 1/1622592849631741043550572383840256" RECYCLED WATER MAIN.
- 131. DISTINGUISH 1/3245185699263482087101144667840512" RECYCLED WATER MAIN.
- 132. DISTINGUISH 1/6490371398526964174202291335681024" RECYCLED WATER MAIN.
- 133. DISTINGUISH 1/12980742797053928348404582671362048" RECYCLED WATER MAIN.
- 134. DISTINGUISH 1/2596148559410785669680916534274096" RECYCLED WATER MAIN.
- 135. DISTINGUISH 1/5192297118821571339371833068548192" RECYCLED WATER MAIN.
- 136. DISTINGUISH 1/10384594237643542678743666137167872" RECYCLED WATER MAIN.
- 137. DISTINGUISH 1/20769188475287085357487332274335744" RECYCLED WATER MAIN.
- 138. DISTINGUISH 1/4153837695057417071497466454867168" RECYCLED WATER MAIN.
- 139. DISTINGUISH 1/8307675390114834142994932909734336" RECYCLED WATER MAIN.
- 140. DISTINGUISH 1/16615350780229682859898658019468672" RECYCLED WATER MAIN.
- 141. DISTINGUISH 1/33230701560459365719797316038937344" RECYCLED WATER MAIN.
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- 147. DISTINGUISH 1/21267648998693966204467082264910016" RECYCLED WATER MAIN.
- 148. DISTINGUISH 1/42535297997387932408934164529820032" RECYCLED WATER MAIN.
- 149. DISTINGUISH 1/85070595994775864817868329059640064" RECYCLED WATER MAIN.
- 150. DISTINGUISH 1/170141191989551729635736658119280128" RECYCLED WATER MAIN.
- 151. DISTINGUISH 1/340282383979103459271473316238560256" RECYCLED WATER MAIN.
- 152. DISTINGUISH 1/680564767958206918542946632477120512" RECYCLED WATER MAIN.
- 153. DISTINGUISH 1/13611295359164338368858932649542401024" RECYCLED WATER MAIN.
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- 156. DISTINGUISH 1/10889036287331470695087146196339208192" RECYCLED WATER MAIN.
- 157. DISTINGUISH 1/21778072574662941390017292339278416384" RECYCLED WATER MAIN.
- 158. DISTINGUISH 1/43556145149325882780034584678556832768" RECYCLED WATER MAIN.
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- 160. DISTINGUISH 1/174224584593303531120138338714231271072" RECYCLED WATER MAIN.
- 161. DISTINGUISH 1/3484491691866070622402766774284625424" RECYCLED WATER MAIN.
- 162. DISTINGUISH 1/6968983383732141244805533548569250848" RECYCLED WATER MAIN.
- 163. DISTINGUISH 1/13937966767464282489611067097137801096" RECYCLED WATER MAIN.
- 164. DISTINGUISH 1/27875933534928564979222134194276021952" RECYCLED WATER MAIN.
- 165. DISTINGUISH 1/55751867069857129958444268388552043904" RECYCLED WATER MAIN.
- 166. DISTINGUISH 1/111503734139714259916888536777104087808" RECYCLED WATER MAIN.
- 167. DISTINGUISH 1/22300746827942851983377707355420817616" RECYCLED WATER MAIN.
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- 169. DISTINGUISH 1/89202987311771407933510829421683270464" RECYCLED WATER MAIN.
- 170. DISTINGUISH 1/17840597462354281586702157844336544128" RECYCLED WATER MAIN.
- 171. DISTINGUISH 1/35681194924708563173404315688673088256" RECYCLED WATER MAIN.
- 172. DISTINGUISH 1/71362389849417126346808631377346171328" RECYCLED WATER MAIN.
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- 176. DISTINGUISH 1/11417983759906740215489381404378744448" RECYCLED WATER MAIN.
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- 179. DISTINGUISH 1/91343870079253921723915171235029955584" RECYCLED WATER MAIN.
- 180. DISTINGUISH 1/182687740158507843447830342470059911168" RECYCLED WATER MAIN.
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- 185. DISTINGUISH 1/584600768507225099033057095904191715776" RECYCLED WATER MAIN.
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- 187. DISTINGUISH 1/2338403074028900396132228836364766871104" RECYCLED WATER MAIN.
- 188. DISTINGUISH 1/4676806148057800792264457672729533742208" RECYCLED WATER MAIN.
- 189. DISTINGUISH 1/9353612296115601584528915345459067484416" RECYCLED WATER MAIN.
- 190. DISTINGUISH 1/1870722459223120316905783069091813888" RECYCLED WATER MAIN.
- 191. DISTINGUISH 1/37414449184462406338115661381826277776" RECYCLED WATER MAIN.
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- 193. DISTINGUISH 1/14965779673784962555246245524730511104" RECYCLED WATER MAIN.
- 194. DISTINGUISH 1/29931559347569925110492491049460222208" RECYCLED WATER MAIN.
- 195. DISTINGUISH 1/59863118695139850220984982098920444416" RECYCLED WATER MAIN.
- 196. DISTINGUISH 1/119726237390279700441969762197808888832" RECYCLED WATER MAIN.
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- 200. DISTINGUISH 1/1915619792444754007071516151644422208" RECYCLED WATER MAIN.
- 201. DISTINGUISH 1/3831239584889508014143032303288844416" RECYCLED WATER MAIN.
- 202. DISTINGUISH 1/76624791697790160282860646065776888832" RECYCLED WATER MAIN.
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- 205. DISTINGUISH 1/6129983343823212822628851684622151104" RECYCLED WATER MAIN.
- 206. DISTINGUISH 1/1225996668764642564525770336924422208" RECYCLED WATER MAIN.
- 207. DISTINGUISH 1/2451993337529285129051540673848844416" RECYCLED WATER MAIN.
- 208. DISTINGUISH 1/49039866750585702581030813476976888832" RECYCLED WATER MAIN.
- 209. DISTINGUISH 1/980797335011714051620616279539537776" RECYCLED WATER MAIN.
- 210. DISTINGUISH 1/196159467002342810324122549907915552" RECYCLED WATER MAIN.
- 211. DISTINGUISH 1/392318934004685620648245099815831104" RECYCLED WATER MAIN.
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- 213. DISTINGUISH 1/1569275736018424822592903992633244416" RECYCLED WATER MAIN.
- 214. DISTINGUISH 1/31385514720368496451858079852664888832" RECYCLED WATER MAIN.
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- 216. DISTINGUISH 1/1255420588814399858074231981065595552" RECYCLED WATER MAIN.
- 217. DISTINGUISH 1/2510841177628799716144463962131191104" RECYCLED WATER MAIN.
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- 219. DISTINGUISH 1/1004336471051519864457785484852764416" RECYCLED WATER MAIN.
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- 221. DISTINGUISH 1/4017345884206079457831143379411057776" RECYCLED WATER MAIN.
- 222. DISTINGUISH 1/803469176841215891566228675882211552" RECYCLED WATER MAIN.
- 223. DISTINGUISH 1/1606938336882431823132457317764422208" RECYCLED WATER MAIN.
- 224. DISTINGUISH 1/3213876673764863646264914635528844416" RECYCLED WATER MAIN.
- 225. DISTINGUISH 1/64277533475297272925298292710576888832" RECYCLED WATER MAIN.
- 226. DISTINGUISH 1/128555066950594545850596585421537776" RECYCLED WATER MAIN.
- 227. DISTINGUISH 1/257110133901189091701193170843075552" RECYCLED WATER MAIN.
- 228. DISTINGUISH 1/514220267802378183402386341686151104" RECYCLED WATER MAIN.
- 229. DISTINGUISH 1/1028440535604756366804772823372302208" RECYCLED WATER MAIN.
- 230. DISTINGUISH 1/2056881071209512733609545646744604416" RECYCLED WATER MAIN.
- 231. DISTINGUISH 1/41137621424190254672190912934892088832" RECYCLED WATER MAIN.
- 232. DISTINGUISH 1/8227524284838050934438182586978417776" RECYCLED WATER MAIN.
- 233. DISTINGUISH 1/1645504856967610186887636573395635552" RECYCLED WATER MAIN.
- 234. DISTINGUISH 1/3291009713935220373775273146791271104" RECYCLED WATER MAIN.
- 235. DISTINGUISH 1/6582019427870440747550546293582542208" RECYCLED WATER MAIN.
- 236. DISTINGUISH 1/13164038855740881495101092587165044416" RECYCLED WATER MAIN.
- 237. DISTINGUISH 1/26328077711481762990202185754320888832" RECYCLED WATER MAIN.
- 238. DISTINGUISH 1/526561554229635259804043715086417776" RECYCLED WATER MAIN.
- 239. DISTINGUISH 1/1053123108459270519608087421172835552" RECYCLED WATER MAIN.
- 240. DISTINGUISH 1/2106246216918541039216174842345671104" RECYCLED WATER MAIN.
- 241. DISTINGUISH 1/4212492433837082078432349684691342208" RECYCLED WATER MAIN.
- 242. DISTINGUISH 1/8424984867674164156864699369382684416" RECYCLED WATER MAIN.
- 243. DISTINGUISH 1/168499693533483223137293987387537776" RECYCLED WATER MAIN.
- 244. DISTINGUISH 1/336999387066966446274587974775075552" RECYCLED WATER MAIN.
- 245. DISTINGUISH 1/673998774133932892549175949550151104" RECYCLED WATER MAIN.
- 246. DISTINGUISH 1/1347997548267865845098351999100302208" RECYCLED WATER MAIN.
- 2



PROJECT NO. 1221
 DATE 02/25/13
 SCALE 1"=20'

STATE ROUTE LOOP 202

MATCH LINE - SHEET C8



C.O.C. LOG NO. PPT 13-0003

NOTES

- 1. A BLANK EXHIBIT FOR CROSS REFERENCES TO BE SUBMITTED BY THE APPLICANT.
- 2. SEE SHEET C7 FOR TRACTS B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z.

KEY NOTES

- 1. PROPOSED ASPHALT DRIVEWAY.
- 2. PROPOSED SIDEWALK.
- 3. PROPOSED 4" X 8" CMU WALL.
- 4. PROPOSED 4" VERTICAL CURB.
- 5. PROPOSED 4" VERTICAL CURB AND GUTTER.
- 6. PROPOSED 6" VERTICAL CURB.
- 7. PROPOSED 6" ASPHALT DRIVEWAY.
- 8. PROPOSED SIDEWALK.
- 9. PROPOSED DRIVE BASIN.
- 10. PROPOSED INTERSECTION AND DRIVEWAY.
- 11. PROPOSED STORM DRAIN PIPE.
- 12. PROPOSED RETENTION BASIN, 441V SOAK.
- 13. PROPOSED RETENTION PIPE, 12" DIA. C.S.P.
- 14. PROPOSED RETENTION PIPE, 6" DIA. C.S.P.
- 15. PROPOSED WALL.
- 16. PROPOSED 7/8" CONCRETE REINFORCED ASPHALT DRIVEWAY.
- 17. 6" DIA. 24" REINFORCED P.V.C. SANITARY SEWER MAIN.
- 18. PROPOSED DRIVEWAY AND GUTTER.

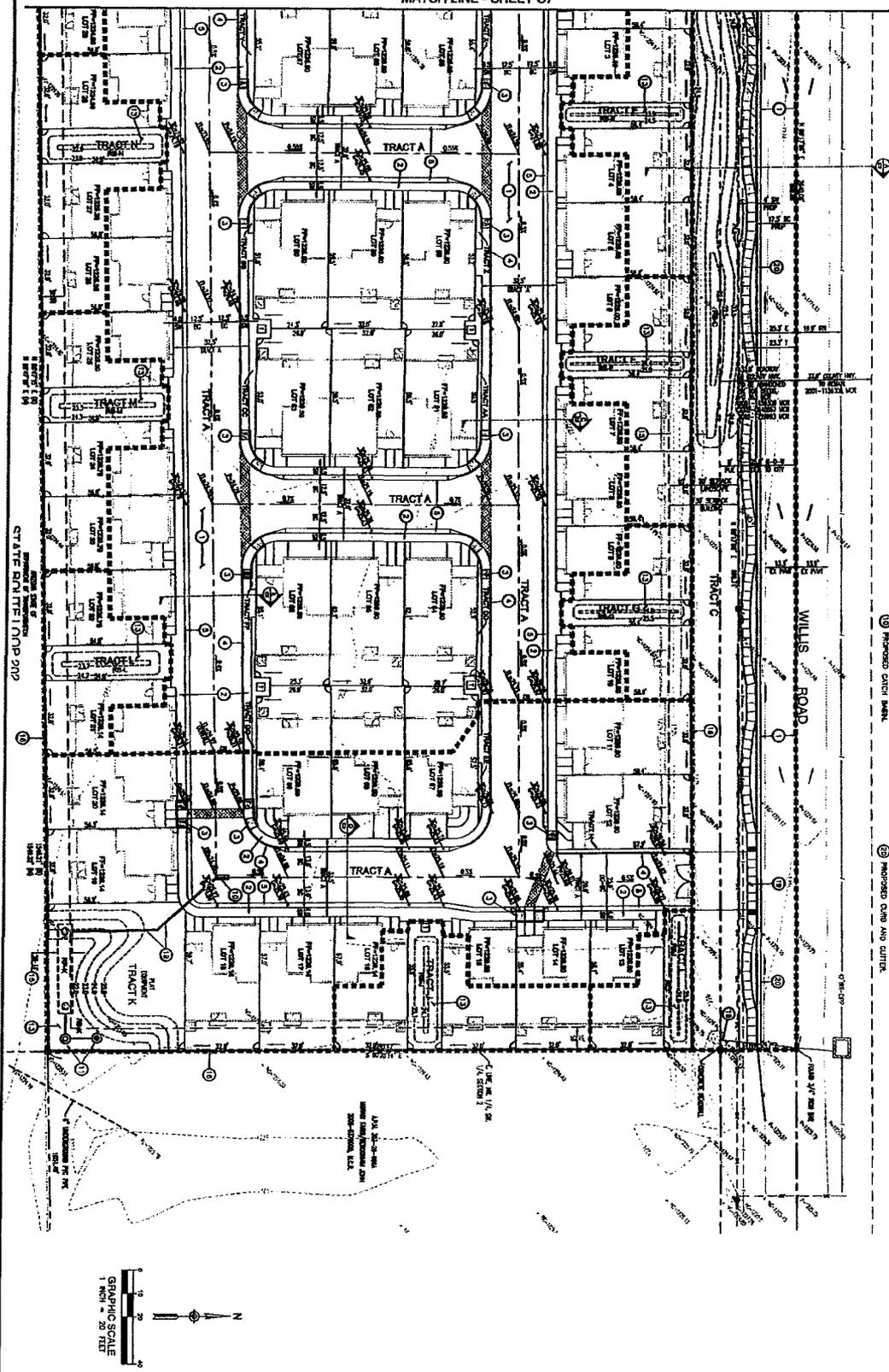
PROJECT NO.	1221
DATE	02/25/13
SCALE	1"=20'
REVISIONS	
PRELIMINARY PLAT GRADING AND DRAINAGE	
SHEET:	7 OF 8
C7	

PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF QUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA



Desert Development Engineering, LLC
 CIVIL ENGINEERING SERVICES
 18000 N. 31st Avenue • Suite 1100 • Phoenix, Arizona 85027
 P. 602-997-2005 • F. 602-697-4006 • www.DDE-eng.com

MATCH LINE - SHEET C7



NOTES

- 1. A. ADJUST EASEMENT FOR CROSS ACCESS NEAR THE GARDEN AT EACH LOT.

KEY NOTES

- 1. PROPOSED SIDEWALK.
- 2. PROPOSED 4" VERTICAL CURB.
- 3. PROPOSED 4" VERTICAL CURB.
- 4. PROPOSED 4" VERTICAL CURB.
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- 99. PROPOSED 4" VERTICAL CURB.
- 100. PROPOSED 4" VERTICAL CURB.

C.O.C. LOG NO. PPT 13-0003

SCALE: 1"=20'
DATE: 02/21/2011
REVISIONS:
PROJECT NO.: 1221
PRELIMINARY PLAT GRADING AND DRAINAGE
SHEET: 8 OF 8
C8

PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF MCQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA



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 18002 N. 37th Avenue • Suite A 109 • Phoenix, Arizona 85051
 P. 602-997-2065 • F. 602-997-4066 • www.DDE-az.com

Re: City of Chandler
Ryne McCoy
to:
Erik.Swanson
04/17/2013 01:23 PM
Show Details

Please add the following.....

What is going to happen to north side of Willis Rd? (the impact and solutions)

The irrigation ditch that runs down North side of Willis Rd? (the impact and solutions)

The Traffic issues, (the impact and solutions)

What is going to happen to Willis & McQueen Rd intersection? (the impact and solutions)

The effect of having two hundred people (or more) living on a dead end road; with one exit to a very busy McQueen Rd! (the impact and solutions)

Will this complex be built before Traffic issues are solved? If so WHY?

The fact that it only takes two car's at stop sign to block my driveway. (Willis Rd / exiting to McQueen Rd) (the impact and solutions)

Water drainage issues, (the impact and solutions)

The Noise Level will rise in my home with two busy roads bordering my home. (Brick Wall)

Anything & everything that impacts the Willis Road and current residents!

City of Chandler is set to gain from this complex! Will the City of Chandler take ownership of issues and deal with (Current & Future issues) (the Predicted and the Unforeseen issues) while minimizing the financial burden of the current Maricopa County residents. And will that be done in a timely manner?

EMAIL No. 1

City Planning
 Frank McCoy
 to:
 Erik.Swanson
 04/22/2013 10:13 AM
 Cc:
 terri.wood
 Show Details

Erik Swanson, City Planner,

I don't understand how you can vote on something with no solutions to offer first? I feel that's irresponsible, for City Planning. What are you planning for, if not to offer solutions? Who are you planning for; that meeting I went to, you wanted to show me a slide show on the progress of the complex you are building (that benefits the city of Chandler) but not one thing on the traffic issues this will cause and the solutions (that directly affect myself, family, and neighbors). And this is already voted in, do I have a vote, (or would I have had one)? I had no idea that this was being voted on, in this meeting. I feel that those votes for approval were blind uneducated and pre-mature votes. I question the motives of this planning. Building this complex without a plan for Willis road and the intersection is a mistake.

If you don't know, I looked it up. *Plan – Planned – Planning*= a scheme or method of acting, doing, proceeding, making, etc., **developed in advance**.

When it come to Willis Road planning; “developed in advance” important, but is lacking in this project. In the last meeting I asked “way was the traffic engineer (or representative) not at this meeting”, and no good answer was given nor any desire to invite one. But yet I still said “I want to get a traffic engineer in the meeting”. Why was that ignored?

Will the people/ originations that benefit from this complex, will they make sure that I have safe passage out of my property, I have rights and one of those rights is a safe and reliable passage out of my property at any time; a right that you are ignoring in this project. Who is going to directly handle my issues if this is approved? They have some planning to do.

