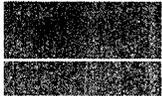


Add info #37

JUN 13 2013



Mumtaz Emails
Susan Moore to: CityClerkAgenda

06/12/2013 05:02 PM

----- Forwarded by Susan Moore/COC on 06/12/2013 05:01 PM -----

From: Maria Thompson <mariathompson2@cox.net>
To: trinity.donovan@chandleraz.gov
Cc: nora.ellen@chandleraz.gov, kevin.hartke@chandleraz.gov, rick.heumann@chandleraz.gov, jeff.weninger@chandleraz.gov
Date: 06/11/2013 12:58 PM
Subject: Re: Mumtaz Gated Community DVR12-0042 zoning change request

Dear Ms. Donovan,

My wife and I would like to add our names to the growing list of residents AGAINST the proposed zoning change referenced above. Many local residents have made complaints regarding the look, size, and adverse safety affects of the traffic which will be generated in the proposed location of this development. What is particularly galling however, is the underhanded and non transparent manner in which the City of Chandler has attempted to push this zoning change through despite obvious objections of all existing residents. The response of the Erik (Chief Planner, City of Chandler) to an inquiry by one of my neighbors about the legality of the proposed development's mosque to the effect that "I told them (Mumtaz Development) not to call it a mosque", illustrates the city's cavalier dismissal of our legitimate concerns.

The fact that the City of Chandler is trying to ram this development into an inappropriate space over the objections of ALL of it's proposed neighbors is an example of callous disregard for our rights as residents. I urge you to vote for the residents and against the developers of this inappropriately sited project, and REJECT the proposed zoning request.

Sincerely,

Kenneth and Maria Thompson
1103 E. Longhorn Pl.
Chandler, AZ 85286

----- Forwarded by Susan Moore/COC on 06/12/2013 05:01 PM -----

From: Kevin and Christal Biesty <kcbiesty@hotmail.com>
To: "mayor&council@chandleraz.gov" <mayor&council@chandleraz.gov>
Date: 06/11/2013 03:38 PM
Subject: Rezoning Case DVR12-0042/PPT13-0003 Mumtaz Gated Community

Dear Mayor Tibshraeny and Members of the Chandler City Council,
First, let me say thank you to those who responded to our initial email of May 25th. After reviewing the available information and the previous hearings on this matter, as well as an attempt to speak with city staff on this matter; we must respectfully request that you do not approve this rezoning request. In short:

1. There is already one parcel zoned for multifamily housing on Willis. Rezoning another parcel there, without any plan for how traffic will enter and exit Willis from McQueen other than right in/right out is problematic. U-turns are already an issue at our intersection (Wildhorse Dr. And McQueen) and this proposal will only compound it.

2. As alluded to in the Council Study session on May 6th, there is a concern that a precedence is being set, whereby a developer circumvents the rules to establish a house of worship (mosque) by calling it a community center. Is there another developments that uses this model in Chandler or Arizona? Unfortunately I will be out of town when you consider this on Thursday, but my wife Christal and our neighbors will be there to share their concerns in person.

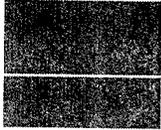
Please vote no on this proposal.

Thank you for your service.

Kind Regards,

Kevin and Christal Biesty

961 E Wildhorse Dr.



**Fw: INTRODUCTION OF ORDINANCE NO. 4454, DVR12-0042 MUMTAZ
GATED COMMUNITY**

Susan Moore to: CityClerkAgenda

06/13/2013 05:00 PM

----- Forwarded by Susan Moore/COC on 06/13/2013 05:00 PM -----

From: skiham@yahoo.com
To: mayor&council@chandleraz.gov
Date: 06/13/2013 04:32 PM
Subject: INTRODUCTION OF ORDINANCE NO. 4454, DVR12-0042 MUMTAZ GATED COMMUNITY

To: Mayor and Council Members

This email is to voice our concern and opposition to the planned MUMTAZ Community Development DVR12-0042 scheduled for the Council meeting of June 13, 2013, Action Item #37. The property on which this planned community will reside allows is currently zone agricultural. Willis Rd is a two lane dead end street with the City of Chandler Water Treatment Plant on the north side of the dead end street. Willis Rd is not designed for the additional traffic this community will generate. Because of the poor design of the McQueen/202 interchange, it already generates people needing to make u-turns in order to get to the 202. Wildhorse is used on a daily bases for this purpose, increasing the traffic that will only be able to turn north on McQueen from Willis will increase this issue. Changing the traffic control devices as has been discussed is a poor solution. This community would add a minimum of 69 more vehicles who would have to turn right on McQueen to exit Willis, and make a u-turn to get to the 202. In addition to the traffic issues, this complex appears to be a gated religious community with a mosque in the center described as a community center with a prayer room. Is the Community Center/Mosque a round about way of going around the requirements for a "house of worship"? And, will it eventually evolve into a mosque where loud speakers are used multiple times a day to do calls for prayer? We are very concerned about this being built in our neighborhood. We are not aware of any other gated religious communities within the City of Chandler, and do not believe this is an appropriate area for this type of community to be built.

Scott and Vicki Szczepkowski
988 E Gunstock Rd.

Add info #37

JUN 13 2013



To: Erica Barba/COC,
Cc:
Bcc:
Subject: Fw: The MUMTAZ project on Willis and McQueen
From: Marla Paddock/COC - Tuesday 06/11/2013 04:50 PM

----- Forwarded by Marla Paddock/COC on 06/11/2013 04:46 PM -----

From: Susan Moore/COC
To: Marla Paddock/COC
Cc: Melanie Sala/COC@chandleraz.gov
Date: 06/11/2013 08:38 AM
Subject: Fw: The MUMTAZ project on Willis and McQueen

Per your request

----- Forwarded by Susan Moore/COC on 06/11/2013 08:38 AM -----

From: "Ann Huberty" <ahuberty@submort.com>
To: <kevin.hartke@chandleraz.gov>
Date: 06/04/2013 01:36 PM
Subject: The MUMTAZ project on Willis and McQueen

Good afternoon.....

I have been a Chandler resident since 1983, I have lived in the Las Casitas Del Sur subdivision since 2002 which is located on the East side of McQueen between Willis and Pecos Roads. As you are aware, there is an ongoing rezoning hearing for the Agricultural parcel along Willis Rd East of McQueen. The parcel was once owned by ADOT I believe, as it was once used by ADOT when they were building the 202. The developer who purchased the parcel of land from ADOT now wants to build a townhouse project, therefore the rezoning hearing.

The residents in my subdivision are very concerned with this project, as are the residents who live along Willis Rd and other neighborhoods along McQueen Road. This townhouse project has taken everyone by surprise. The proximity of this project to the 202 freeway entrance is going to cause many traffic problems. All of the residents who live along Willis Rd cannot turn left onto McQueen. Willis Rd is so close to the 202, that there is a concrete medium preventing any left turns, thus everyone has to turn right onto McQueen (north) and then will have to do a U turn in the middle of McQueen to head back south to enter the 202 freeway. We already have so many issues with traffic situations now in this area. Our subdivision is about one block from Willis Rd, we constantly have cars turning into our entry area to do U turns. Our entry area is gated, so there are always cars blocking us from getting in and out of our subdivision. I can only imagine how much worse this is going to be, let alone the danger involved. The traffic coming off of the 202 already runs the stop sign there, turning right (north) onto McQueen. We have had a handful of our subdivision residents who have either been rear ended or hit broad side by reckless traffic traveling on McQueen. Willis Road is also a dead end road, so there is no other way in or out for the residents who live on Willis Rd. Willis Rd dead ends up to the canal. The City water treatment plant is on the north side of Willis which will be just past the proposed project. I really feel sorry for the residents who live on Willis Road, if this project passes. Willis Rd is a narrow road with no sidewalks, curbs, or water drainage. I don't know how they are going to handle the increase in traffic in front of their homes. The traffic back up in front of their homes will be an issue. Since there will be no left turns, the traffic will have to sit and wait for the

freeway / McQueen traffic to subside. I have read some of the City's meeting minutes and one suggestion was to have ADOT change the traffic light pattern to help ease the traffic flow. I really don't see how changing the traffic light pattern is going to help with any of this.

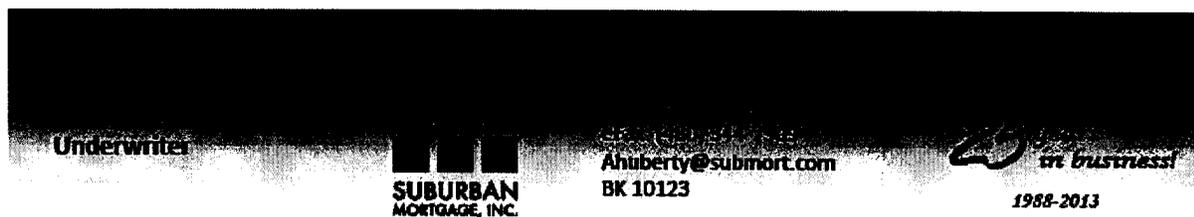
Lastly, we are also concerned with the project itself. The developer has been advertising this project as a townhouse project that will have its own Mosque. I have attached the information that I personally printed from the MUMTAZ website. Shortly after I was able to print this information, the website was taken down. That is also a concern. Why did the developer take down the website ? From what I understand, the developer cannot advertise or even suggest that this project will have its own Mosque. I have contacted some employees from the City Planning office and I shared this information with them. I was told that the developer cannot be advertising the Mosque, but that he can advertise "prayer rooms". The "prayer rooms" cannot be used by anyone other than the residents of the project. That is something else I am concerned with, how is that going to be regulated. Even though the developer might now be calling this a "prayer room", how can we be sure that only the residents will be utilizing this. Is this also going to be bringing in more and more traffic from other people using the "prayer rooms" . Where will they be parking, all along Willis Rd on the residents properties, again there are no sidewalks, curbing and such on Willis Rd. I was also told by some of the City Planning employees that the developer was told that he cannot have any "crescent moons" on top of the Mosque. I know that this is a touchy subject in the world we live in, being politically correct and such, but I am very concerned about all of this. How is this going to impact the property values for everyone in the immediate area, especially those families that live on Willis Road and have lived there for over 30 years.

I will be at the City Council meeting on June 13th , and I hope that we will hear some answers to our many questions...

I would also like a response from you from this email if you have the chance.

Sincerely,

Concerned Chandler Resident
Ann Huberty
1183 E. Longhorn Pl
Chandler, AZ 85286



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Mumtaz Gated Community
mumtaz-az.com/

Imagine living in a **gated community** that is designed for family living. It has its own Mosque. It has separate indoor pools and gyms for men and women. It would ...
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Mumtaz
 Website
 as of
 5/15/13

survey - **Mumtaz Gated Community**
mumtaz-az.com/survey.html
 Loading... © 2012 Mumtaz.
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(PDF) zoning, dvr12-0042 **mumtaz gated community** - City of Chandler
www.chandleraz.gov/content/20130425_12.pdf
 Apr 25, 2013 - KEVIN MAYO, PLANNING MANAGER 41 W. ERIK SWANSON, CITY PLANNER- DVR12-0042/PPT13-0003 **MUMTAZ GATED COMMUNITY** ...
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(PDF) WW II 1. - City of Chandler
chandleraz.gov/content/DVR120042.pdf
 Apr 17, 2013 - "**MUMTAZ GATED COMMUNITY**" and kept on file in the City of Chandler Planning, Division, in File No. DVR12-0042, modified by such ...



Nrm Architectural Impression LLC
www.archimpression.com/

Mumtaz Gated Community is consisting of sixty nine town homes and an amenity building in 6.5 acres of land. These units are contained within 23 buildings.
 You visited this page on 5/14/13.

Mumtaz-az.com Mumtaz Gated Community - Web Analysis - StatsC...
www.statscrop.com/www/mumtaz-az.com

Rating: 3 - Review by StatsCrop
 Apr 1, 2013 - Mumtaz-az.com stats - web age: 9 months, last updated: 1 Apr 2013.

Mumtaz Complex, Mumbai. Phone / Contact number, Reviews ...
www.mojastreet.com/.../ApartmentsGated-Communities/Mumtaz-Comple...