The point I would like to drive home is “Providing solutions to issues should be a part of the planning” and with a title of City Planner, I feel I should not have to point this out. Please address the issues before moving forward. If this issue was over looked/ flat out ignored, only makes me wonder; what else was. I myself cannot list nor comprehend all the issue that will be caused, so how can the voters know the levity of the situation without directly hearing form an traffic engineer (or representative) about this topic. One brief conversation on my issues (between the voters) is negligent and irresponsible. Where is the Planning?

EMAIL NO. 2

ORDINANCE NO. 4454

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT FOR SINGLE-FAMILY TOWNHOME DEVELOPMENT IN CASE (DVR12-0042 MUMTAZ GATED COMMUNITY) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'.

Said parcel is hereby rezoned from AG-1 to PAD for a single-family residential townhome development, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "MUMTAZ GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0042, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the

Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Mumtaz Gated Community development shall use treated effluent to maintain open space, common areas, and landscape tracts.

9. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

10. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
 - a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.
 - b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
 - c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
 - d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.

- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from an aircraft. A registered engineer shall certify that the project is in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”

- 11. The development shall provide sound attenuation measures in accordance with ADOT standard details and requirements excepting any decibel reductions or sound attenuation credits for the use of a rubberized asphalt paving surface. Any noise mitigation, if required, is the responsibility of the development.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Transportation & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this ____ day of _____, 2013.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council this ____ day of _____, 2013.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4454 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2013, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY *GAB*

PUBLISHED:

EXHIBIT "A"

**LEGAL DESCRIPTION
OF PROPERTY AT
MCQUEEN ROAD & WILLIS ROAD
CHANDLER, AZ**

That portion of the Southwest quarter of Section 2, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

COMMENCING at an Aluminum Cap Flush stamped 16202 marking the West quarter corner of said Section 2, from which a City of Chandler Brass Cap in Handhole marking the Southwest corner of said Section 2 bears South 00 degrees 17 minutes 22 seconds East, 2648.71 feet, said line being the basis of bearing for this description;

THENCE North 89 degrees 17 minutes 08 seconds East 420.15 feet along the North line of said Southwest quarter, also being the Monument Line of Willis Road, to the POINT OF BEGINNING;

THENCE continuing North 89 degrees 17 minutes 08 seconds East 899.88 feet to the East line of the Northwest quarter of the Southwest quarter of said Section 2;

THENCE South 00 degrees 20 minutes 14 seconds East 323.43 feet along said East line;

THENCE South 88 degrees 47 minutes 19 seconds West 494.74 feet;

THENCE North 83 degrees 59 minutes 53 seconds West 405.81 feet;

THENCE North 00 degrees 42 minutes 56 seconds West 280.25 feet to the POINT OF BEGINNING.

COMPRISING 6.518 acres or 283,918 square feet more or less, subject to all easements of record.



David S. Klein

EXPIRES 3/31/14

 <p>SUPERIOR SURVEYING SERVICES, INC.</p>	<p>21415 N. 23rd Avenue Phoenix, AZ 85027 623-869-0223 (office) 623-869-0726 (fax) www.superiorsurveying.com info@superiorsurveying.com</p>
<p>DATE: 10/24/12</p>	<p>JOB NO.: 120919</p>



PARTIAL ENTRY VIEW AT WILLIS ROAD.

MUMTAZ GATED COMMUNITY NARRATIVE

Mumtaz Gated Community is a well organized architecturally pleasant project. It's style blends smoothly into South-Western Spanish architectural style. It also has accommodated Islamic architectural style as a special icon.

Buildings are designed to articulate major masses with accenting minor masses. Dynamic color schemes in each building is used to break the monotony. Decorative rails, columns, pop-outs, bands, window shutters are provided harmoniously to enhance richness.

It includes energy saving feature in each building. It provided covered balcony, recessed windows, window shading devices, insulated glazing set on thicker exterior walls. Each building is designed in compact format with private backyard. Each unit will have advantage of natural cross ventilation effect in favorable weather condition.

Its design is responding to the criteria of family of six members. These members are grand-parents, parents and children. It provide all amenities what residents desire within their reach.

Mumtaz consists of sixty nine town homes and an amenity building on gross site area of 6.5 acres. It has a generous park-like and desert setting layout. Open spaces are distributed among site area. Its amenity building contains prayer service, multi-purpose room, kitchen, library, and divided fitness centers for male and female. Fitness area contains indoor pool, shower facility and exercise equipments.

The gate feature with two exits also provides increased level of security and privacy consistent with project's conservative lifestyle. The automatic entry/exit gates shall be constructed in iron with paint finish. It is decorated in ornamental style. It has decorative view fence at Willis road side and solid fence at sides and rear. Its parking are placed in interior area that is surrounded by buildings.

Mumtaz has 24 buildings. Twenty three of them are residential homes and one amenity building. Each residential building contains three three-bedroom homes with livable spaces approximately 1900 square feet. Each home will have two cars attached garage, family room, three full bathrooms, spacious master bedroom. First floor bedroom will have attached full bathroom. It has spacious balcony, private backyard, modern kitchen with appliance, laundry closet, dining and living room, spacious entry patio and storage area.

To complete, Mumtaz Gated Community presents affordable homes desirable to first-time buyers as well as reitrees. Its overall plan emphasize low maintenance to keep homeowner's association fees low. Its compact building form will lower energy consumption and maintenance cost. Its community feature will bring residents closer together everyday. This will promote social interaction and friendly neighborhood throughout the year.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
 P.O. BOX 12700
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South - East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012
 DATE 04-23-2013

DRAWING TITLE
NARRATIVE

SHEET NO.
A0.1

C:\C LOG NO. PRE12-0022



CLIENT:
 MARS HOMES
 MARS ENTERPRISES LLC
 P.O. BOX 13703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

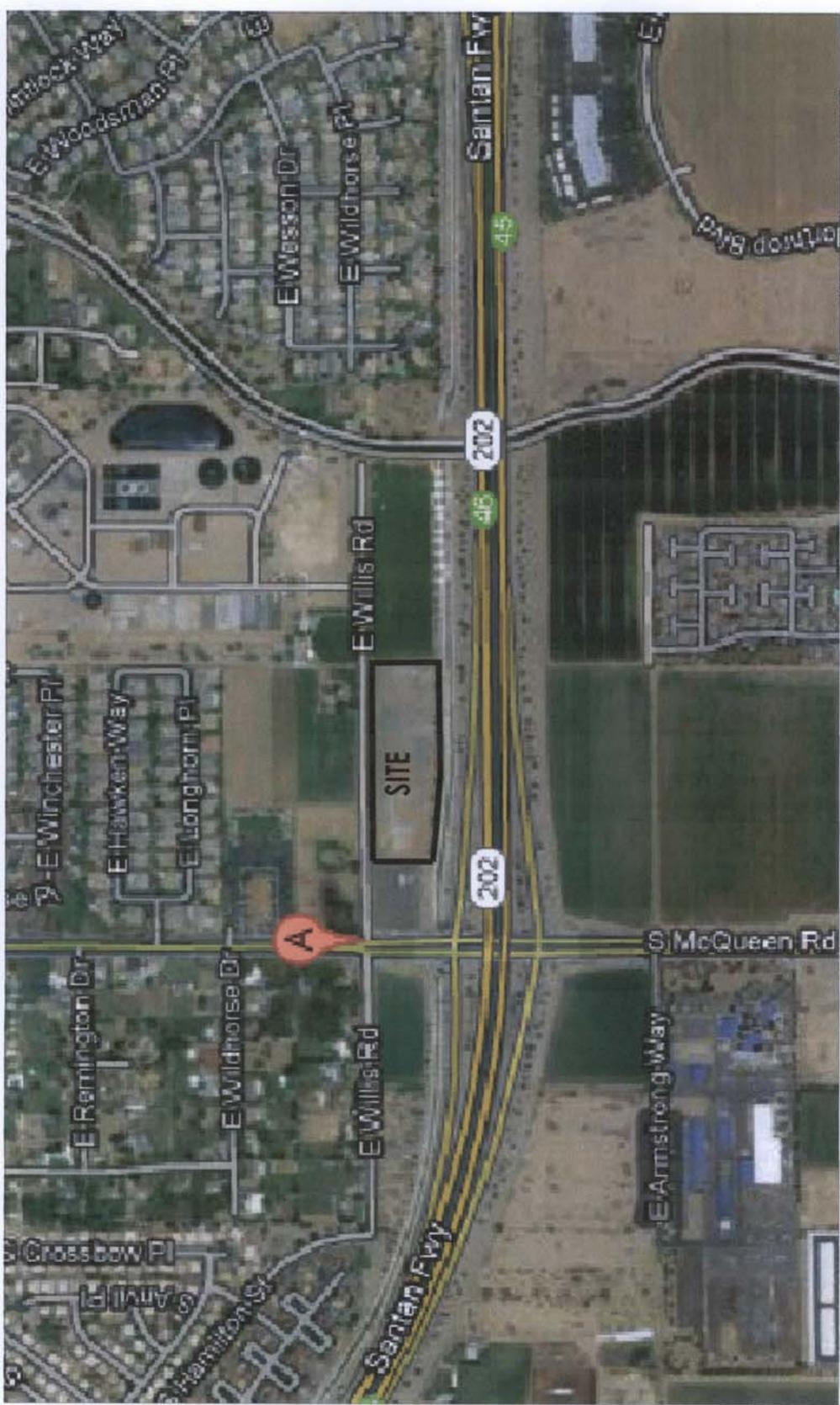
CITY REVIEW SET

PROJECT NO. 109-2013
 DATE: 04-23-2013

DRAWING TITLE
AERIAL MAP

SHEET NO.
A0.2

C:\C LOG NO. PRE12-0023



1 AERIAL MAP
 Scale: 1/8" = 100'

2 ZONING MAP
 Scale: 1/8" = 100'





CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
 P.O. BOX 12700
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



DESIGN BY:
James J. Miller
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 12000
 STATE OF ARIZONA
 PRELIMINARY

CITY REVIEW SET

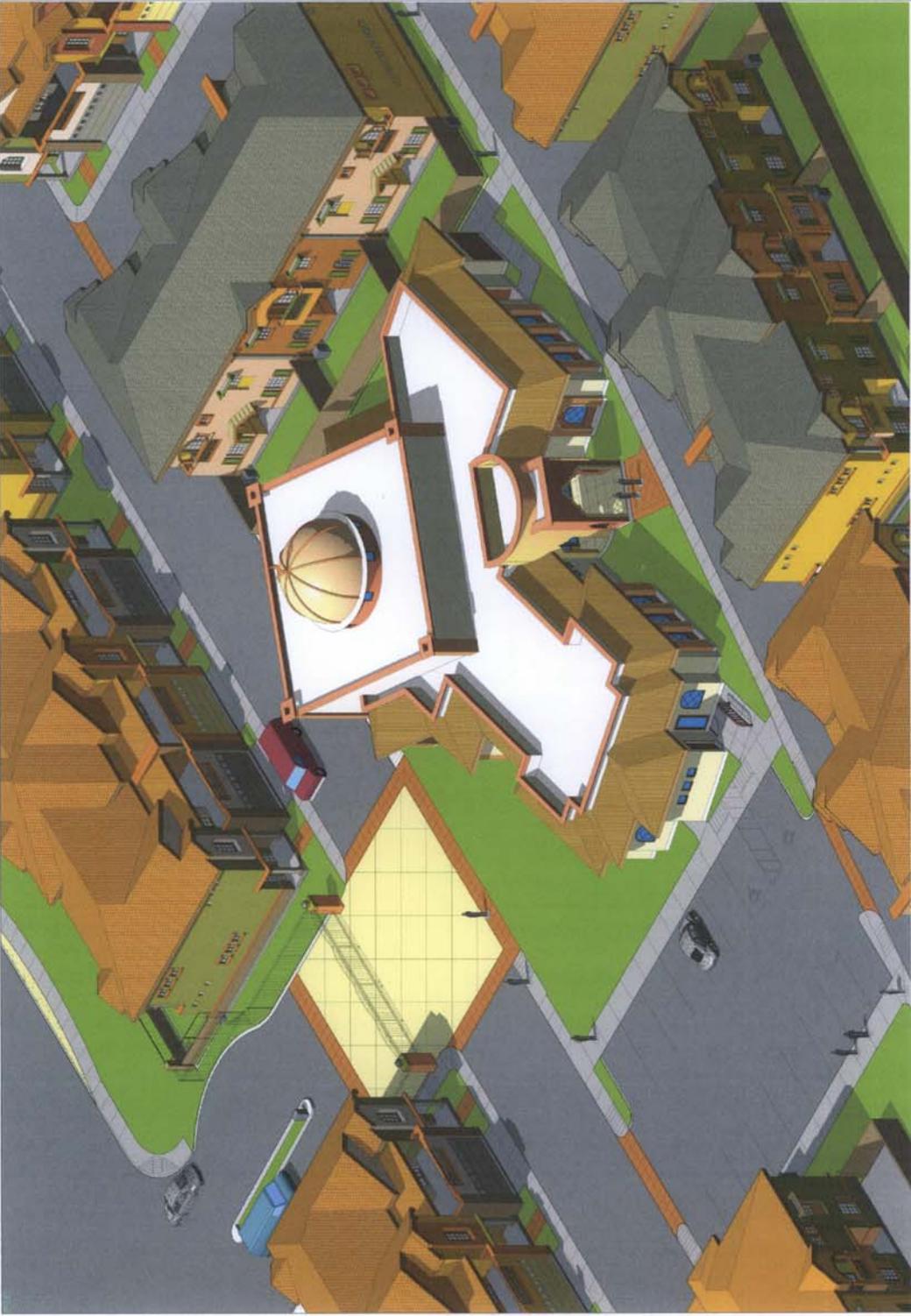
PROJECT NO. 108-2012

DATE: 04-23-2013

DRAWING TITLE
PERSPECTIVE

SHEET NO.
A0.3

C.O.C. LOG NO. PRE12-0032



1 PERSPECTIVE
 Scale: 1/8" = 1'-0"

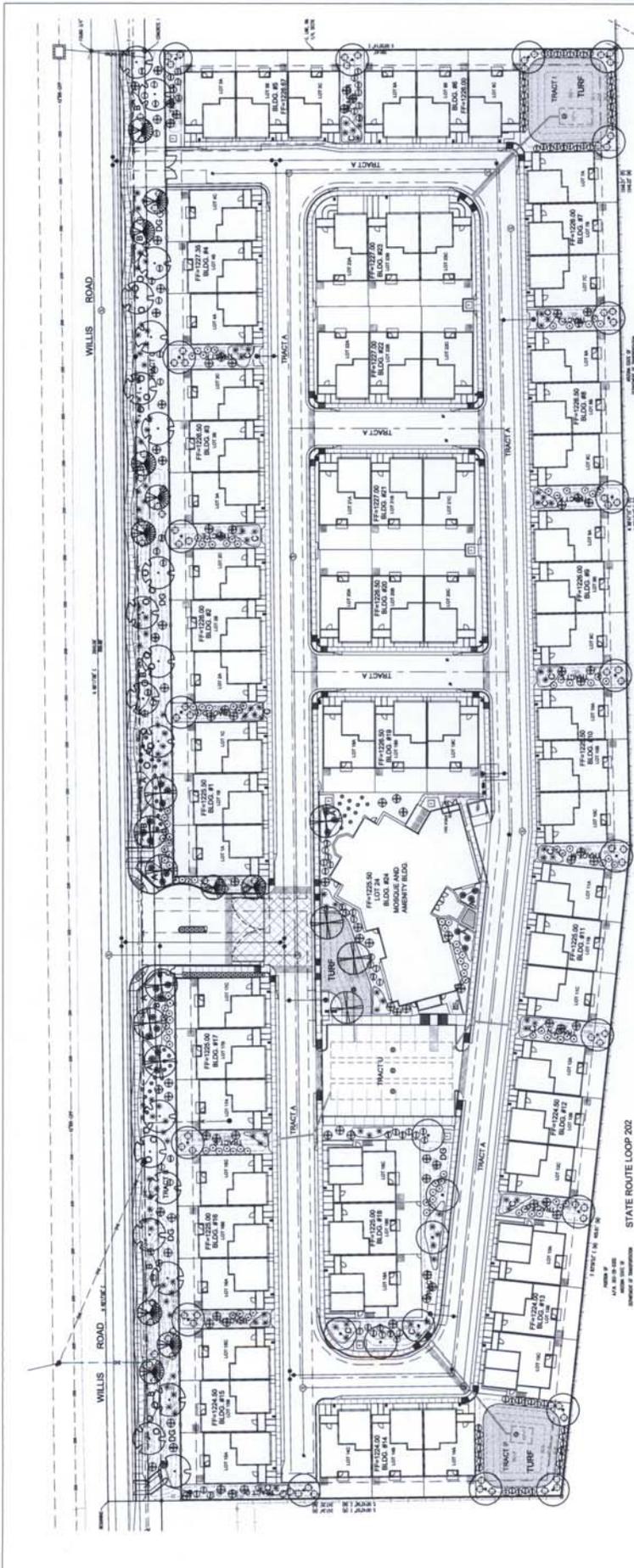


MUMTAZ GATED COMMUNITY
 SEC. OF MCGUEN ROAD & WILIS ROAD
 CHANDLER, ARIZONA

G.K. FLANAGAN
 ASSOCIATES, INC.
 LANDSCAPE ARCHITECTS
 4828 N. 44TH STREET PHOENIX, AZ 85018
 P. 602.998.8888
 F. 602.998.8888



PROJECT NO. _____
 SHEET NO. _____
 DATE TITLED _____
 DATE CONCEPT _____
 DATE U.S. PLAN _____
 SHEET NO. _____
 1 OF 1



STATE ROUTE LOOP 202
 SCALE 1"=30'-0"
 0 15 30 60

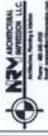
CONCEPTUAL PLANTING PLAN

- 1 GAL EA
 - 1 GAL @ 3' O.C.
 - 1 GAL @ 3' O.C.
 - 1 GAL @ 3' O.C.
 - 2' THICK TYP.
 - SOD
- GROUND COVER
 TURPENTINE BUSH
 LANTANA 'NEW GOLD'
 'NEW GOLD' LANTANA
 ROSMARINUS 'H. CARPET'
 HUNTINGTON CARPET ROSEMARY
 RUELLIA 'KATIE'
 'KATIE' RUELLIA
 3/8" MINUS EXPRESS GOLD
 DECOMPOSED GRANITE
 MID-ROCK HYBRID
 SOD