Mumtaz Complex, Phone number, Reviews, Tips and Mumtaz Complex Announcements. Also find nearby Apartments/Gated Communities in Mumbai on ...

Mumtaz-Az.com - Mumtaz Gated Community - Whois domaintools
whois.domaintools.com/mumtaz-az.com

Jul 27, 2012 - Mumtaz-Az.com - Mumtaz Az, - Whois record for Mumtaz-Az.com from DomainTools.

Chandler decision on proposed Fry's gas station delayed
www.azcentral.com Community Chandler

May 8, 2013 - The **Mumtaz Gated Community** plan calls for 69 townhouse units near the southeastern corner of McQueen and Willis roads. Four council ...

Mumtaz Ahmed - Profile - CommonFloor

✓

www.commonfloor.com/p_4d6b7bf3d0d47-mumtaz-ahmed ▾
Real Estate; Apartment **Communities**; What is CommonFloor? a Golden
Opportunity to own a piece of Land in one of the most sought after **Gated** Communit .

Ad related to **mumtaz gated community**

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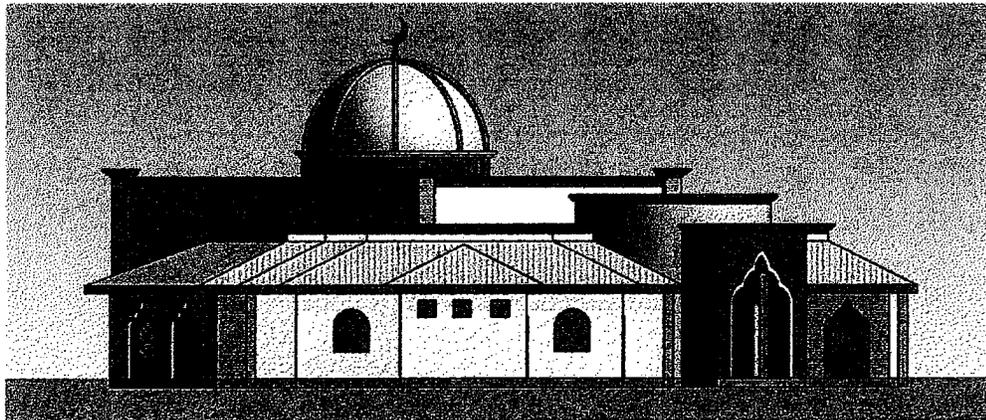
Information
posted on the
Mumtaz
Website



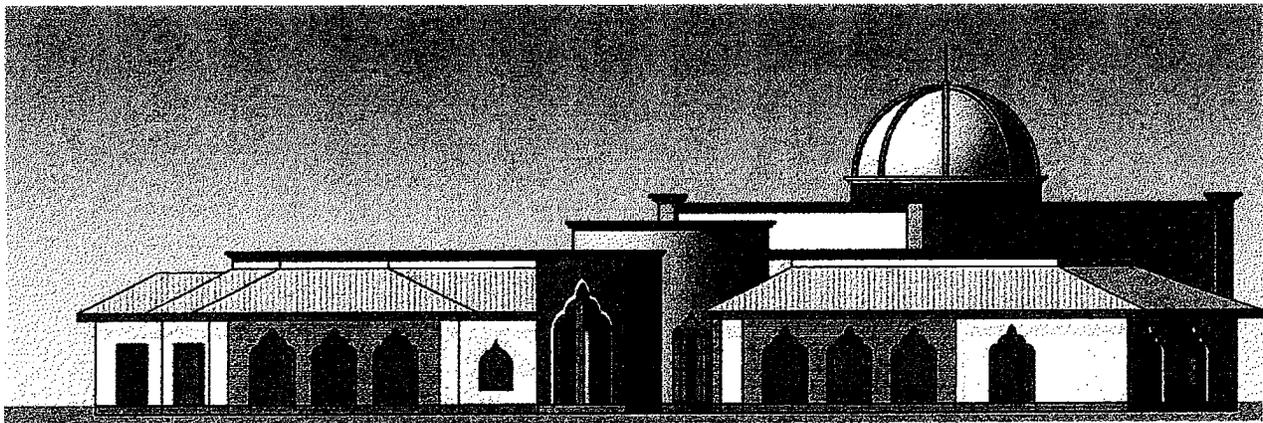
Imagine living in a gated community that is designed for family living. It has its own Mosque. It has separate indoor pools and gyms for men and women. It would allow our elderly parents to meet one another in a safe and comfortable environment.

...The Mumtaz Gated Community offers just that.

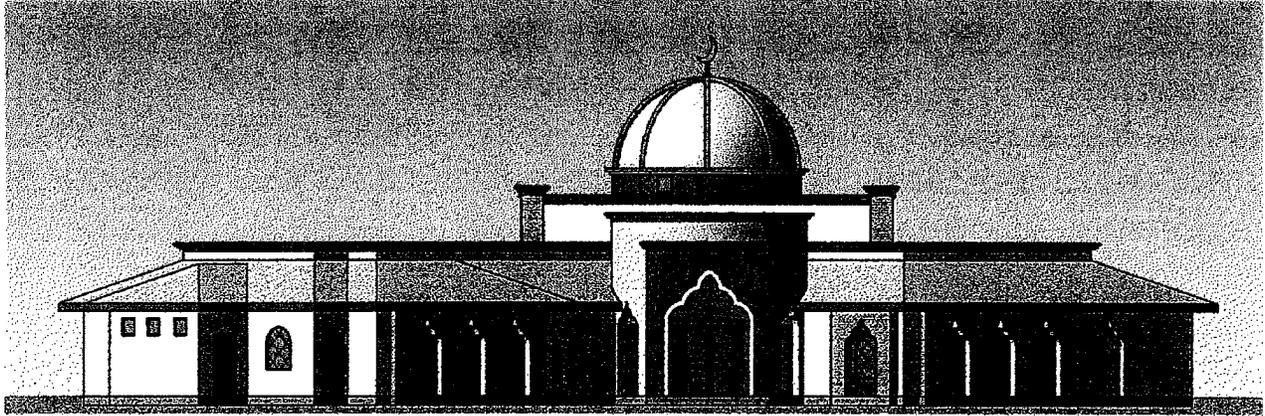
Show us your interest by taking our online survey.



East Elevation



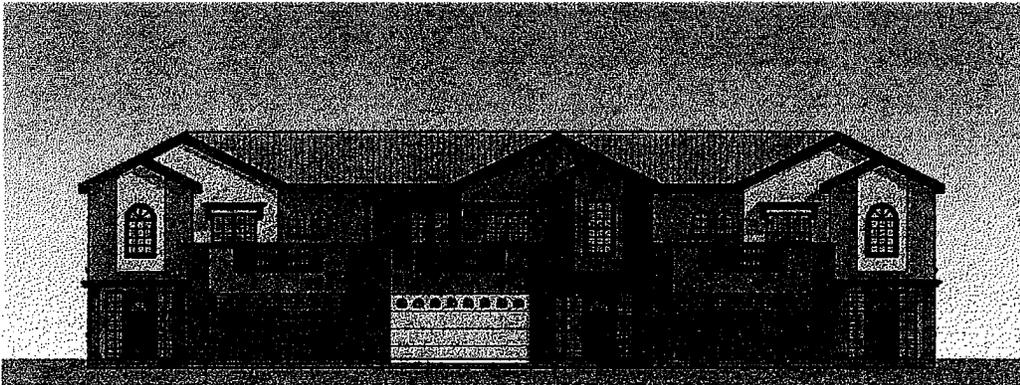
South Elevation



South-west Elevation



Front elevation of a 3-town home building with split units and side entrances to upper levels



Front elevation of a building with 3 town homes

Rear elevation of a building with three town homes

3.2

Luxurious Modern Living

Mumtaz Gated Community offers three flexible floor plans. Build for spaciousness and comfort, each floor plan has:

- 3 or 4 bedroom units
- 3 full bathrooms
- Dining room, living room, washer / dryer, and a kitchen with modern appliances.
- Fire sprinkler systems for safety

These two-story town homes include 2 balconies as well as a 2 car garage.

A few town homes have 1st and 2nd floors independent split units so that the town home owner could rent one unit.

Community Center

The Mumtaz Gated Community is centered around a shared community center and Mosque. The Mosque will be opened for daily prayers and other activities approved by the Home Owner's Association.

Adjacent to the Mosque are other shared community resources like the library, multipurpose hall, kitchen, as well as separate gyms, pools, and showers for men and women.

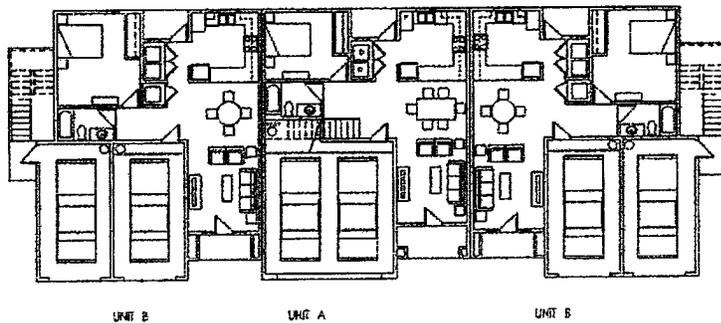
Get More Information

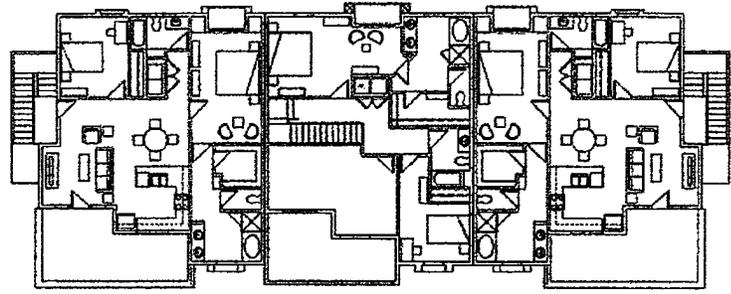
Mumtaz is conveniently located on McQueen Road, near the 202 and 101 freeways in Chandler, Arizona. [Map](#)

For more information please contact us at: info@mumtaz-az.com

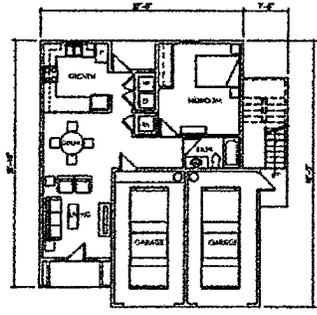
Be sure to let us know what you think by taking our [survey](#) online.

Flexible Floor Plans

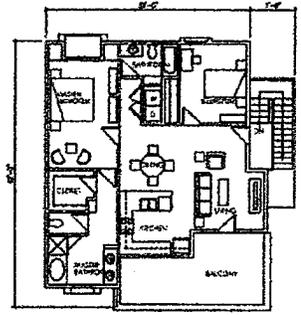




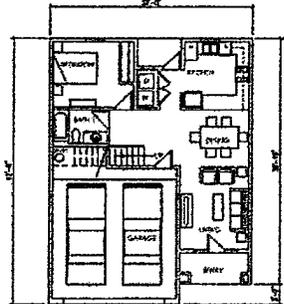
UNIT B 2ND FLOOR UNIT A-PLAN TYPE 2 2ND FLOOR UNIT B 2ND FLOOR



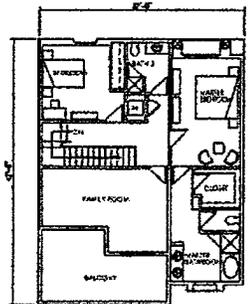
1ST FLOOR GARAGE AREA: 1144.00 SF
 1ST FLOOR LIVING AREA: 654.00 SF
 KITCHEN AREA: 228.00 SF
 GARAGE AREA: 202.00 SF
UNIT B - 1ST FLOOR PLAN



2ND FLOOR GARAGE AREA: 1144.00 SF
 2ND FLOOR LIVING AREA: 1001.00 SF
 2ND FLOOR KITCHEN AREA: 228.00 SF
UNIT B - 2ND FLOOR PLAN