- PROPOSED PLANT LIST
- | TREES | SHRUBS | SIZE COMMENTS |
|--------------------------|--------------------------|---------------|
| PROSPERIS COOPERI | CAESALPINIA MEXICANA | 5 GAL |
| COOPERI MESQUITE | MEXICAN BIRD OF PARADISE | 5 GAL |
| CERCONIA DESERT MUSEUM | AGAVE SPECIES | 5 GAL |
| DESERT MUSEUM PALO VERDE | LEUCOPHYLLUM LANKANIANE | 5 GAL |
| DALBERGIA SISSOO | 'RIO BRAVO' SAGE | 5 GAL |
| DALBERGIA | JUSTITIA CALIFORNICA | 5 GAL |
| CHILOPSIS LINARIIS 'XT' | CHILPAROSIA | 5 GAL |
| 'ACT' DESERT WILLOW | SAMONOGIA CHENSIS | 5 GAL |
| JOUBARA | JOUBARA | 5 GAL |
| HEPERALICE PARYFLORA | HEPERALICE PARYFLORA | 5 GAL |
| RED YUCCA | RED YUCCA | 5 GAL |
| RUELLIA PENNSYLVANICA | RUELLIA PENNSYLVANICA | 5 GAL |
| BUA RUELLIA | BUA RUELLIA | 5 GAL |
| MYRTUS 'COMPACTA' | MYRTUS 'COMPACTA' | 5 GAL |
| COMPACT MYRTLE | COMPACT MYRTLE | 5 GAL |

GENERAL NOTES

1. ALL PLANTING AREAS TO HAVE DECOMPOSED GRANITE EXPRESS GOLD. 3/8" MINUS 2" THICK TYP.
2. GRANITE EXPRESS GOLD APPLIED OVER PRE-EMERGENT ALL WEEDER TO BE CONCRETE, CREATIVE CURB OR EQUAL.
3. ALL TREES IN TURF AREAS ARE TO HAVE ANBOR GUARDS.
4. ALL TURF TO BE MID-ROCK HYBRID SOD.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
1000 W. CHANDLER RD.
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012
DATE: 04-23-2013

DRAWING TITLE
BUILDING TYPE 1 -
1ST & 2ND FLOOR
PLANS

SHEET NO.
A3.1.1

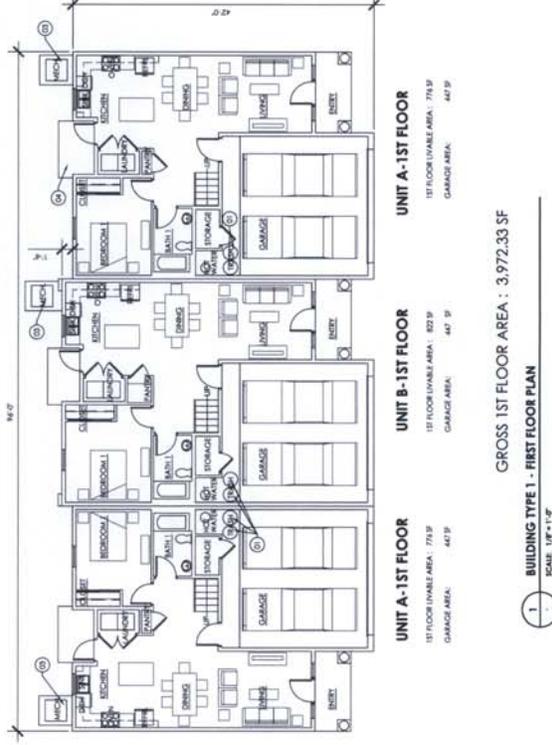
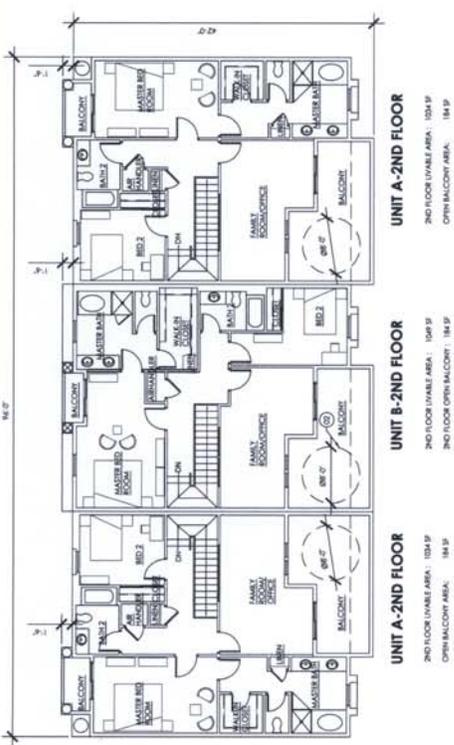
C.C.C. LOG NO. PRE-12-0032

- GENERAL NOTES:**
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS WITH FINISH TO MATCH THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL BE CONSTRUCTED TO MATCH THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SIGN REQUIRES SEPARATE PERMIT.
 - BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS, MATERIAL AND COLOR SAMPLES TO BE PROVIDED AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

- ARCHITECTURAL NOTES:**
- EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
 - EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
 - STONE VENEER, DECORATIVE FINISHES, CORNICES, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
 - WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOST OF WINDOWS ARE RECESSED.
 - ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
 - ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
 - ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
 - SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
 - MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

- NOTES:**
- BUILDING OCCUPANCY:**
 GROUP: R-2 DWELLING
 U PRIVATE GARAGE
- CONSTRUCTION CLASSIFICATION:**
 V-8 WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

- KEY NOTES:**
- TRASH CONTAINER AND RECYCLE CONTAINER.
 - CRACK REPAIRS REQUIRED
 - MECHANICAL EQUIPMENT (GROUND MOUNTED)
 - CONCRETE SLAB ON GRADE.





CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
 P.O. BOX 12923
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION.
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1

SHEET NO.

A3.1.2

C O C LOG NO. PRE-12-0032

GENERAL NOTE:

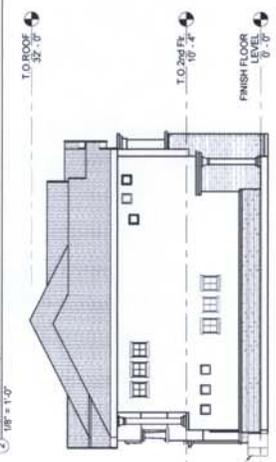
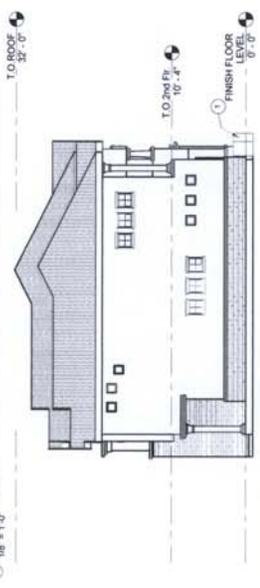
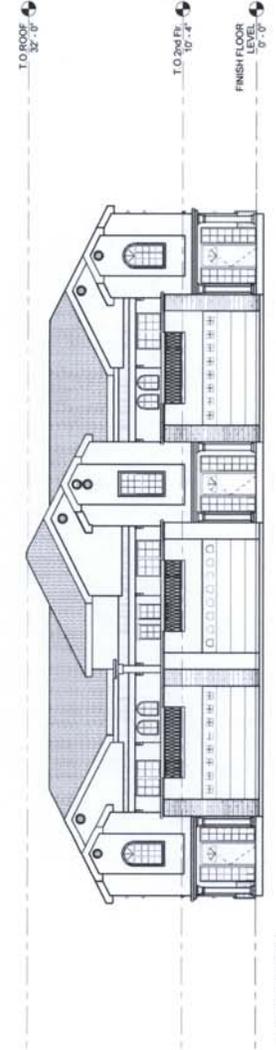
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY A SCREEN WITH A HEIGHT OF NOT LESS THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GLAZES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL BE SUBMITTED TO THE CITY AND COLOR SAMPLES SHALL BE SUBMITTED AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES:

1. EXTERIOR WALLS SHALL BE 7/8" RFD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
3. STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, CORNICES AND FINISHING ARE ADDED TO ENHANCE AESTHETIC.
4. WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOST OF WINDOWS ARE RECESSED.
5. ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
8. SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

KEY NOTES:

1. MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED AND SHALL BE PLACED AT PRIVATE BACKYARD.

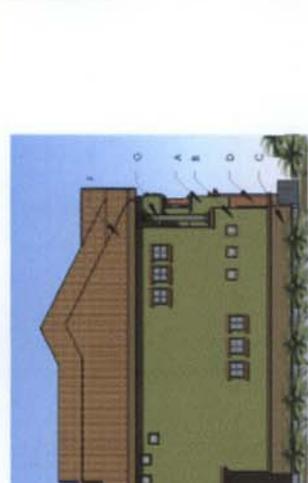




1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "a"

MARKET COLOR	COLOR NUMBER/NAME	SURFACE
A	SW 407 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	SW 418 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	TO BE DETERMINED	STONE VENEER
D	SW 403 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	SW 430 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	MANUFACTURER: US TILE OR WESTLE	ROOF TILE
G	SW 470 SHERWIN-WILLIAMS	COLUMNS & GARAGE DOOR
H	BANANA CREAM SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

NEM ARCHITECTURAL
NEM ARCHITECTURAL, LLC
1000 W. GILBERT AVENUE
SUITE 100
CHANDLER, AZ 85224

MUMTAZ GATED COMMUNITY
South - East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
MAE HOMES
MAE ENTERPRISE LLC
P.O. BOX 12703
CHANDLER, AZ 85246

CITY REVIEW SET

PROJECT NO. 10-2012

DATE: 04-22-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
"a"

SHEET NO.
A3.1.2 - a

C.O.C. LOG NO. PRE-12-0032

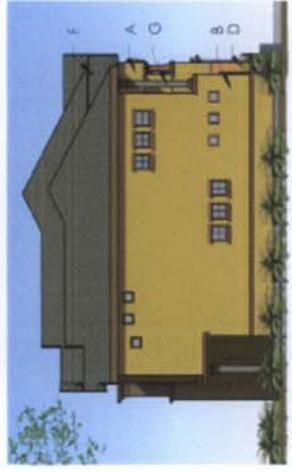
REGISTERED ARCHITECT
CERTIFICATE NO.
32254
NASREEN RAHMAN
MOLLA
Date Registered
ARIZONA
U.S.A.

Nasreen Rahman

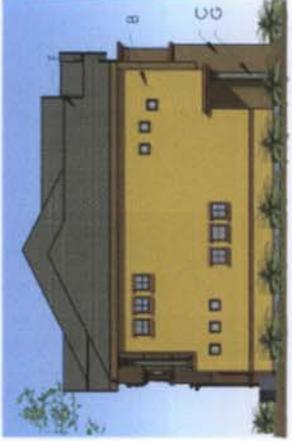
EXPIRES 03/31/2016



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "b"

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
G	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
H	[Light Yellow]	SW 4417 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL

GENERAL NOTES:

1. ALL ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

NSM ARCHITECTURAL
ARCHITECTURE, PLANNING & INTERIOR DESIGN
1000 W. GILBERT AVENUE, SUITE 100
CHANDLER, AZ 85224
PH: 480.948.1111
WWW.NSMARCHITECTURAL.COM

CLIENT:
MARK HOMES
MARKS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 100-2012

DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
"b"

SHEET NO. **A3.1.2-b**

C.O.C. LOG NO. PRE12-0032

REGISTERED ARCHITECT
CERTIFICATE NO. 32254
NASREEN RAHMAN
MOLLA
Date Expires 04/23/13
ARIZONA USA

Nasreen Rahman

EXPIRES 03/31/2016



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
 1400 W. MCQUEEN RD.
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CITY REVIEW SET
 PROJECT NO. 103-2012
 DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 1
COLOR SCHEME
 "C"

SHEET NO.
A3.1.2-C

C.O.C. LOG NO. PRE12-0032



Nasreen Rahman Molla
 EXPRES 03/31/2016

EXTERIOR COLOR SCHEME "C"

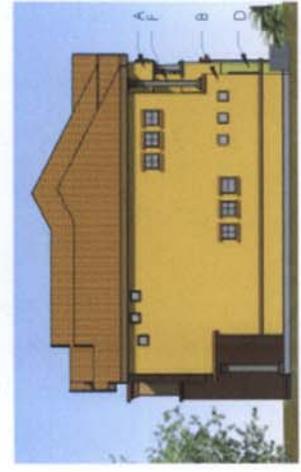
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Brown]	FOXY SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Yellow]	CERAMONAL GOLD SW 6382 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Green]	RURAL GREEN SW 6418 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Light Green]	RICE PADDY SW 6419 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Brown Tile]	MANUFACTURER: US TILE OR WESTLE	ROOF TILE
F	[Grey]	CHATROOM SW 6171	COLUMNS GARAGE DOOR
G	[Tan]	TOTALITY TAN SW 6115	GARAGE DOOR

GENERAL NOTES:

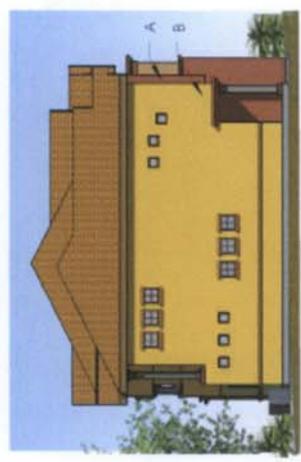
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY A SCREEN THAT IS GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION



NSV ARCHITECTURAL, LLC
 1000 N. GILBERT AVENUE, SUITE 100
 CHANDLER, AZ 85226
 PH: 480-948-8888
 FAX: 480-948-8889
 WWW.NSVARCHITECTURAL.COM

CLIENT:
MAAS HOMES
 MAAS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85246

PROJECT NO. 103-2012
DATE: 04-23-2013
DRAWING TITLE
BUILDING TYPE 2 -
FIRST AND 2ND
FLOOR PLAN

CITY REVIEW SET
PROJECT NO. 103-2012
DATE: 04-23-2013
DRAWING TITLE
BUILDING TYPE 2 -
FIRST AND 2ND
FLOOR PLAN
SHEET NO.
A3.2.1

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS WITH FINISH EQUAL TO OR BETTER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS WITH FINISH EQUAL TO OR BETTER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING CODES, MATERIAL AND COLOR SAMPLES SHALL BE OBTAINED AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:

- EXTERIOR WALLS SHALL BE 2x6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
- EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
- STONE VENEER, DECORATIVE FINISHES, CLAY TILE, TERRAZZO, BLINDS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
- WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOST OF WINDOWS ARE RECESSED.
- ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
- ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
- ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
- SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
- MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

KEY NOTES:

- TRASH CONTAINER AND RECYCLE
- CIRCLE INDICATES REQUIRED OPEN SPACE (TYP.)
- MECHANICAL EQUIPMENT (GROUND CONCRETE SLAB ON GRADE)
- CONCRETE SLAB ON GRADE

BUILDING INFORMATION:
BUILDING OCCUPANCY:
 GROUP: R-2 DWELLING
 U PRIVATE GARAGE
CONSTRUCTION CLASSIFICATION:
 V-8 WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES:

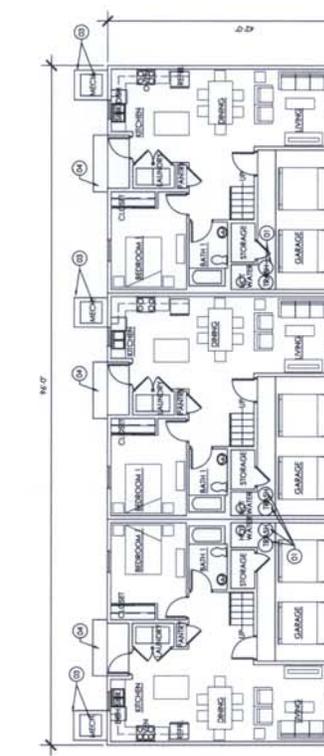
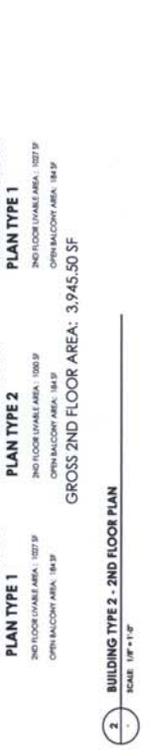
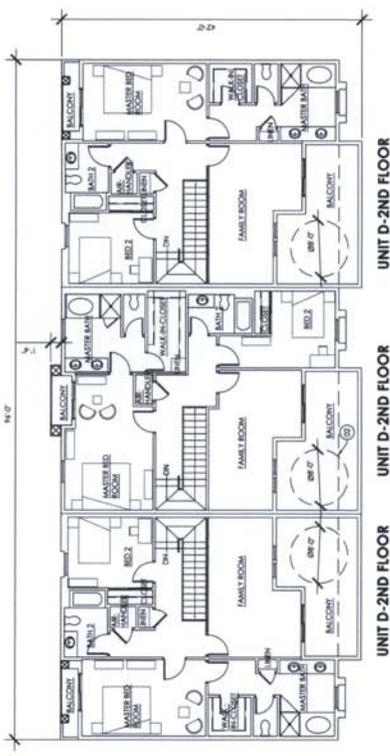
- TRASH CONTAINER AND RECYCLE
- CIRCLE INDICATES REQUIRED OPEN SPACE (TYP.)
- MECHANICAL EQUIPMENT (GROUND CONCRETE SLAB ON GRADE)
- CONCRETE SLAB ON GRADE

ARCHITECTURAL NOTES:

- EXTERIOR WALLS SHALL BE 2x6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
- EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
- STONE VENEER, DECORATIVE FINISHES, CLAY TILE, TERRAZZO, BLINDS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
- WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOST OF WINDOWS ARE RECESSED.
- ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
- ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
- ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
- SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
- MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS WITH FINISH EQUAL TO OR BETTER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS WITH FINISH EQUAL TO OR BETTER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING CODES, MATERIAL AND COLOR SAMPLES SHALL BE OBTAINED AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

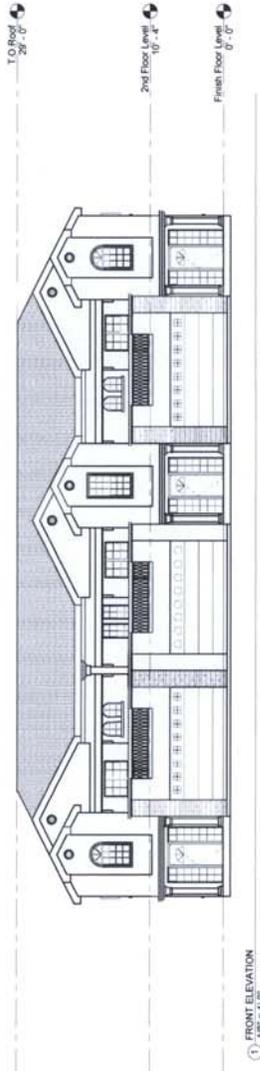


2 BUILDING TYPE 2 - 2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

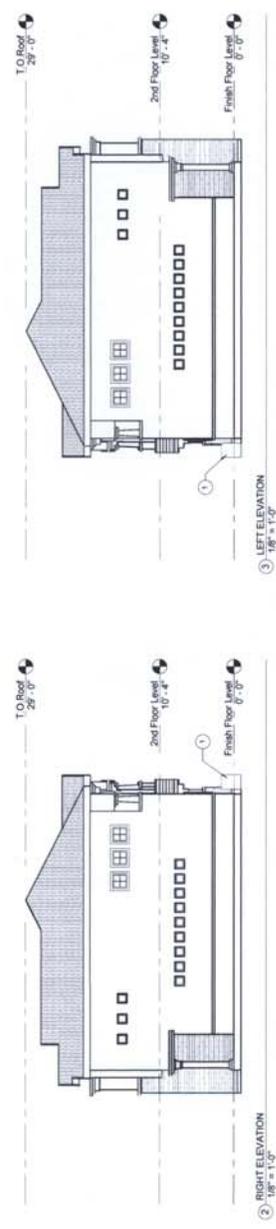
1 BUILDING TYPE 2 - FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

1 BUILDING TYPE 2 - FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

C.C.C. LOG NO. PRE12-0032



1 FRONT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

3 LEFT ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE LOCATED AT LEAST 10 FEET ABOVE PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES:

- EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
- EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
- STORE VENEER, DECORATIVE BANDS, CORNICES, ENTICEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
- WINDOWS ARE TREATED WITH SHADING DEVICES. MOST OF WINDOWS ARE RECESSED.
- ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
- ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
- ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
- SCREENED BACKYARD IS PROVIDE TO INCREASE PRIVACY.
- MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

KEY NOTES: (X)

- MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED AND SHALL BE PLACED AT PRIVATE BACKYARD.