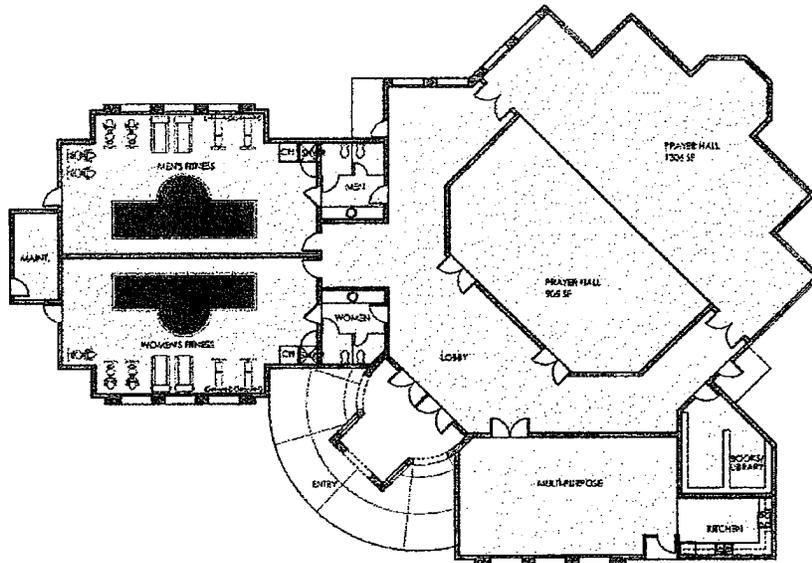


1ST FLOOR GARAGE AREA: 1144.00 SF
 1ST FLOOR LIVING AREA: 700.00 SF
 KITCHEN AREA: 228.00 SF
UNIT A - 1ST FLOOR PLAN



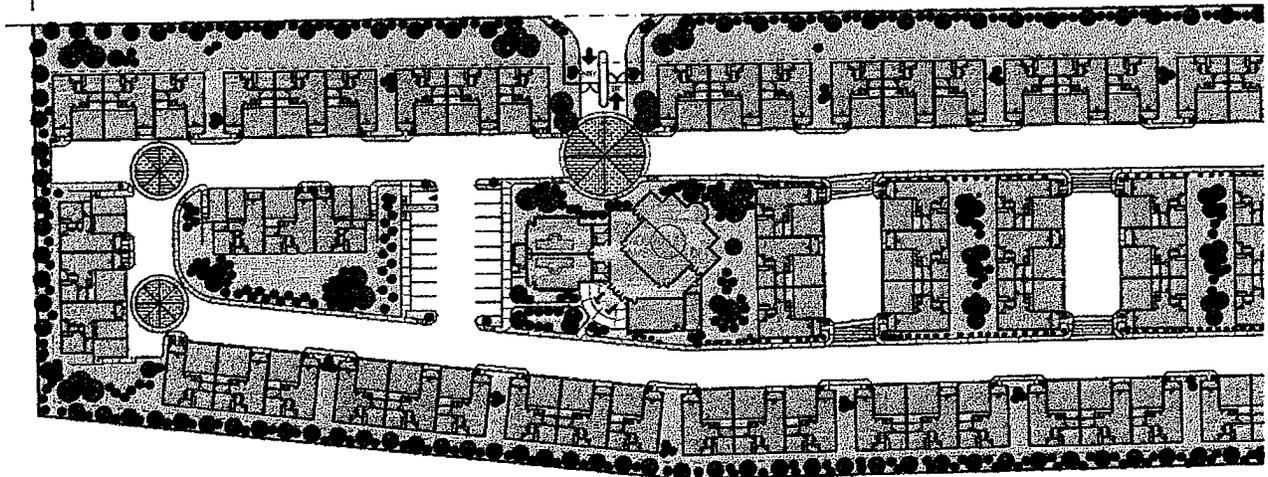
2ND FLOOR GARAGE AREA: 1144.00 SF
 2ND FLOOR LIVING AREA: 1001.00 SF
 2ND FLOOR KITCHEN AREA: 228.00 SF
UNIT A - 2ND FLOOR PLAN-TYPE 1

Community Center Floor Plan

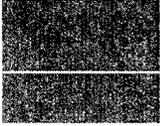


Community Map

WILLIS ROAD



© 2012 Mumtaz



Mumtaz Development
Susan Moore to: CityClerkAgenda
Cc: Melanie Sala, David Bigos

06/11/2013 09:36 AM

----- Forwarded by Susan Moore/COC on 06/11/2013 09:35 AM -----

From: Susan Moore/COC
To: MayorandCouncil@ci.chandler.az.us
Cc: David Bigos/COC, Melanie Sala/COC@chandleraz.gov
Date: 06/07/2013 05:00 PM
Subject: Mumtaz Development

Robert Golda, 1143 E. Longhorn Pl. Chandler, AZ 85286, called to express his opposition to the Mumtaz Development.

He is requesting to speak to the Mayor and Council prior to next week's Council meeting.

Mr. Golda can be reached at 480-204-2492.

Thank you!

Susan

Susan Moore
City of Chandler
Office of the Mayor & Council
MS 603
PO Box 4008
Chandler, AZ 85244-4008
480-782-2242

 **Think Green ... Turn off your computer when you leave.**



----- Forwarded by Susan Moore/COC on 06/11/2013 09:35 AM -----

From: Eric Wilmarth <ewilmarth5603@yahoo.com>
To: "jay.tibshraeny@chandleraz.gov" <jay.tibshraeny@chandleraz.gov>, "jack.sellers@chandleraz.gov" <jack.sellers@chandleraz.gov>, "trinity.donovan@chandleraz.gov" <trinity.donovan@chandleraz.gov>, "kevin.hartke@chandleraz.gov" <kevin.hartke@chandleraz.gov>, "nora.ellen@chandleraz.gov" <nora.ellen@chandleraz.gov>, "rick.heumann@chandleraz.gov" <rick.heumann@chandleraz.gov>, "jeff.weninger@chandleraz.gov" <jeff.weninger@chandleraz.gov>
Date: 06/09/2013 07:44 PM
Subject: Mumtaz Development on Willis and McQueen

To All,

As a neighborhood and family we would like to express our concern about the recent hearings and approval to date regarding the Mumtaz Development proposed townhome development with a mosque that is apparently being disguised as a meeting place. My wife and I are concerned that the traffic that will be imposed on our development will be

hazardous as the access and egress onto Mcqueen is very limited.
Besides the traffic we are concerned that property values and possibly crime will increase with this level of development in the immediate area.

Please respectfully consider our concerns and keep the property zoned Agriculture as any type of housing here will be hazardous to traffic flow.

Thank you, Eric and Anna Wilmarth(Las Casitas Del Sur Neighbors)

Add info #37

JUN 13 2013



Chandler • Arizona
Where Values Make The Difference



MEMORANDUM

Transportation & Development - CC Memo No. 13-049d

DATE: JUNE 13, 2013

TO: MAYOR AND COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD by: MR*
MARSHA REED, ASSISTANT CITY MANAGER *MR*
R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, CITY PLANNER *ES*

SUBJECT: DVR12-0042 MUMTAZ GATED COMMUNITY
Introduction and Tentative Adoption of Ordinance No. 4454

Request: Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) along with Preliminary Development Plan (PDP) and approval for a townhome development

Location: East of the southeast corner of McQueen and Willis roads

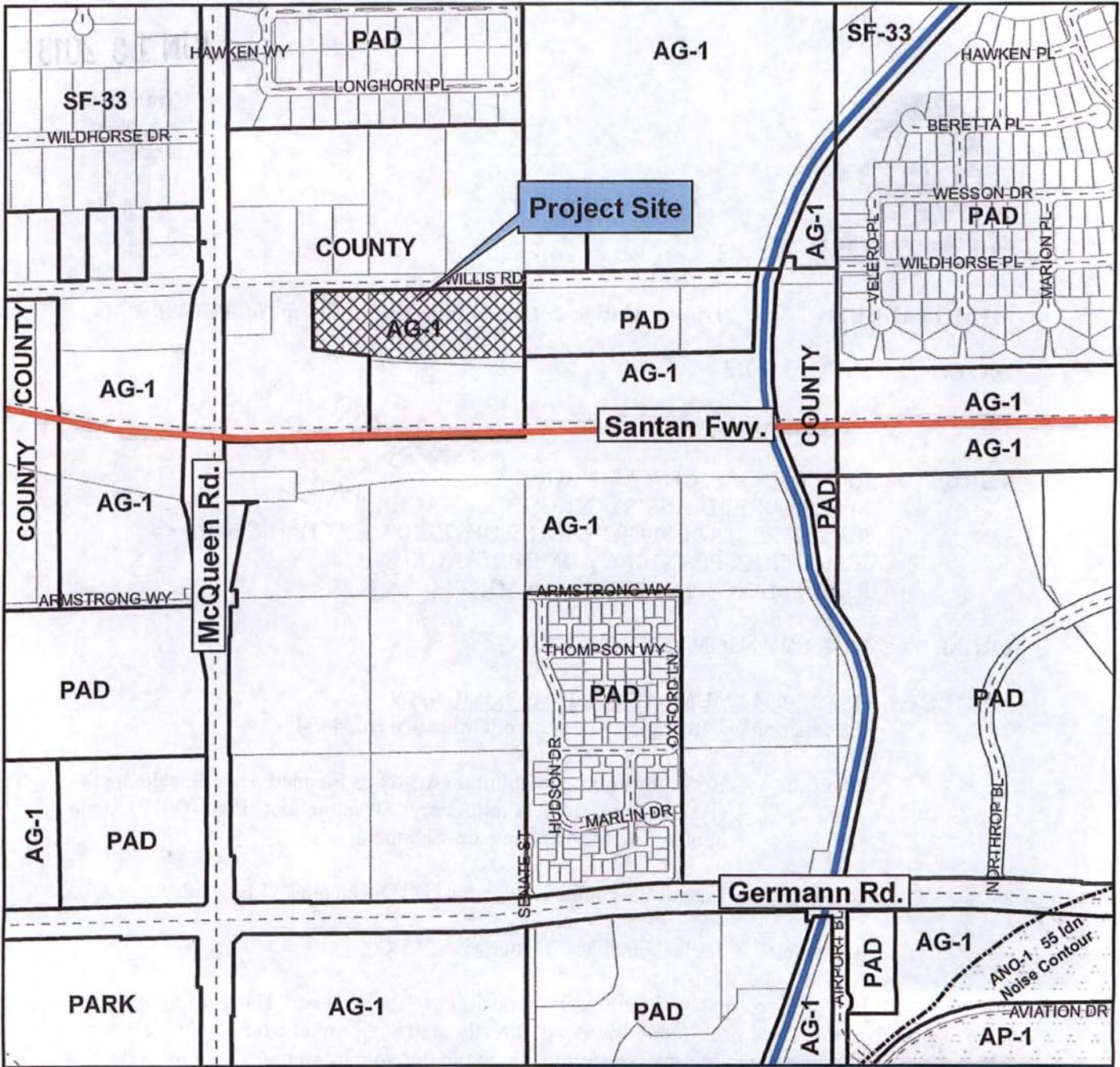
Applicant: Jalil Ahmad; Mars Enterprises, LLC

Planning Staff has received a signed petition in opposition to the request. The petition is from the property owner located north of Willis Road, directly across the street from the subject site. The opposition triggers a legal protest, requiring a three-quarter vote by Council for approval.