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



NOT FOR CONSTRUCTION
PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2

SHEET NO.

A3.2.2

C O C LOG NO. PRE-12-0032



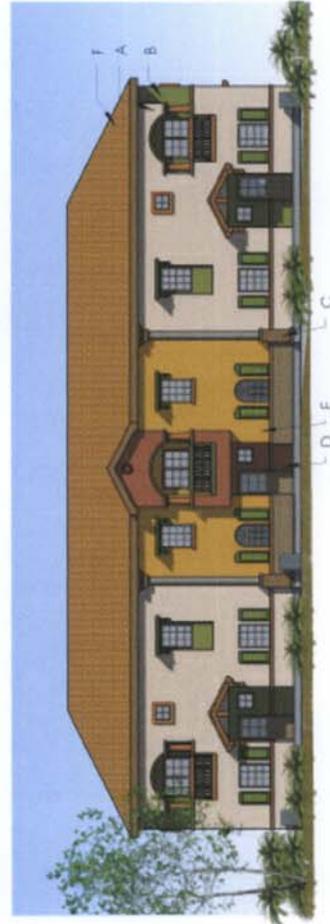
1 FRONT ELEVATION



3 LEFT ELEVATION



2 RIGHT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "a"

MARKS	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Light Brown]	BUSHING [SW 4617] SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Green]	SHUTTERS [SW 4141] SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Dark Green]	TO BE DETERMINED	SHUTTER VENEER
D	[Brown]	ROOF [SW 4633] SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Yellow]	COLONN RILE [SW 4580] SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
F	[Dark Green]	WOOD FINISH: US TULIP PANELS	ROOF TILE
G	[Grey]	CHAIRROOM [SW 4170] SHERWIN-WILLIAMS	COLUMNS & DAMAGE DOOR
H	[Yellow]	BARANY, CREAM [SW 4617] SHERWIN-WILLIAMS	DAMAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
 P.O. BOX 17703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 100-2012

DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2
COLOR SCHEME
 "a"

SHEET NO.

A3.2.2-a

C.O.C. LOG NO. PRE-12-0032



Nasreen Rahman Molla

EXPIRES 03/31/2016



CLIENT:
MAAS HOMES
MAAS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CITY REVIEW SET
 PROJECT NO. 102-2012
 DATE: 04-23-2013
 DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2
COLOR SCHEME
 "b"
 SHEET NO. **A3.2.2-b**

EXTERIOR COLOR SCHEME "b"

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	STUCCO SYSTEM ON WALL SHERWIN-WILLIAMS SW 4417	STUCCO SYSTEM ON WALL
B	[Color swatch]	GLUEY GOLD SHERWIN-WILLIAMS SW 4417	STUCCO SYSTEM ON WALL
C	[Color swatch]	EMERALD BRONZE SHERWIN-WILLIAMS SW 4412	STUCCO SYSTEM ON WALL
D	[Color swatch]	GLUEY GOLD SHERWIN-WILLIAMS SW 4417	STUCCO SYSTEM ON WALL
E	[Color swatch]	POKY SHERWIN-WILLIAMS SW 6333	STUCCO SYSTEM ON WALL
F	[Color swatch]	MANUFACTURER: US TILE OR WESTLE	ROOF TILE
G	[Color swatch]	CHATELAIN SHERWIN-WILLIAMS SW 6115	COLUMNS DOOR GARAGE DOOR
H	[Color swatch]	FORREST HAN SHERWIN-WILLIAMS SW 6115	COLUMNS DOOR GARAGE DOOR

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLES SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION



Nasreen Rahman Molla
 REGISTERED ARCHITECT
 NO. 32254
 NASREEN RAHMAN
 MOLLA
 STATE OF ARIZONA
 EXPIRES 03/31/2016

C.O.C. LOG NO. PRE12-0032



CLIENT:
MAKS HOMES
MAKS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

EXTERIOR COLOR SCHEME "C"

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Brown]	FOYI SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Yellow]	CERAMONAL GOLD SW 6382 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Green]	RURAL GREEN SW 6114 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Light Green]	RICE PADDY SW 6414 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Brown Tile]	MANUFACTURER, US TILE OR WESTLE	ROOF TILE
F	[Grey]	CHARCOAL SW 6171	COLUMNS GARAGE DOOR
G	[Dark Brown]	TOTALLY TAN SW 6115	GARAGE DOOR

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HEIGHT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING MATERIALS AND COLOR MATCHING TO BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



1 FRONT ELEVATION



3 LEFT ELEVATION



2 RIGHT ELEVATION



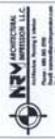
4 REAR ELEVATION

C.O.C. LOG NO. PRE12-0032



REGISTERED ARCHITECT
 CERTIFICATE NO. 32254
 NASREEN RAHMAN
 MOLLA
 Date of Birth: 02/27/73
 ARIZONA USA
Nasreen Rahman
 SHEET NO. A3.2.2-C
 EXPIRES 03/31/2016

CITY REVIEW SET
 PROJECT NO. 103-2012
 DATE: 04-23-2013
 DRAWING TITLE
ELEVATIONS
 BUILDING TYPE 2
 COLOR SCHEME
 "C"
 SHEET NO. A3.2.2-C



MAKS HOMES
MAKS ENTERPRISES LLC
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET
PROJECT NO. 103-2012
DATE: 04-23-2013
DRAWING TITLE ELEVATIONS BUILDING TYPE 3
SHEET NO. A3.3.2

C O C LOG NO PRE-12-0032

GENERAL NOTES:

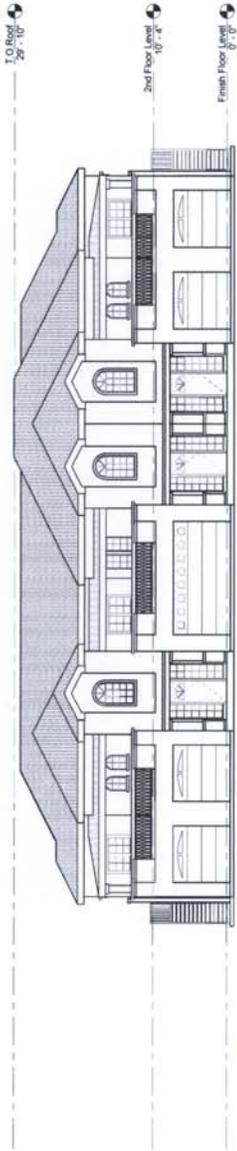
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY A SCREEN WITH A SCREEN HEIGHT GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES SHALL BE CONSTRUCTED TO THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL BE SELECTIONS THAT ARE AVAILABLE TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES:

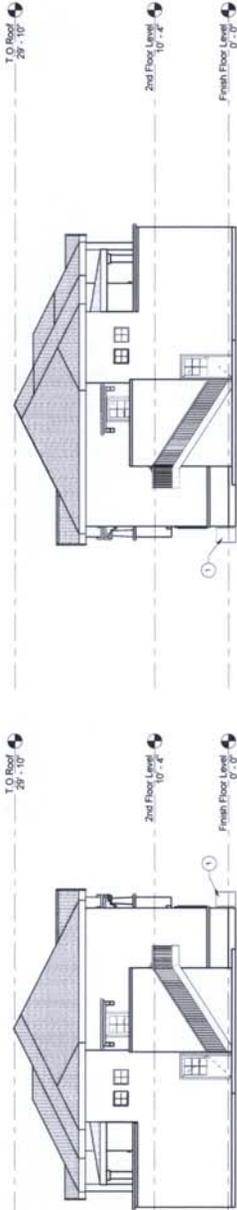
1. EXTERIOR WALLS SHALL BE 2X4 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
3. STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
4. WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOST OF WINDOWS ARE RECESSED.
5. ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
8. SCREENED BACKYARD IS PROVIDE TO PRODUCE PRIVACY.
9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

KEY NOTES:

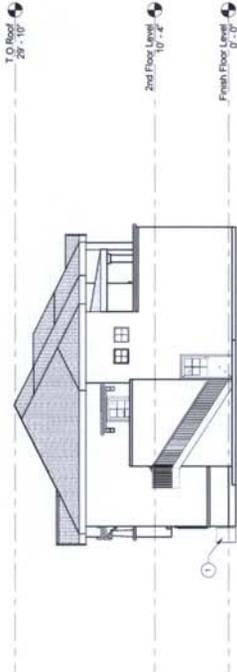
1. MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED AND SHALL BE PLACED AT PRIVATE BACKYARD.



① FRONT ELEVATION
1/8" = 1'-0"



② RIGHT ELEVATION
1/8" = 1'-0"



③ LEFT ELEVATION
1/8" = 1'-0"



④ REAR ELEVATION
1/8" = 1'-0"



CLIENT:
MAAS HOMES
MAAS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

EXTERIOR COLOR SCHEME "d"

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Green]	RURAL GREEN SW 6418 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Orange]	FOLKSY GOLD SW 6360 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Brown]	SOYI SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
D	[Yellow]	GOLDEN RULE SW 6383 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Dark Green]	MANUFACTURER: US TILE OR WEATHER	ROOF TILE
F	[Grey]	CHAIRROOM SW 6171 SHERWIN-WILLIAMS	COLUMNS & GARAGE DOOR
G	[Light Yellow]	BAKANA CREAM SW 6673 SHERWIN WILLIAMS	GARAGE DOOR



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

GENERAL NOTES:

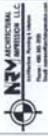
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

CITY REVIEW SET
 PROJECT NO. 192-2012
 DATE: 04-23-2013
 DRAWING TITLE
ELEVATIONS
BUILDING TYPE 3
"d" COLOR SCHEME
 SHEET NO. **A3.3.2-d**



Nasreen Rahman Molla
 EXPIRES 03/31/2016

C.O.C. LOG NO. PRE-12-0032



CLIENT:
MMS HOMES
MMS ENTERPRISES LLC
 1000 W. GILBERT AVENUE
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

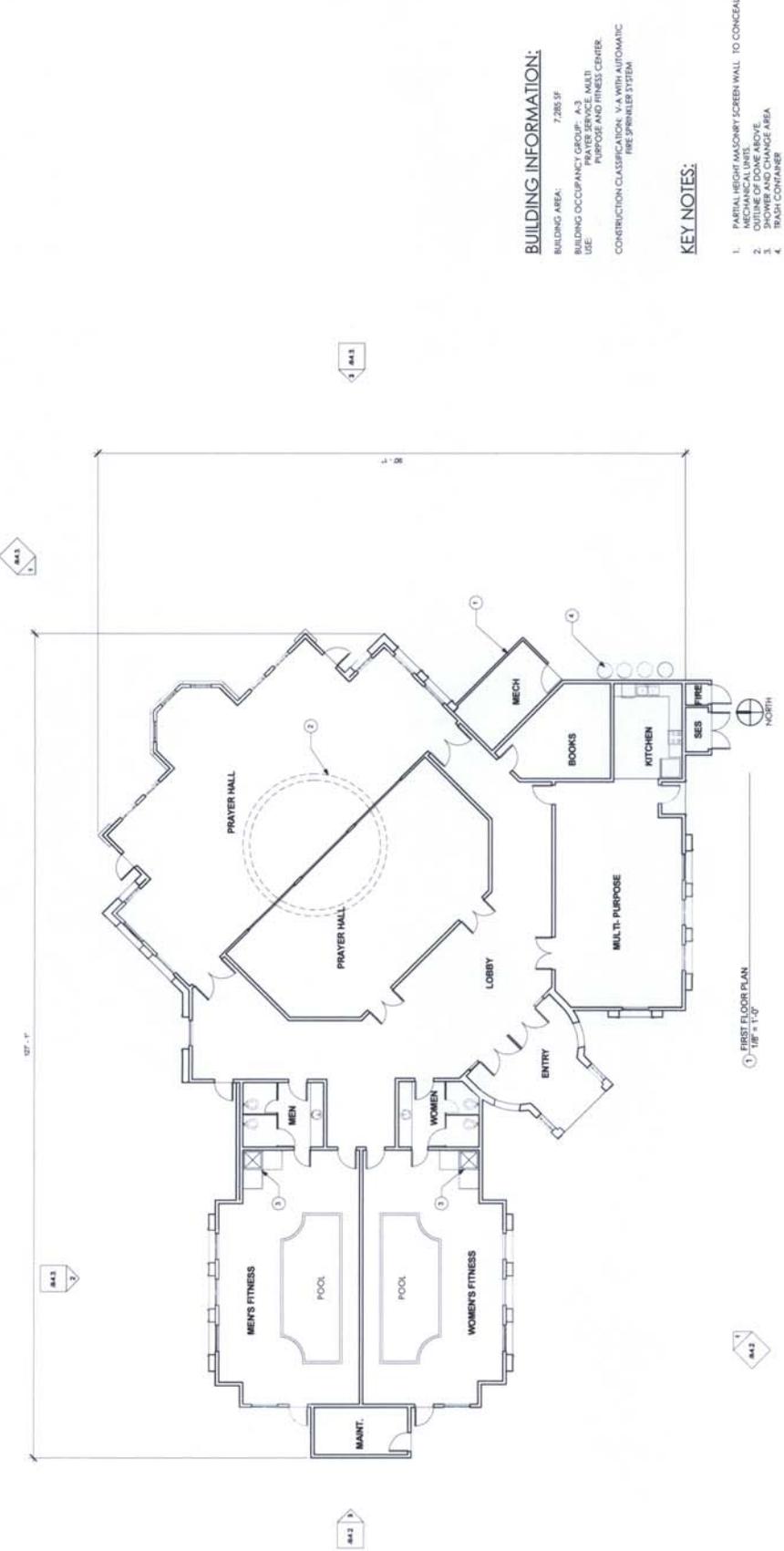
DATE: 04-23-2013

DRAWING TITLE
FLOOR PLAN
 COMMUNITY BUILDING

SHEET NO.

A4.1

C.O.C. LOG NO. PRE-12-0032



BUILDING INFORMATION:

BUILDING AREA: 7,285 SF
BUILDING OCCUPANCY GROUP: A-3
USE: PRAYER SERVICE MULTI-PURPOSE AND FITNESS CENTER
CONSTRUCTION CLASSIFICATION: V-A WITH AUTOMATIC FIRE SPRINKLER SYSTEM

KEY NOTES:

1. PARTIAL HEIGHT MASONRY SCREEN WALL TO CONCEAL MECHANICAL EQUIPMENT
2. OUTLINE OF DOOR ABOVE
3. SHOWER AND CHANGE AREA
4. TRASH CONTAINER

1. FIRST FLOOR PLAN
 1/8" = 1'-0"



CLIENT:
MAAS HOMES
 MAAS ENTERPRISES LLC
 10000 W. BUCKLEBOURNE
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



EXPIRES 03/31/2012
NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

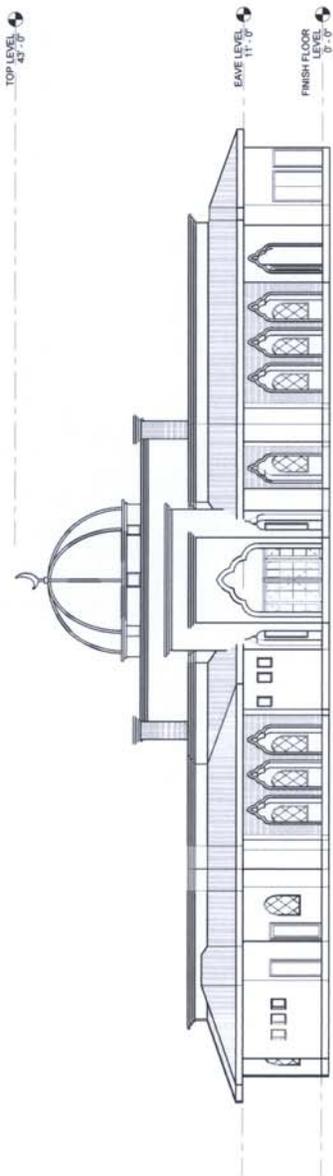
PROJECT NO. 103-2012
 DATE: 04-23-2013

ELEVATIONS

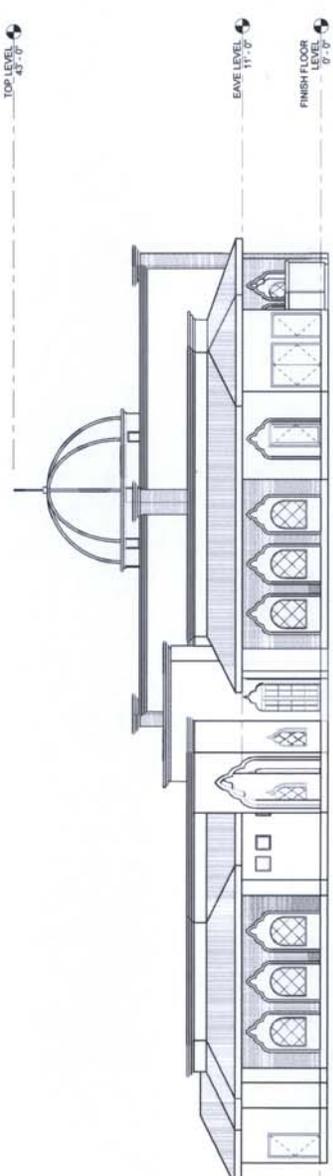
SHEET NO.