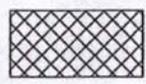
Attachments

1. Vicinity Maps
2. Petition in Opposition

10th Ave 664



Vicinity Map



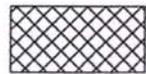
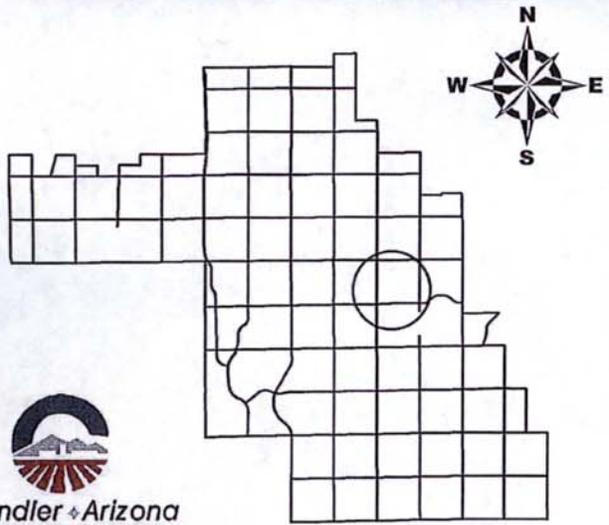
DVR12-0042

Mumtaz Gated Community





Vicinity Map



DVR12-0042

Mumtaz Gated Community



**This is an opposition petition for legal protest of the
Mumtaz Gated Community DVR12-0042**

June 4, 2013

Erik Swanson, City Planner
Cc: Chandler City Council
Office of the Mayor & City Council
Mail Stop 603
P.O. Box 4008

Re: Mumtaz Gated Community DVR12-0042 zoning change request

Dear Mr. Swanson,

We are longtime residents of Chandler and live adjacent to the Mumtaz development and zoning change being proposed on Willis. Please regard this as our legal and formal protest of the project. We oppose and formally protest the Mumtaz Gated Community Development requested zoning change on the south east of Willis and McQueen.

We are owners of the property located at:

12140 E. WILLIS RD
CHANDLER AZ 85286

Sincerely,

Printed name JARRELL O. WOOD

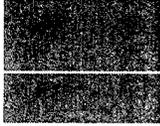
Phone Number 480-963-4405 cell 602-509-2728

Signature Jarrell O. Wood

Date 6/7/13

Add info # 37

JUN 13 2013



Mumtaz Gated Community Emails
Susan Moore to: CityClerkAgenda
Cc: David Bigos, Melanie Sala

06/07/2013 10:31 AM

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: "Frank McCoy" <rynemccoy@gmail.com>
To: <Jay.Tibshraeny@chandleraz.gov>
Date: 05/22/2013 02:56 PM
Subject: RE: Mumtaz Gated Community

Something else to consider: the architecture of this development; does not match the surrounding communities.

From: David.Bigos@chandleraz.gov [mailto:David.Bigos@chandleraz.gov] **On Behalf Of** Jay.Tibshraeny@chandleraz.gov
Sent: Tuesday, May 21, 2013 7:36 AM
To: Ryne McCoy
Subject: Re: Mumtaz Gated Community

Ryne, thank you for the note and for sharing your thoughts about this project. I will consider your comments when this proposal comes before us. Again, thank you for reaching out. Please contact me anytime you have thoughts or concerns about our community.

Sincerely,

Jay Tibshraeny
Chandler

Please be advised that all email sent and received via this address has been requested for review by local media and will be made available in accordance with Arizona Open Public Records Law.

▼ Ryne McCoy ---05/16/2013 05:49:22 PM---Hello, I had a few people from the community behind me (Las Casitas Del Sur), come

From: Ryne McCoy <rynemccoy@gmail.com>
To: erik.swanson@chandleraz.gov, Mayor&council@chandleraz.gov
Date: 05/16/2013 05:49 PM
Subject: Mumtaz Gated Community

Hello,

I had a few people from the community behind me (Las Casitas Del Sur), come by my house on Tuesday. They had no idea that the City of Chandler was building a mosque in their back yard.

They found out on the 13th of May.

Yet again, I am upset with the process and question the integrity of this planning/project. I was thinking that the meetings attendance was super low. Now we know why; they did not know hundreds of local resident have no idea of this City Project. Why would an entire community not be informed of this mosque; when it will directly affect their community and the value of their homes? As well as the community on the west side of McQueen, and the community on the other side of the canal, are they aware of the cities intent to put a road at their back door specifically for the mosque 2nd exit. If I had to guess, I am sure that they are also unaware. I will find out this weekend when I go door to door asking and informing. How can you put something into vote in a meeting without notifying the community with more than a sign on a dead end road (which means that the sign is hidden from most of the community)? The more I am involved in this, the more I think the city of chandler planning is trying to slip this project under the radar.

I ask that all progress be stopped until the community is properly informed of this project. That way we can get all the concerns out on the table (like they should be). Because the concerns that my visitors had, I didn't even think of (now I am) and there are so many concerns that the planning is ignoring. I cannot imagine that the city can go forward legally without addressing the concerns of the current community.

It is obvious that the major concerns of the entire local community have not been properly addressed or presented to the board/mayor.

I feel that the community has not been given the proper knowledge on this project. Yes I know it is online but that is not enough. We need to get the current community involved in this project. Not only Willis road residents will be affected by this project. Eric, how can you help get the community properly informed & involved?

Eric our community deserves the same kind of guidance that you and the city are providing the developers, it is clear that is not happening. It is clear that you are providing them with an unfair advantage over our community. You are walking the developers through this process to get what they want, regardless of the impacts to our community. Stop trying to push this past us like we don't matter.

The City of Chandler has a responsibility to tend to the best interest of the community, not their own agendas.

Eric if you or the City of Chandler are the Developer's council or advocate; that is walking them step by step telling them what to do, say and what not to say, to achieve their goals and avoid resolutions and responsibility to our concerns. Then the city needs to provide the current chandler residents with a professional representative and council.

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: Kevin and Christal <kcbiesty@hotmail.com>
To: mayor&council@chandleraz.gov
Date: 05/25/2013 12:18 PM
Subject: Question regarding Rezoning Case DVR12-0042/PPT13-0003 Mumtaz Gated Community

Hello Mayor Tibshraeny and Members of the Chandler City Council,
I have a question regarding the Rezoning application in the subject line that I was hoping you could get to the right person for an answer.

Is the proposed mosque on the property planning to, or will be allowed to, broadcast calls to prayer?

Thank you for your time and service to the City of Chandler.

Kind Regards,

Kevin & Christal Biesty

961 E Wildhorse Dr.

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: "Ann Huberty" <ahuberty@submort.com>
To: <kevin.hartke@chandleraz.gov>
Date: 06/04/2013 01:36 PM
Subject: The MUMTAZ project on Willis and McQueen

Good afternoon.....

I have been a Chandler resident since 1983, I have lived in the Las Casitas Del Sur subdivision since 2002 which is located on the East side of McQueen between Willis and Pecos Roads. As you are aware, there is an ongoing rezoning hearing for the Agricultural parcel along Willis Rd East of McQueen. The parcel was once owned by ADOT I believe, as it was once used by ADOT when they were building the 202. The developer who purchased the parcel of land from ADOT now wants to build a townhouse project, therefore the rezoning hearing.