A4.2

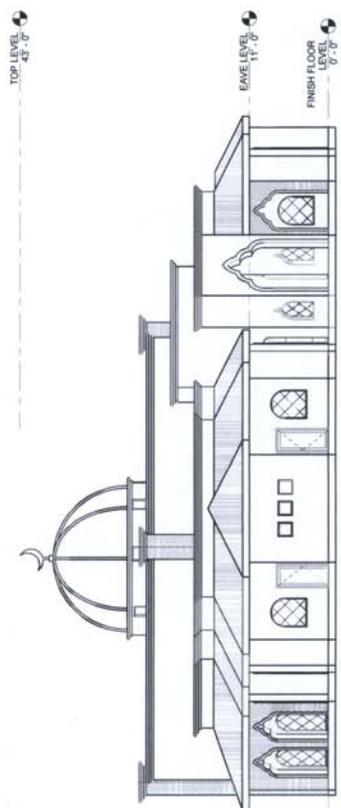
C O C LOG NO. PRE-12-0032



① SOUTH-WEST ENTRY ELEVATION
 1/8" = 1'-0"



② SOUTH ELEVATION
 1/8" = 1'-0"



③ WEST ELEVATION
 1/8" = 1'-0"

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE INSTALLED AT LEAST 12" ABOVE THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL CEILING MOUNTED MECHANICAL EQUIPMENT SHALL BE LOCATED BY SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDING MATERIALS AND COLORS SAMPLE SHALL BE PROVIDED TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTES.
4. SICH REQUIRES SEPARATE PERMIT.

ARCHITECTURAL GENERAL NOTES:

1. EXTERIOR WALLS TO BE METAL FRAME CONSTRUCTION WITH EXTERIOR BRUCCO SYSTEM.
2. BRICK VENEER ROOF CROWN MOLDING AND FOAM POP-OUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLAZES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING WITH INSULATION AND FINISH WITH BRUCCO SYSTEM. ORNAMENTAL PANTED METAL RB ARE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON GROUND MOUNTED.
6. PARTIAL HEIGHT MASONRY SCREEN WALL AT GROUND LEVEL IS PROVIDED TO SCREEN MECHANICAL EQUIPMENT.

KEY NOTES:

1. PARTIAL HEIGHT MASONRY SCREEN WALL TO CONCEAL MECHANICAL UNITS.



CLIENT:
MAAS HOMES
MAAS ENTERPRISES LLC
 10000 W. McDowell Blvd., Suite 100
 SAN RAMON, CA 94583
 CHANDLER, AZ 85248

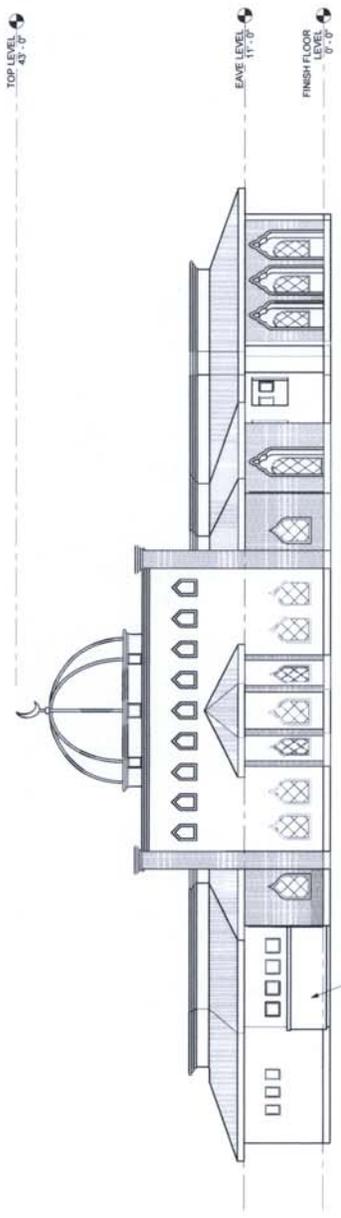
MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



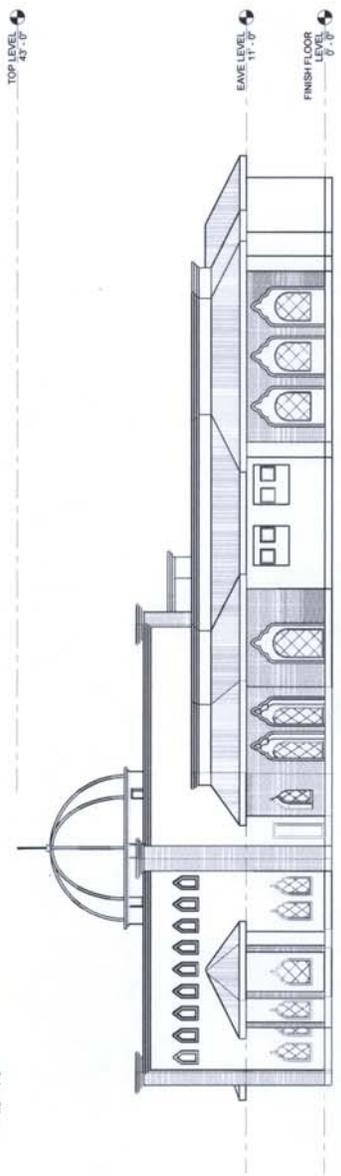
NOT FOR CONSTRUCTION
 PRELIMINARY
 CITY REVIEW SET

PROJECT NO. 103-2012
 DATE: 04-23-2013
 DRAWING TITLE
ELEVATIONS

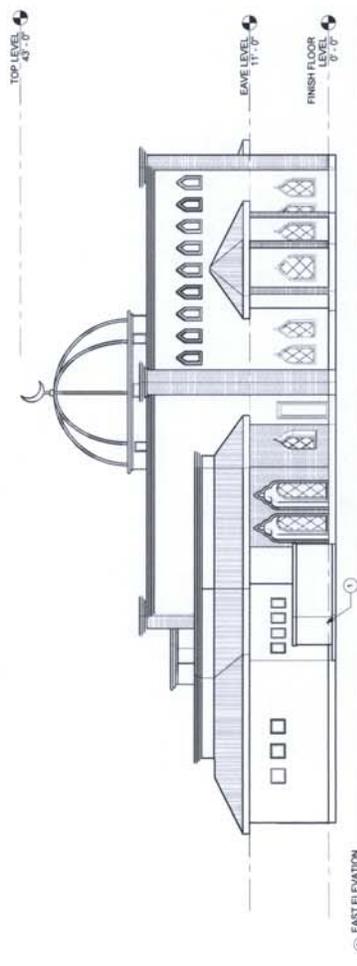
C.O.C. LOG NO. PRE-12-0032
 SHEET NO.
A4.3



1. NORTH-EAST ELEVATION
 1/8" = 1'-0"



2. NORTH ELEVATION
 1/8" = 1'-0"



3. EAST ELEVATION
 1/8" = 1'-0"

GENERAL NOTES:

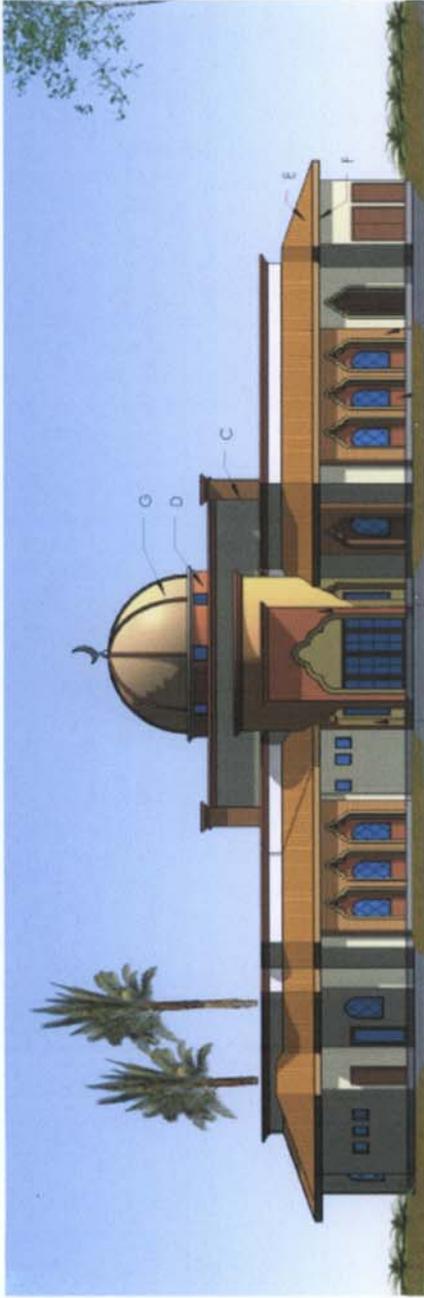
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE INSTALLED AT LEAST 12" ABOVE THE MECHANICAL EQUIPMENT THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE AT LEAST 12" ABOVE THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDING MATERIALS AND COLORS SAMPLE SHALL BE PROVIDED TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTES.
4. SIGN REQUIRES SEPARATE PERMIT.

ARCHITECTURAL GENERAL NOTES:

1. EXTERIOR WALLS TO BE METAL FRAME CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
2. BRICK VENEER, ROOF CROWN MOLDING AND FOAM POP-OUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLAZES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING WITH STUCCO SYSTEM. STUCCO SHALL BE FINISHED WITH AN ORIGINAL PAINTED METAL ROOF BE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON GROUND MOUNTED.
6. PARTIAL HEIGHT MASONRY SCREEN WALL AT GROUND LEVEL IS PROVIDED TO SCREEN MECHANICAL EQUIPMENT.

KEY NOTES:

1. PARTIAL HEIGHT MASONRY SCREEN WALL TO CONCEAL MECHANICAL UNITS.



1 SOUTH-WEST ELEVATION (ENTRY VIEW)
scheme e



2 SOUTH ELEVATION-scheme e

**EXTERIOR COLOR SCHEME "e"
FOR MOSQUE**

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Yellow]	BANANA CREAM SW 6673 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
B	[Orange]	TOULS GOLD SW 6673 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
C	[Brown]	BRICK VENEER MANUFACTURER TO BE VENEER DETERMINED	BRICK VENEER
D	[Dark Brown]	FOXY SW 6333 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
E	[Light Brown]	MANUFACTURER US TILE OR WESTLE	ROOF TILE
F	[Dark Brown]	TOASTY SHERWIN WILLIAMS	ROOF FASCIA
G	[Light Brown]	COPPER CLADDING OR PAINT OR STUCCO	DOMES

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDINGS, MATERIALS AND COLORS SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING DEPARTMENT. MATERIALS AND PAINT SAMPLES AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTE.

ARCHITECTURAL GENERAL NOTES:

1. EXTERIOR WALLS TO BE METAL FRAME CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
2. BRICK VENEER, ROOF CROWN MOLDINGS AND FOAM POPOUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLASSES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT WEIGHT METAL FRAMING WITH COPPER CLADDING OR TO BE PAINTED ON STUCCO SYSTEM ORNAMENTAL PAINTED METAL RIS ARE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON GROUND MOUNTED.
6. PARAPET HEIGHT MASONRY SCREEN WALL AT GROUND LEVEL IS PROVIDED TO SCREEN MECHANICAL EQUIPMENT.



CLIENT:
MAAS HOMES
MAAS ENTERPRISES LLC
10000 W. MCQUEEN RD.
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 04-23-2013

DRAWING TITLE
ELEVATIONS

SHEET NO.

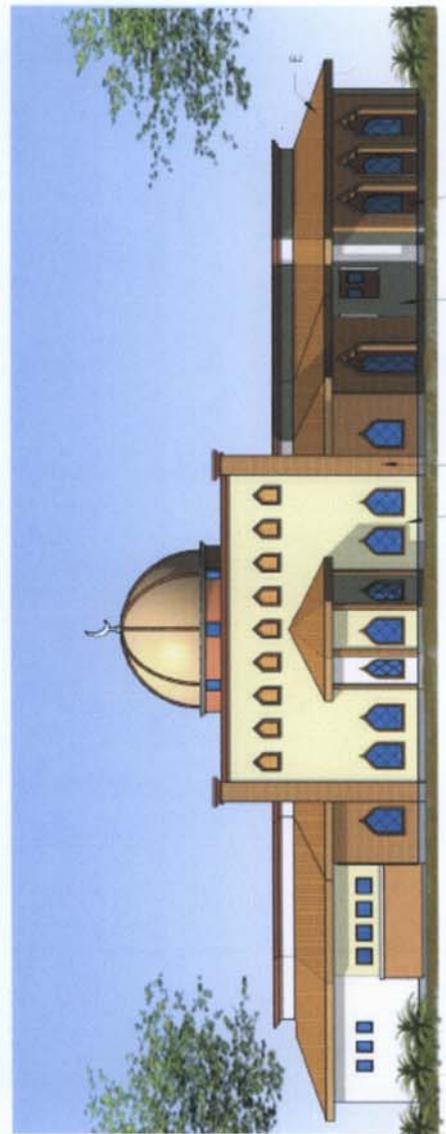
A4.4-e

C.O.C. LOG NO. PRE12-0032



Nasreen Molla

EXPIRES 03/31/2016



1 NORTH-EAST ELEVATION-scheme e



2 NORTH ELEVATION - scheme e

EXTERIOR COLOR SCHEME "e" FOR MOSQUE

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Yellow]	MANANA CREAM SW 4673 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
B	[Orange]	WISKEY GOLD SW 5041 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
C	[Brown]	BRICK VENEER MANUFACTURER: TO BE DETERMINED	BRICK
D	[Dark Brown]	FOXY SW 4333 SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
E	[Dark Brown]	MANUFACTURER: US TILE OR WETILE	ROOF TILE
F	[Dark Brown]	TOASTY SHERWIN WILLIAMS	ROOF FACIA
G	[Light Brown]	CONCRETE CLADDING OR PAINT ON STUCCO	DOMES

GENERAL NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY BY 5% FROM THE SAMPLES PROVIDED. ALL MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTE.

ARCHITECTURAL GENERAL NOTES:

1. EXTERIOR WALLS TO BE METAL FRAME CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
2. BRICK VENEER, ROOF CROWN MOLDING AND FOAM POPOUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLASSES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING AND STUCCO FINISH. ALL MECHANICAL EQUIPMENT TO BE PLACED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON GROUND MOUNTED.
6. PARTIAL HEIGHT MASONRY SCREEN WALL AT GROUND LEVEL IS PROVIDED TO SCREEN MECHANICAL EQUIPMENT.

ARCHITECTURAL CONSULTANTS
MARKS HOMES
 MARKS ENTERPRISES LLC
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CITY REVIEW SET
 PROJECT NO. 193-2012
 DATE: 04-23-2013
DRAWING TITLE
ELEVATIONS
 SHEET NO. **A4.5-e**

C.O.C. LOG NO. PRE12-0032

REGISTERED ARCHITECT
 CERTIFICATE NO. 32254
 NASREEN RAHMAN MOLLA
 ARIZONA, USA
 Date: 5/18/2016

Nasreen Molli
 EXPIRES 03/31/2016



CLIENT:
MAAS HOMES
 1405 W. WILLOW BLVD
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

**EXTERIOR COLOR SCHEME "e"
 FOR MOSQUE**

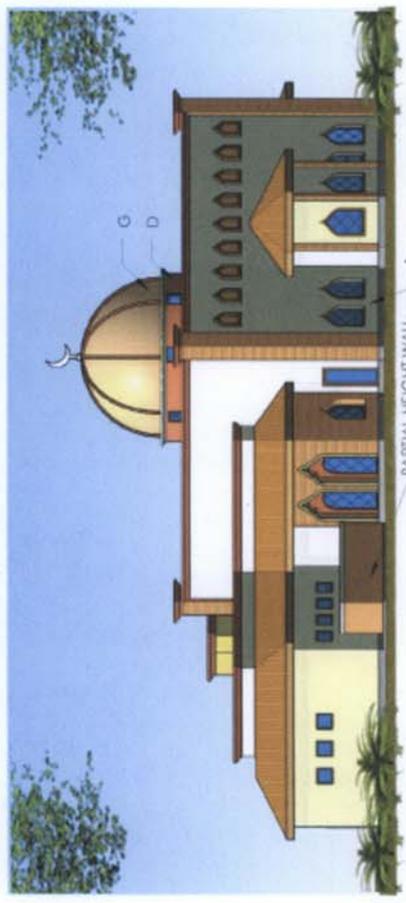
MARK	COLOR	COLOR NAME/NAME	SURFACE
A	[Yellow]	BAHAMA CREAM SW 6673 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Orange]	WISLET GOLD SW 6504 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
C	[Brown]	BRICK VENEER MANUFACTURER: TO BE DETERMINED	BRICK
D	[Dark Brown]	FOXY SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
E	[Dark Brown]	MANUFACTURER: US FILE OR WESTLE	ROOF FILE
F	[Dark Brown]	TOAST SW 6505 SHERWIN-WILLIAMS	ROOF PAISIA
G	[Light Brown]	COPPER CLADDING OR PAINT ON STUCCO	DOME

GENERAL NOTES:

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GABLES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIALS AND COLORS SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTE.

ARCHITECTURAL GENERAL NOTES:

- EXTERIOR WALLS TO BE METAL FRAME CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
- BRICK VENEER, ROOF CROWN HOLDING AND FOAM POPOUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
- ALL GLASSES ARE TEMPERED INSULATED GLASS.
- DOMES TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING WITH COPPER CLADDING OR TO BE PAINTED ON STUCCO SYSTEM ORNAMENTAL PAINTED METAL RIS ARE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
- ALL MECHANICAL EQUIPMENTS ARE ON GROUND MOUNTED.
- PARTIAL HEIGHT MASONRY SCREEN WALL AT GROUND LEVEL IS PROVIDED TO SCREEN MECHANICAL EQUIPMENT.



1 EAST ELEVATION- scheme e



2 WEST ELEVATION- scheme e

CITY REVIEW SET
 PROJECT NO. 103-2012
 DATE: 04-25-2011

DRAWING TITLE
ELEVATIONS

SHEET NO.
A4.6-e

C.O.C. LOG NO. PRE12-0032



Nasreen Molla
 EXPIRES 03/31/2016



CURTIS
 JAMES HOMES
 1000 N. GILBERT
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South - East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CITY REVIEW SET
 PROJECT NO. 18-001
 DATE

DRAWING TITLE
**COLOR
 PALETTE**

SHEET NO.
A5.2

EXTERIOR WALLS

 SW 6382 Ceremonial Gold MANUFACTURER: SHERWIN-WILLIAMS	 SW 6332 Coral Island MANUFACTURER: SHERWIN-WILLIAMS	 SW 6904 Gusto Gold MANUFACTURER: SHERWIN-WILLIAMS	 SW 6412 Eminent Bronze MANUFACTURER: SHERWIN-WILLIAMS	 SW 6691 Glitz Gold MANUFACTURER: SHERWIN-WILLIAMS	 SW 6383 Golden Rule MANUFACTURER: SHERWIN-WILLIAMS	 SW 6333 Foxy MANUFACTURER: SHERWIN-WILLIAMS	 SW 6360 Folksy Gold MANUFACTURER: SHERWIN-WILLIAMS	 SW 6617 Blushing MANUFACTURER: SHERWIN-WILLIAMS
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EXTERIOR WALLS

 BRICK VENEER MANUFACTURER: TO BE DETERMINED	 STONE VENEER MANUFACTURER: TO BE DETERMINED	 SW 6342 Spicy Hue MANUFACTURER: SHERWIN-WILLIAMS	 METAL CLADDING OR STUCCO FINISH. MANUFACTURER: TO BE DETERMINED	 SW 6333 Foxy MANUFACTURER: SHERWIN-WILLIAMS	 SW 6673 Banana Cream MANUFACTURER: SHERWIN-WILLIAMS	 SW 6414 Rice Paddy MANUFACTURER: SHERWIN-WILLIAMS	 SW 6418 Rural Green MANUFACTURER: SHERWIN-WILLIAMS
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BASE

 METAL CLADDING OR STUCCO FINISH. MANUFACTURER: TO BE DETERMINED	 SW 6333 Foxy MANUFACTURER: SHERWIN-WILLIAMS
--	--

DOME

 METAL CLADDING OR STUCCO FINISH. MANUFACTURER: TO BE DETERMINED	 SW 6115 Totally Tan MANUFACTURER: SHERWIN-WILLIAMS
--	---

RIBS

 BRICK VENEER MANUFACTURER: TO BE DETERMINED	 STONE VENEER MANUFACTURER: TO BE DETERMINED	 SW 6342 Spicy Hue MANUFACTURER: SHERWIN-WILLIAMS
---	---	---

BRICK AND STONE VENEERS

 SW 6115 Totally Tan MANUFACTURER: SHERWIN-WILLIAMS	 SW 6673 Banana Cream MANUFACTURER: SHERWIN-WILLIAMS	 SW 6171 Chatroom MANUFACTURER: SHERWIN-WILLIAMS	 SW 6115 Totally Tan MANUFACTURER: SHERWIN-WILLIAMS	 SW 6333 Foxy MANUFACTURER: SHERWIN-WILLIAMS	 SW 6171 Chatroom MANUFACTURER: SHERWIN-WILLIAMS	 SW 6342 Spicy Hue MANUFACTURER: SHERWIN-WILLIAMS	 SW 6725 Pickle MANUFACTURER: SHERWIN-WILLIAMS
---	--	--	---	--	--	---	--

GARAGE DOORS

COLUMNS

RAILINGS

 SW 6725 Pickle MANUFACTURER: SHERWIN-WILLIAMS	 SW 6333 Foxy MANUFACTURER: SHERWIN-WILLIAMS	 SW 6342 Spicy Hue MANUFACTURER: SHERWIN-WILLIAMS	 SW 6725 Pickle MANUFACTURER: SHERWIN-WILLIAMS
--	--	---	--

ACCENTS

ROOFS

FASCIA



Nasreen Rahman Molla
 REGISTERED ARCHITECT
 32254
 NASREEN RAHMAN
 MOLLA
 Date Signed: 10/15/14
 ARIZONA USA
 EXPIRES 03/31/2016



PRELIMINARY PLAT
MUMTAZ GATED COMMUNITY
S.E.C. OF McQUEEN ROAD AND WILLIS ROAD
CHANDLER, ARIZONA

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

- SHEET INDEX**
1. PRELIMINARY PLAT COVER
 2. SECTIONS & DETAILS
 3. PRELIMINARY PLAT UTILITIES
 4. PRELIMINARY PLAT UTILITIES
 5. PRELIMINARY PLAT UTILITIES
 6. PRELIMINARY PLAT GRADING & DRAINAGE
 7. PRELIMINARY PLAT GRADING & DRAINAGE
 8. PRELIMINARY PLAT GRADING & DRAINAGE
 9. PRELIMINARY PLAT GRADING & DRAINAGE

- CONTACTS**
- OWNER:**
MANS ENTERPRISES, LLC
10000 N. 31ST AVENUE, SUITE A109
CHANDLER, ARIZONA 85248
CONTACT: JAIL AHMAD
(480) 997-2005
JAIL.AHMAD@MANS.COM
- DESIGNER:**
DESERT ENGINEERING, LLC
10000 N. 31ST AVENUE, SUITE A109
CHANDLER, ARIZONA 85248
CONTACT: DAVID KLEIN
(480) 997-2025
DAVID.KLEIN@DCLENG.COM
- SUBCONTRACTOR:**
SUPERIOR SURVEYING SERVICES, INC.
10000 N. 31ST AVENUE, SUITE A109
CHANDLER, ARIZONA 85248
CONTACT: DAVID KLEIN
(480) 997-2025
DAVID.KLEIN@DCLENG.COM

PRELIMINARY PLAT NOTES

1. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
2. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
3. THIS SUBDIVISION SHALL COMPLY WITH THE RESIDENTIAL DEVELOPMENT STANDARDS DATED MAY 23, 2002.
4. THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECORDED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

PROJECT DATA

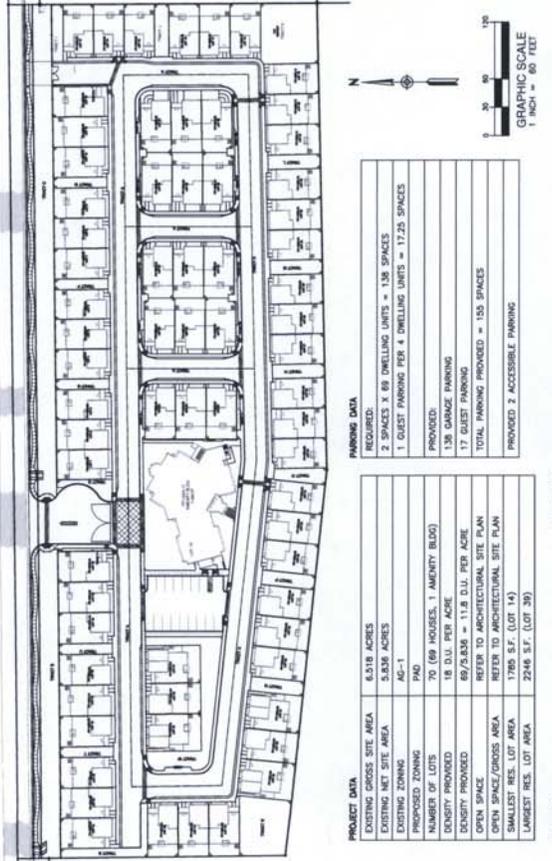
OWNER: MANS ENTERPRISES, LLC
DESIGNER: DESERT ENGINEERING, LLC
CHANDLER, ARIZONA 85248
ASSESSORS PARCEL NUMBER:
ALL OF 303-25-023C
PORTION OF 303-25-023C
SITE AREA: 243,918 SQ. FT. OR 5.518 ACRES
NET AREA: 254,225 SQ. FT. OR 5.838 ACRES

FLOODING
ACCORDING TO FIRM FLOOD INSURANCE RATE MAP, MAP NUMBER 04012C000A, DATED SEPTEMBER 10, 2009, THE SUBJECT PROPERTY IS LOCATED WITHIN AN UNDESIGNATED FLOOD HAZARD AREA. THE FLOODING DEPTHS OF LESS THAN 1 FOOT OR CHANGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOODING.

BOUNDARIES
SECTION 1, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. THE WEST BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE WEST BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. THE EAST BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE EAST BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. THE SOUTH BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE SOUTH BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. THE NORTH BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE NORTH BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA.

BASE OF RECORD
THE BASIS OF RECORD IS THE MONUMENT LINE OF WILLIS ROAD, ALSO BEING THE EAST BOUNDARY OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, AS SHOWN IN AN OWNER'S POLICY OF TITLE INSURANCE ISSUED BY SECURITY-TITLE AGENCY, POLICY NUMBER 15102571-0, DATED JULY 23, 2012.

ADJACENT PROPERTIES
TO THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA. TO THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA, IS THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST, MERIDIAN 17W, CHANDLER, ARIZONA, MARICOPA COUNTY, ARIZONA.



PARKING DATA

REQUIRED:

- 2 SPACES X 89 DWELLING UNITS = 178 SPACES
- 1 GUEST PARKING PER 4 DWELLING UNITS = 17.25 SPACES

PROVIDED:

- 138 GARAGE PARKING
- 17 GUEST PARKING

TOTAL PARKING PROVIDED = 155 SPACES

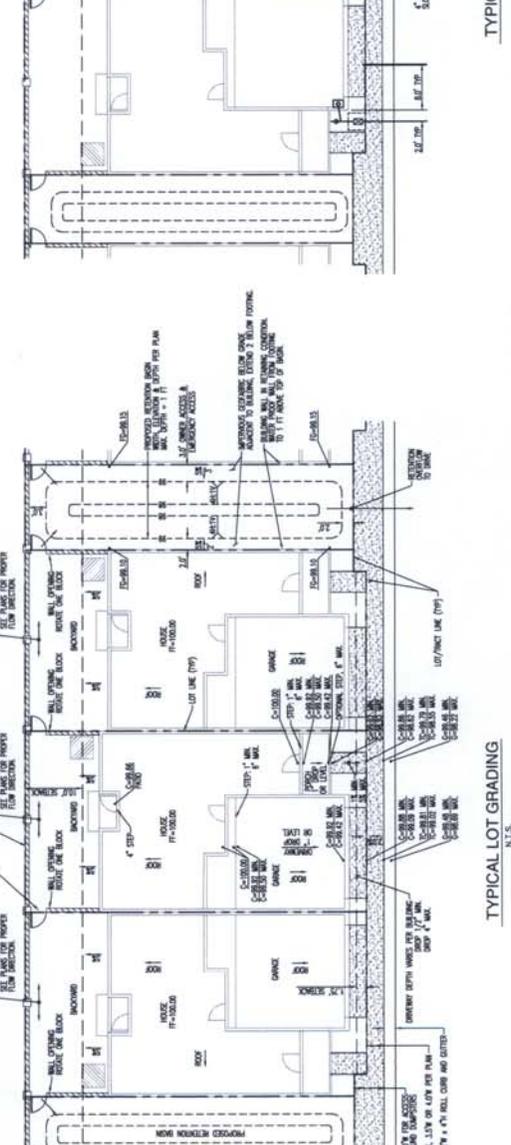
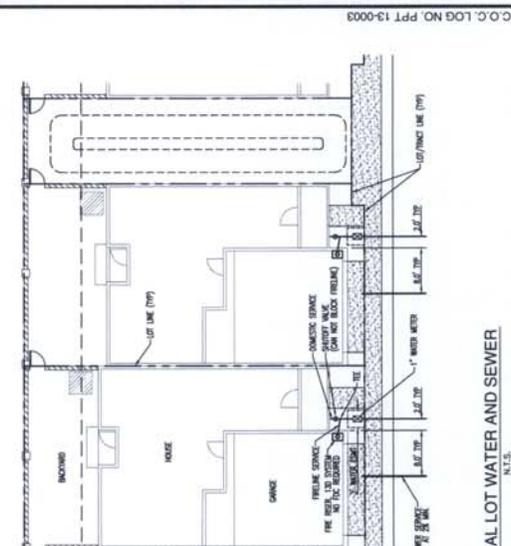
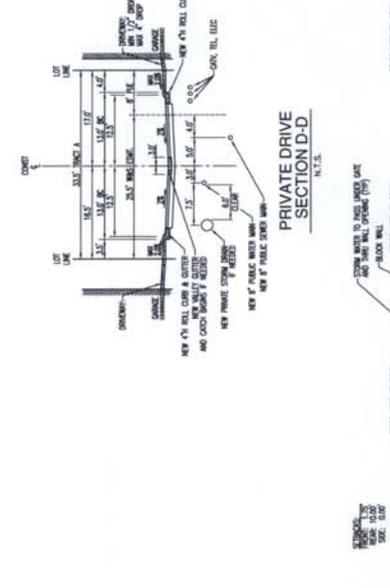
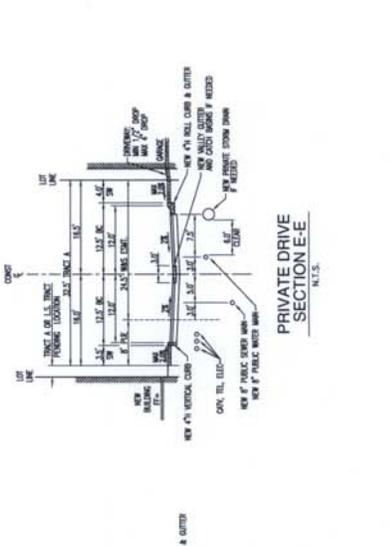
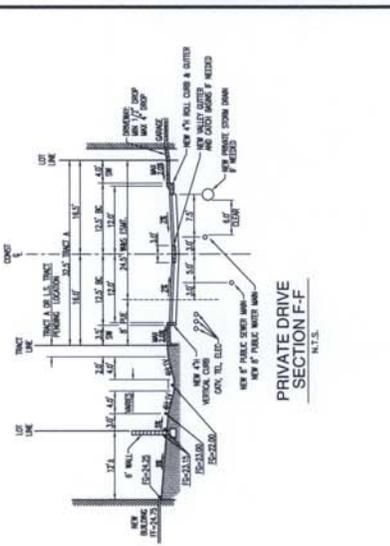
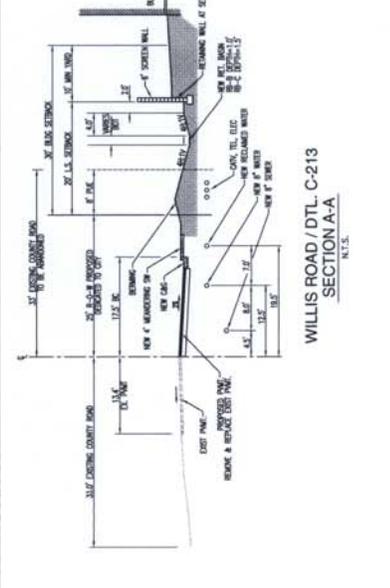
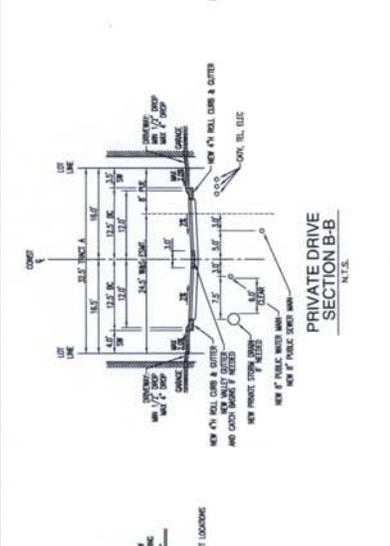
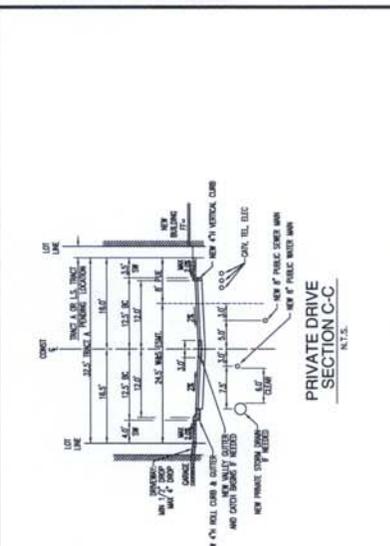
PROVIDED 2 ACCESSIBLE PARKING

TRACT TABLE

TRACT	AREA (S.F.)	AREA (AC)	LAND USE
A	71,802	1.643	PRIVATE DRIVE, MAINTENANCE & EMERGENCY VEHICLES, UTILITIES, STORM DRAIN
B	6,418	0.147	UTILITIES, LANDSCAPE, DRAINAGE, RETENTION, OPEN SPACE
C	10,388	0.235	UTILITIES, LANDSCAPE, DRAINAGE, RETENTION, OPEN SPACE
D	488	0.011	UTILITIES, LANDSCAPE, OPEN SPACE
E	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
F	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
G	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
H	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
I	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
J	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
K	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
L	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
M	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
N	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
O	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
P	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
Q	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
R	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
S	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
T	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
U	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
V	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
W	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
X	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
Y	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
Z	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
AA	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
BB	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
CC	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
DD	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
EE	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
FF	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
GG	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
HH	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
II	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
JJ	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
KK	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
LL	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
MM	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
NN	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
OO	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
PP	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
QQ	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
RR	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
SS	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
TT	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
UU	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
VV	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
WW	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
XX	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
YY	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE
ZZ	621	0.014	UTILITIES, LANDSCAPE, RETENTION, OPEN SPACE

LOT TABLE

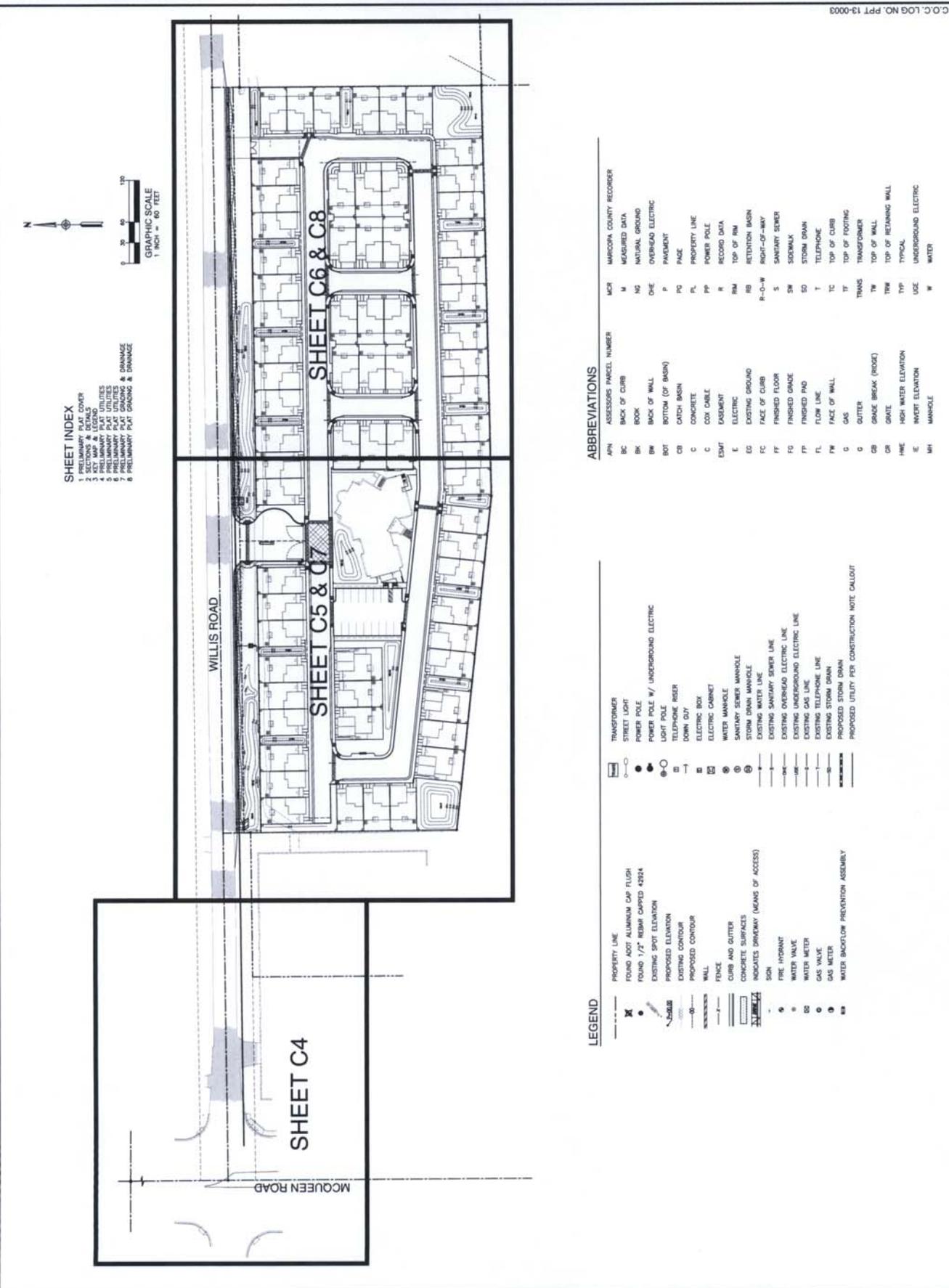
LOT	AREA (S.F.)	AREA (AC)
1	1,870	0.043
2	1,870	0.043
3	1,870	0.043
4	1,870	0.043
5	1,870	0.043
6	1,870	0.043
7	1,870	0.043
8	1,870	0.043
9	1,870	0.043
10	1,870	0.043
11	1,870	0.043
12	1,870	0.043
13	1,870	0.043
14	1,870	0.043
15	1,870	0.043
16	1,870	0.043
17	1,870	0.043
18	1,870	0.043
19	1,870	0.043
20	1,870	0.043
21	1,870	0.043
22	1,870	0.043
23	1,870	0.043
24	1,870	0.043





SCALE: N/A
 DATE: 3/25/13
 REVISIONS:
 A
 A
 A
 PROJECT NO.:
 1221

PRELIMINARY PLAT KEY MAP & LEGEND
 SHEET: 3 OF 8
C3



- SHEET INDEX**
- 1. SITE MAP & LEGEND
 - 2. SECTIONS & DETAILS
 - 3. KEY MAP & LEGEND
 - 4. PRELIMINARY PLAT UTILITIES
 - 5. PRELIMINARY PLAT FINISHES
 - 6. PRELIMINARY PLAT GRADING & DRAINAGE
 - 7. PRELIMINARY PLAT GRADING & DRAINAGE
 - 8. PRELIMINARY PLAT GRADING & DRAINAGE

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER	MCR	MARICOPA COUNTY RECORDER
BC	BACK OF CURB	M	MISMEASURED DATA
BK	BOOK	NG	NATURAL GROUND
BW	BACK OF WALL	OHE	OVERHEAD ELECTRIC
BOT	BOTTOM (OF BASH)	P	PAVEMENT
CB	CATCH BASIN	PG	PAGE
C	CONCRETE	PL	PROPERTY LINE
CC	COX CABLE	PP	POWER POLE
EMT	EASEMENT	R	RECORD DATA
E	ELECTRIC	RM	TOP OF RM
EG	EXISTING GROUND	RB	RETENTION BASIN
FC	FACE OF CURB	R-O-W	RIGHT-OF-WAY
FF	FINISHED FLOOR	S	SANITARY SEWER
FG	FINISHED GRADE	SW	SIDEWALK
FP	FINISHED PAV	SD	STORM DRAIN
FL	FLOW LINE	T	TELEPHONE
FM	FACE OF WALL	TC	TOP OF CURB
G	GAS	TF	TOP OF FOOTING
G	GUTTER	TRANS	TRANSFORMER
GB	GRADE BREAK (ROOT)	TW	TOP OF WALL
GR	GRADE	TW	TOP OF RETAINING WALL
HME	HIGH WATER ELEVATION	TYP	TYPICAL
E	INVERT ELEVATION	UCE	UNDERGROUND ELECTRIC
MH	MANHOLE	W	WATER

- LEGEND**
- PROPERTY LINE
 - FOUND ADOT ALUMINUM CAP FLUSH
 - FOUND 1/2" REBAR CAPPED 42924
 - EXISTING SPOT ELEVATION
 - PROPOSED ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - WALL
 - FENCE
 - CURB AND GUTTER
 - CONCRETE SURFACES
 - INDICATES DRIVEWAY (MEANS OF ACCESS)
 - SOON
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - GAS VALVE
 - GAS METER
 - WATER BACKFLOW PREVENTION ASSEMBLY
 - TRANSFORMER
 - POWER POLE W/ UNDERGROUND ELECTRIC
 - LIGHT POLE
 - TELEPHONE RISER
 - DOWN GUT
 - ELECTRIC BOX
 - ELECTRIC CABINET
 - WATER MANHOLE
 - SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - PROPOSED UTILITY PER CONSTRUCTION NOTE CALLOUT

C:\C:\LOG NO. PPT 13-0003



PRELIMINARY PLAT
 NUMTZA GATED COMMUNITY
 S.E.C. OF MCGUEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA

SCALE: 1"=20'
 DATE: 3/25/13
 REVISIONS:
 PROJECT NO.: 1221

PRELIMINARY PLAT UTILITIES
 SHEET: 4 OF 8
 C4

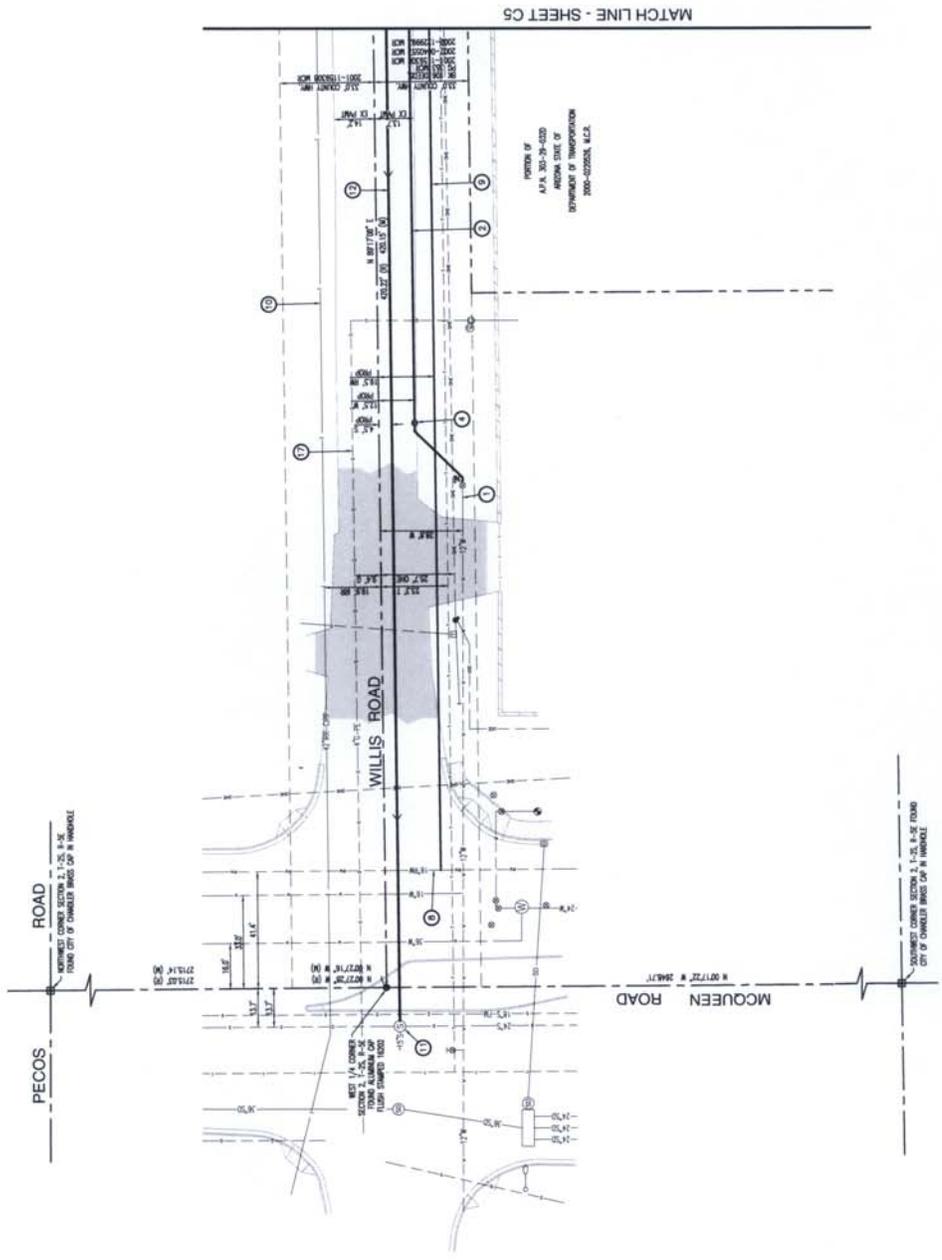
C.C. LOG NO. PPT 13-0003

KEY NOTES

- 1. ALL PROPOSED UTILITY SIZES ARE PLUMBING CAPACITY CALCULATIONS BASED ON THE PROPOSED CONSTRUCTION PLANS.
- 2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.
- 1. EXISTING 12" PUBLIC WATER MAIN.
- 2. PROPOSED 8" PUBLIC WATER MAIN.
- 3. PROPOSED PUBLIC FIRE HYDRANT.
- 4. PROPOSED WATER VALVE.
- 5. PROPOSED DOUBLE CHECK VALVE (TO 102).
- 6. PROPOSED F.O.C.
- 7. PROPOSED 1" WATER METER.
- 8. EXISTING 16" RECLAIMED WATER MAIN.
- 9. PROPOSED 8" RECLAIMED WATER MAIN.
- 10. EXISTING 42" IRRIGATION PIPE TO REMAIN.
- 11. EXISTING SEWER MANHOLE.
- 12. PROPOSED 8" PUBLIC SEWER MAIN.
- 13. PROPOSED SEWER MANHOLE.
- 14. PROPOSED SEWER CLEANOUT.
- 15. PROPOSED 4" SEWER SERVICE.
- 16. PROPOSED BACKFLOW PREVENTER.
- 17. EXISTING 4" GAS.
- 18. RELOCATE EXISTING OVERHEAD ELECTRIC AND TELEPHONE TO BE UNDERGROUND IN NEW PUE.

NOTES

- 1. ALL PROPOSED UTILITY SIZES ARE PLUMBING CAPACITY CALCULATIONS BASED ON THE PROPOSED CONSTRUCTION PLANS.
- 2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.



MATCH LINE - SHEET C5

WEST 1/4 CORNER SECTION 2, T.12S, R.2E FOUND CITY OF CHANDLER BASED OFF IN MANHOLE

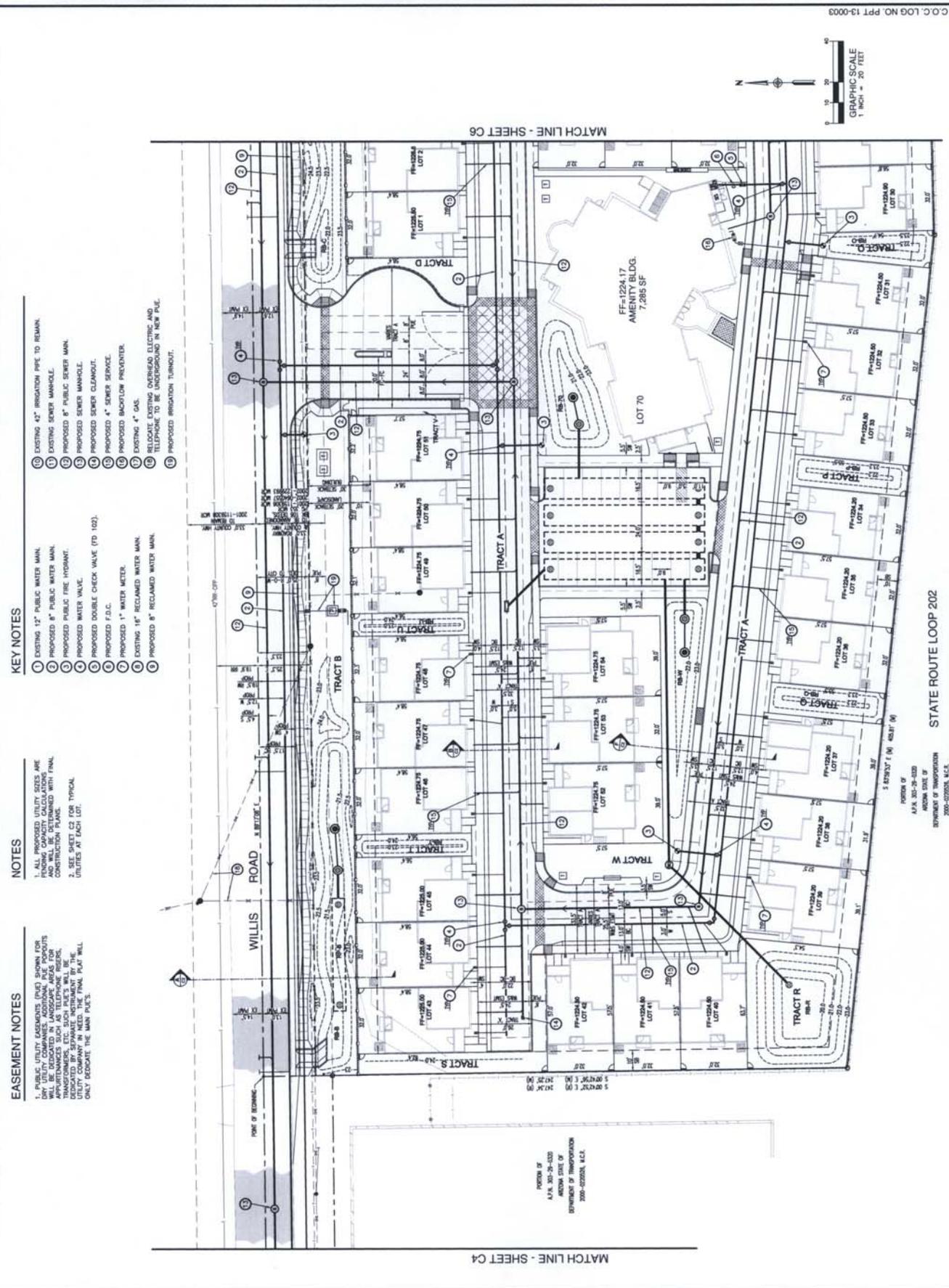
WEST 1/4 CORNER SECTION 2, T.12S, R.2E FOUND CITY OF CHANDLER BASED OFF IN MANHOLE



PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA

SCALE: 1"=20'
 DATE: 3/25/13
 REVISIONS:
 PROJECT NO.: 1221

PRELIMINARY PLAT UTILITIES
 SHEET: 5 OF 8
 C5



- EASEMENT NOTES**
- PUBLIC UTILITY EASEMENTS (PAVE) SHOWN FOR ALL UTILITIES. ALL UTILITY EASEMENTS SHALL BE DEDICATED IN LANDSCAPE AREAS FOR ALL UTILITIES. ALL UTILITY EASEMENTS SHALL BE DEDICATED IN LANDSCAPE AREAS FOR ALL UTILITIES. ALL UTILITY EASEMENTS SHALL BE DEDICATED IN LANDSCAPE AREAS FOR ALL UTILITIES.
 - SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.
- NOTES**
- EXISTING 12" PUBLIC WATER MAIN.
 - PROPOSED 8" PUBLIC WATER MAIN.
 - PROPOSED PUBLIC FIRE HYDRANT.
 - PROPOSED WATER VALVE.
 - PROPOSED DOUBLE CHECK VALVE (FD 102).
 - PROPOSED F.D.C.
 - PROPOSED 1" WATER METER.
 - EXISTING 16" RECLAIMED WATER MAIN.
 - PROPOSED 8" RECLAIMED WATER MAIN.
- KEY NOTES**
- EXISTING 42" IRRIGATION PIPE TO REMAIN.
 - EXISTING SEWER MANHOLE.
 - PROPOSED 8" PUBLIC SEWER MAIN.
 - PROPOSED SEWER MANHOLE.
 - PROPOSED 4" SEWER SERVICE.
 - PROPOSED BACKFLOW PREVENTER.
 - EXISTING 4" GAS.
 - EXISTING 16" OVERHEAD ELECTRIC AND TELEPHONE TO BE UNDERGROUND IN NEW P.L.
 - PROPOSED IRRIGATION TURNOUT.

PORT OF BURNING
 WILLIS ROAD - 3.8 FT. WIDE
 4700' OFF

TRACTS
 TRACT S
 TRACT R
 TRACT Q
 TRACT P
 TRACT O
 TRACT N
 TRACT M
 TRACT L
 TRACT K
 TRACT J
 TRACT I
 TRACT H
 TRACT G
 TRACT F
 TRACT E
 TRACT D
 TRACT C
 TRACT B
 TRACT A
 TRACT W
 TRACT X
 TRACT Y
 TRACT Z

FF-1224.60 LOT 43
 FF-1224.60 LOT 44
 FF-1224.75 LOT 45
 FF-1224.75 LOT 46
 FF-1224.75 LOT 47
 FF-1224.75 LOT 48
 FF-1224.75 LOT 49
 FF-1224.75 LOT 50
 FF-1224.75 LOT 51
 FF-1224.75 LOT 52
 FF-1224.75 LOT 53
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 FF-1224.60 LOT 72
 FF-1224.60 LOT 73
 FF-1224.60 LOT 74
 FF-1224.60 LOT 75
 FF-1224.60 LOT 76
 FF-1224.60 LOT 77
 FF-1224.60 LOT 78
 FF-1224.60 LOT 79
 FF-1224.60 LOT 80
 FF-1224.60 LOT 81
 FF-1224.60 LOT 82
 FF-1224.60 LOT 83
 FF-1224.60 LOT 84
 FF-1224.60 LOT 85
 FF-1224.60 LOT 86
 FF-1224.60 LOT 87
 FF-1224.60 LOT 88
 FF-1224.60 LOT 89
 FF-1224.60 LOT 90
 FF-1224.60 LOT 91
 FF-1224.60 LOT 92
 FF-1224.60 LOT 93
 FF-1224.60 LOT 94
 FF-1224.60 LOT 95
 FF-1224.60 LOT 96
 FF-1224.60 LOT 97
 FF-1224.60 LOT 98
 FF-1224.60 LOT 99
 FF-1224.60 LOT 100

FF-1224.17 AMENITY BLDG. 7,285 SF
 LOT 70

STATE ROUTE LOOP 202
 5' EASEMENT (M) 482.31' (M)

FORMER OF A.P.S. 200-29-030
 ARIZONA STATE OF DEPARTMENT OF TRANSPORTATION
 2000-020004, M.C.E.

MATCH LINE - SHEET C4
 MATCH LINE - SHEET C6

C.C. LOG NO. PPT 13-0003
 GRAPHIC SCALE 1" = 20' FEET
 N

KEY NOTES

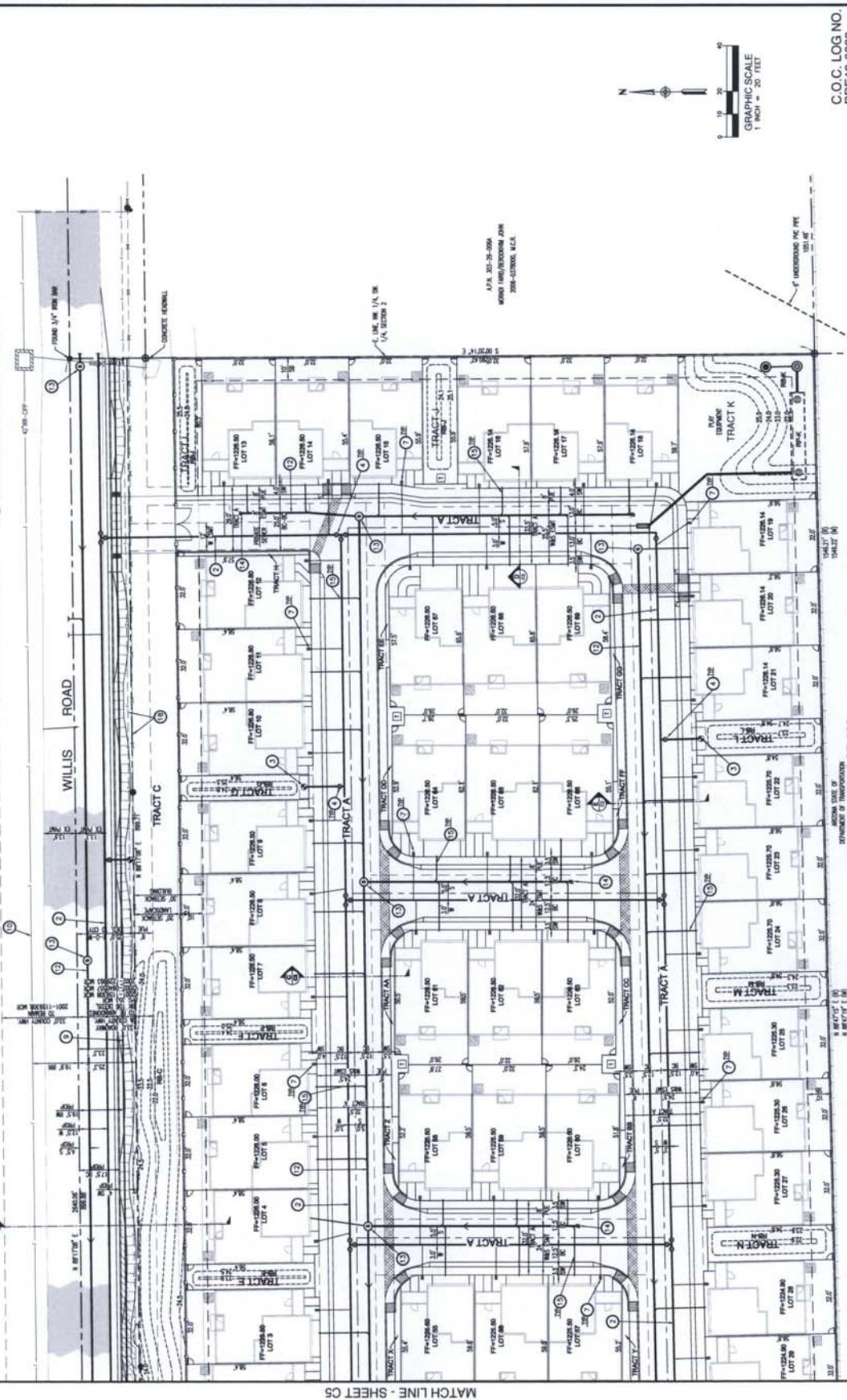
1. EXISTING 12" PUBLIC WATER MAIN.
2. EXISTING 8" PUBLIC WATER MAIN.
3. PROPOSED 8" PUBLIC WATER MAIN.
4. EXISTING 8" PUBLIC FIRE HYDRANT.
5. PROPOSED 8" PUBLIC FIRE HYDRANT.
6. PROPOSED WATER VALVE.
7. PROPOSED DOUBLE CHECK VALVE (DCV) (D 102).
8. EXISTING 16" RECLAIMED WATER MAIN.
9. PROPOSED 8" RECLAIMED WATER MAIN.
10. EXISTING 4" IRRIGATION PIPE TO REMAIN.
11. EXISTING SEWER MANHOLE.
12. PROPOSED 8" PUBLIC SEWER MAIN.
13. PROPOSED SEWER MANHOLE.
14. PROPOSED SEWER CLEANOUT.
15. PROPOSED 4" SEWER SERVICE.
16. PROPOSED BACKFLOW PREVENTER.
17. EXISTING 4" GAS.
18. EXISTING 2" OVERHEAD ELECTRIC AND TELEPHONE TO BE UNDERGROUND IN NEW PLAT.
19. PROPOSED IRRIGATION TURNOUT.

NOTES

1. ALL PROPOSED UTILITY SIZES ARE BASED ON THE ASSUMPTIONS AND WILL BE DETERMINED WITH FINAL CONSTRUCTION PLANS.
2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.

EASEMENT NOTES

1. PUBLIC UTILITY EASEMENTS (PUE) SHOWN FOR THE MUMTAZ GATED COMMUNITY WILL BE DEDICATED IN LANDSCAPE AREAS FOR THE MUMTAZ GATED COMMUNITY TRANSFORMATIONS, ETC. AS A CONDITION OF THE DEDICATION BY SEPARATE INSTRUMENT BY THE MUMTAZ GATED COMMUNITY. THE FINAL PLAT WILL ONLY DEDICATE THE MAIN PUES.



C.O.C. LOG NO. PRE12-0032

STATE ENGINEERING BOARD

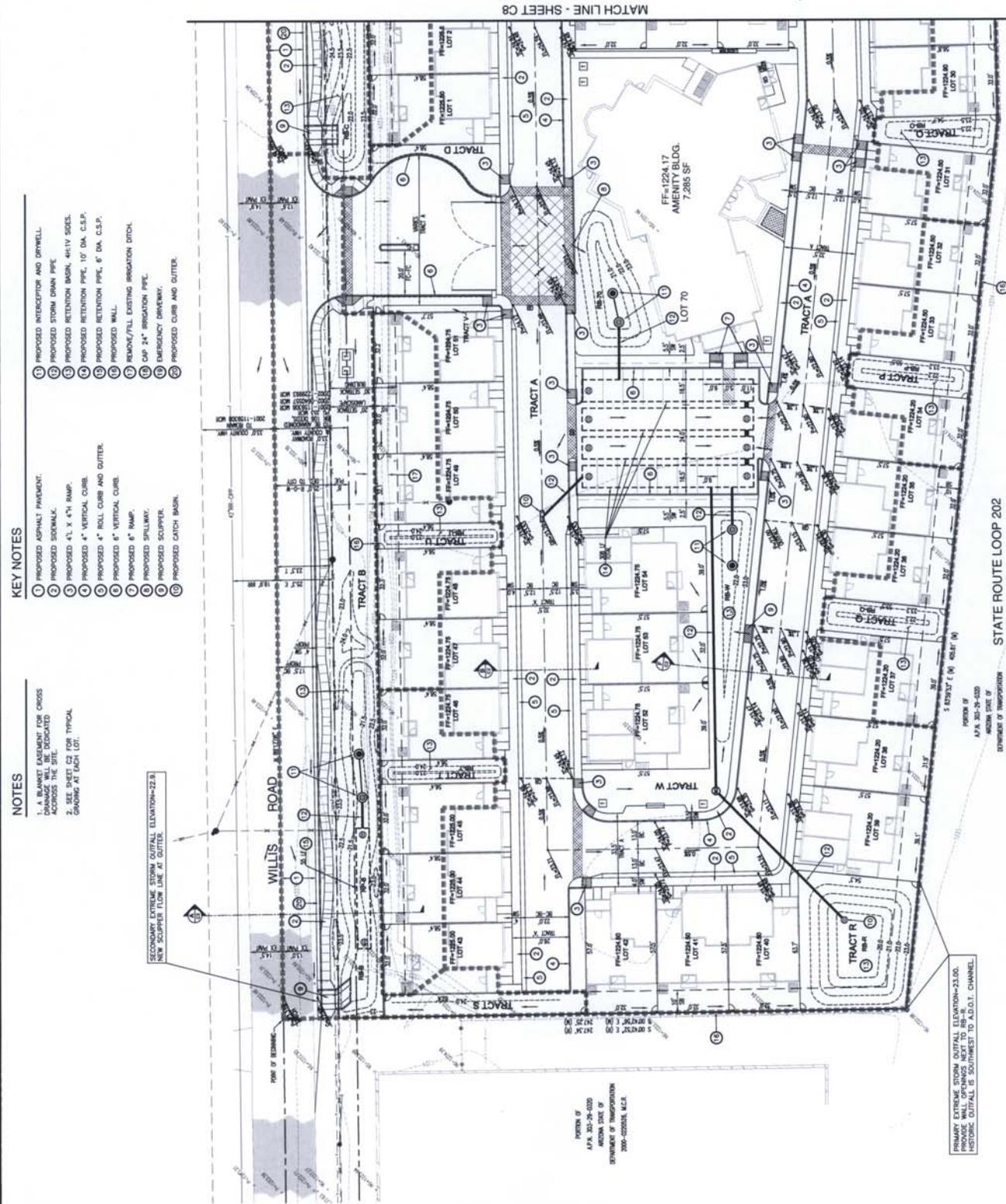
MATCH LINE - SHEET C5



PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA

SCALE:	1"=20'
DATE:	3/25/13
REVISIONS:	
PROJECT NO.:	1221
PRELIMINARY PLAT GRADING AND DRAINAGE	
SHEET:	7 OF 8
C7	

C:\C-LOG NO.PPT 13-0003



KEY NOTES

1. PROPOSED ASPHALT PAVEMENT.
2. PROPOSED STORM DRAIN PIPE.
3. PROPOSED RETENTION BASIN, 4411V SIZES.
4. PROPOSED RETENTION PIPE, 10" DIA. C.S.P.
5. PROPOSED RETENTION PIPE, 6" DIA. C.S.P.
6. PROPOSED WALL.
7. REMOVE/FILL EXISTING IRRIGATION DITCH.
8. PROPOSED 4" ROLL CURB AND GUTTER.
9. PROPOSED 4" VERTICAL CURB.
10. PROPOSED 6" RAMP.
11. PROPOSED 8" VERTICAL CURB.
12. PROPOSED SPILLWAY.
13. PROPOSED SCUMPER.
14. PROPOSED CATCH BASIN.
15. PROPOSED INTERCEPTOR AND DRIVELL.
16. PROPOSED STORM DRAIN PIPE.
17. PROPOSED RETENTION BASIN, 4411V SIZES.
18. PROPOSED RETENTION PIPE, 10" DIA. C.S.P.
19. PROPOSED RETENTION PIPE, 6" DIA. C.S.P.
20. PROPOSED WALL.
21. REMOVE/FILL EXISTING IRRIGATION DITCH.
22. CAP 24" IRRIGATION PIPE.
23. EMERGENCY DRIVEWAY.
24. PROPOSED CURB AND GUTTER.

NOTES

1. A. BARRIET LAYOUT FOR CROSS ACROSS THE SITE.
2. SEE SHEET C2 FOR TYPICAL GRADING AT EACH LOT.

SECONDARY EXTREME STORM OUTFALL ELEVATION=22.8.
 NEW SCUMPER FLOW LINE AT GUTTER.

PORTION OF A.P.A. 303-3-020
 AREA SIZE OF
 STATEMENT OF TRANSPORTATION
 2000-0202016, A.L.C.A.

PRIMARY EXTREME STORM OUTFALL ELEVATION=23.00.
 PROVIDE WALL OPENINGS NOT TO BE LESS
 THAN 18" CLEARANCE TO ADJACENT CHANNEL.
 EXISTING OUTFALL IS SOUTHWEST TO ADJ. 0.11. CHANNEL.

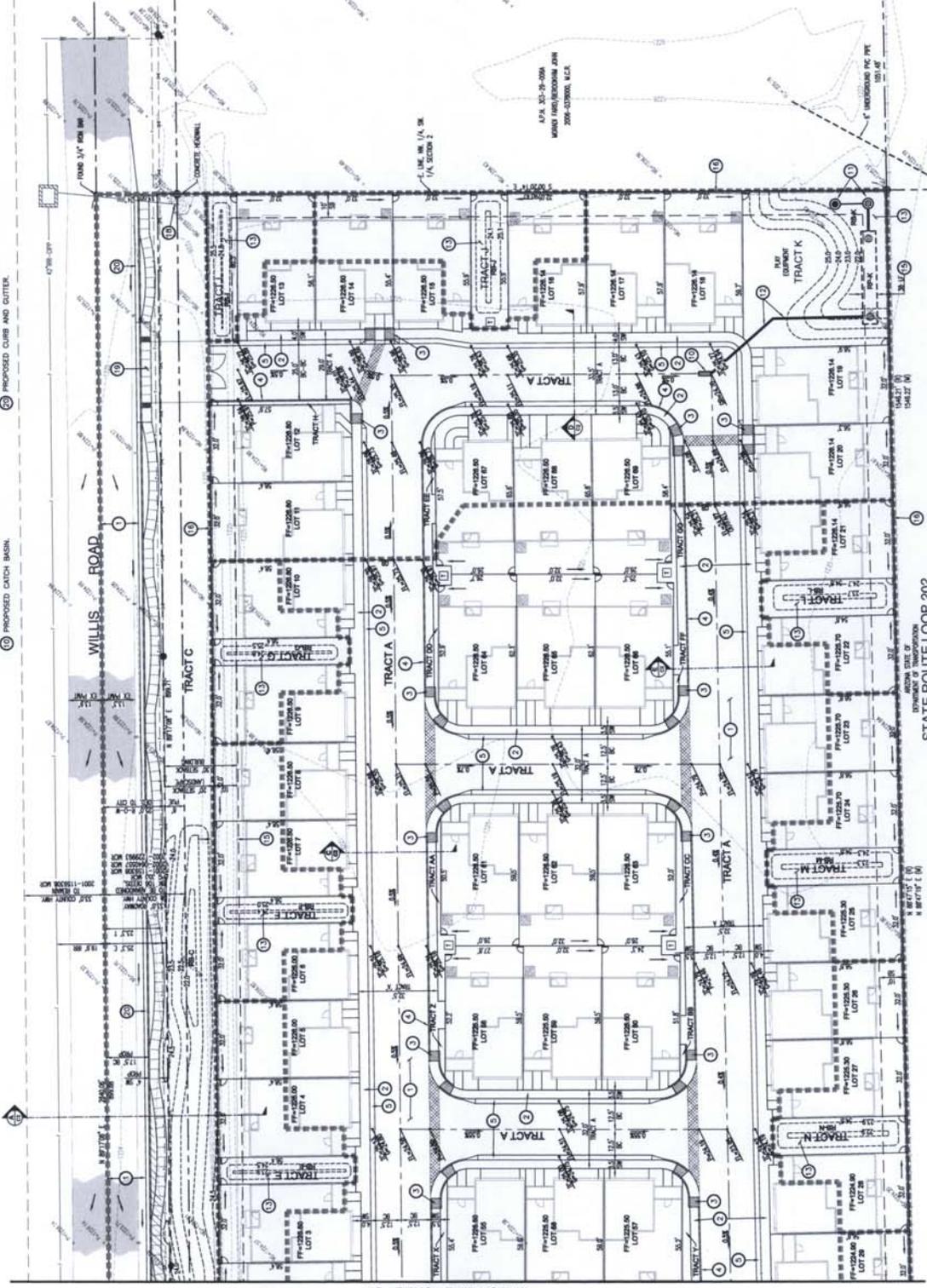
STATE ROUTE LOOP 202

NOTES

1. PLANET ELEVATION FOR CROSS DOWNSTREAM OF THE SITE. LOCATED ACROSS THE SITE.
2. SEE SHEET C2 FOR TYPICAL GRADING AT EACH LOT.

KEY NOTES

1. PROPOSED INTERCEPTOR AND DRYWELL.
2. PROPOSED STORM DRAIN PIPE.
3. PROPOSED RETENTION BASIN, 4H:1V SIDES.
4. PROPOSED RETENTION PIPE, 10' DIA. C.S.P.
5. PROPOSED RETENTION PIPE, 6' DIA. C.S.P.
6. PROPOSED WALL.
7. REMOVE/FILL EXISTING IRRIGATION DITCH.
8. CAP 24" IRRIGATION PIPE.
9. EMERGENCY DRIVEWAY.
10. PROPOSED CURB AND GUTTER.
11. PROPOSED ASPHALT PAVEMENT.
12. PROPOSED SIDEWALK.
13. PROPOSED 4" X 4" RAMP.
14. PROPOSED 4" VERTICAL CURB.
15. PROPOSED 4" ROLL CURB AND GUTTER.
16. PROPOSED 6" VERTICAL CURB.
17. PROPOSED 6" RAMP.
18. PROPOSED SPILLWAY.
19. PROPOSED SCUMPER.
20. PROPOSED DITCH BASIN.



C.O.C. LOG NO. PPT 13-0003

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PRELIMINARY PLAT
 MUMTAZ GATED COMMUNITY
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD
 CHANDLER, ARIZONA

SCALE: 1"=20'
DATE: 3/25/13
REVISIONS:
PROJECT NO.: 1221
PRELIMINARY PLAT GRADING AND DRAINAGE
SHEET: 8 OF 8
C8