The residents in my subdivision are very concerned with this project, as are the residents who live along Willis Rd and other neighborhoods along McQueen Road. This townhouse project has taken everyone by surprise. The proximity of this project to the 202 freeway entrance is going to cause many traffic problems. All of the residents who live along Willis Rd cannot turn left onto McQueen. Willis Rd is so close to the 202, that there is a concrete medium preventing any left turns, thus everyone has to turn right onto McQueen (north) and then will have to do a U turn in the middle of McQueen to head back south to enter the 202 freeway. We already have so many issues with traffic situations now in this area. Our subdivision is about one block from Willis Rd, we constantly have cars turning into our entry area to do U turns. Our entry area is gated, so there are always cars blocking us from getting in and out of our subdivision. I can only imagine how much worse this is going to be, let alone the danger involved. The traffic coming off of the 202 already runs the stop sign there, turning right (north) onto McQueen. We have had a handful of our subdivision residents who have either been rear ended or hit broad side by reckless traffic traveling on McQueen. Willis Road is also a dead end road, so there is no other way in or out for the residents who live on Willis Rd. Willis Rd dead ends up to the canal. The City water treatment plant is on the north side of Willis which will be just past the proposed project. I really feel sorry for the residents who live on Willis Road, if this project passes. Willis Rd is a narrow road with no sidewalks, curbs, or water drainage. I don't know how they are going to handle the increase in traffic in front of their homes. The traffic back up in front of their homes will be an issue. Since there will be no left turns, the traffic will have to sit and wait for the freeway / McQueen traffic to subside. I have read some of the City's meeting minutes and one suggestion was to have ADOT change the traffic light pattern to help ease the traffic flow. I really don't see how changing the traffic light pattern is going to help with any of this.

Lastly, we are also concerned with the project itself. The developer has been advertising this project as a townhouse project that will have its own Mosque. I have attached the information that I personally printed from the MUMTAZ website. Shortly after I was able to print this information, the website was taken down. That is also a concern. Why did the developer take

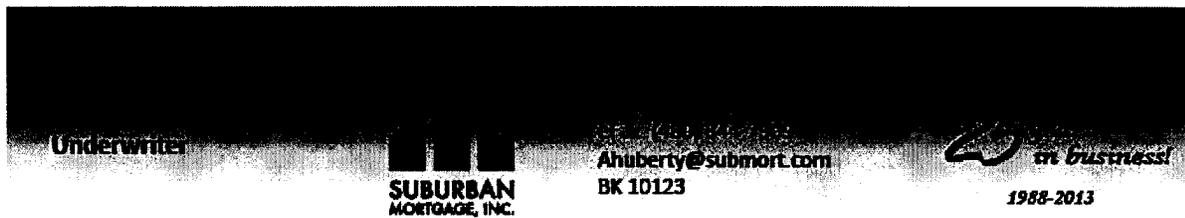
down the website ? From what I understand, the developer cannot advertise or even suggest that this project will have its own Mosque. I have contacted some employees from the City Planning office and I shared this information with them. I was told that the developer cannot be advertising the Mosque, but that he can advertise "prayer rooms". The "prayer rooms" cannot be used by anyone other than the residents of the project. That is something else I am concerned with, how is that going to be regulated. Even though the developer might now be calling this a "prayer room", how can we be sure that only the residents will be utilizing this. Is this also going to be bringing in more and more traffic from other people using the "prayer rooms" . Where will they be parking, all along Willis Rd on the residents properties, again there are no sidewalks, curbing and such on Willis Rd. I was also told by some of the City Planning employees that the developer was told that he cannot have any "crescent moons" on top of the Mosque. I know that this is a touchy subject in the world we live in, being politically correct and such, but I am very concerned about all of this. How is this going to impact the property values for everyone in the immediate area, especially those families that live on Willis Road and have lived there for over 30 years.

I will be at the City Council meeting on June 13th , and I hope that we will hear some answers to our many questions...

I would also like a response from you from this email if you have the chance.

Sincerely,

Concerned Chandler Resident
Ann Huberty
1183 E. Longhorn Pl
Chandler, AZ 85286



[Click here to send me a file securely](#)



20130516091048396.pdf

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: MOMRAZZ@aol.com
To: christina@timespublications.com, MAYOR&COUNCIL@CHANDLERAZ.GOV
Cc: momrazz@aol.com, MAGM824@aol.com
Date: 05/31/2013 07:19 AM
Subject: CONCERNS WITH TRAFFIC

I AM VERY CONCERNED ABOUT THE FUTURE AND PRESENT TRAFFIC ON MCQUEEN BETWEEN PECOS AND THE 202 IN CHANDLER..WITH THE NEW DEVELOPMENT OF 67 TOWN HOMES ON VERTUALLY SUCH A SMALL AREA THE TRAFFIC WILL BE MORE THAN EXPECTED...ONLY RIGHT TURNS FROM WILLIS ONTO MCQUEEN [BECAUSE OF AN ISLAND IN THE MIDDLE] AND EXITS FROM THE 202 [RIGHT ONLY]..NO MATTER WHAT ANYONE SAYS TO THE CITY COUNCIL ABOUT OUR CONCERNS THEY HAVE INTENTIONS OF CONTINUING THIS PROJECT...IT IS A DISASTER WAITING TO HAPPEN SO MAYBE IT SHOULD BE LOOKED INTO WITH MORE CONCERN AND THOUGHT BEFORE IT S DEVELOPMENT STAGES...THANK YOU KAREN GOREY IN LAS CASITAS DEL SUR

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: MOMRAZZ@aol.com
To: MAYOR&COUNCIL@CHANDLERAZ.GOV
Cc: MAGM824@aol.com, momrazz@aol.com
Date: 06/04/2013 06:37 PM
Subject: STOP THE MUMTAZ COMMUNITY PROJECT WE ARE AGAINST IT

TRINITY DONOVAN
CHANDLER CITY COUNCIL MEMBER
OFFICE OF THE MAYOR AND CITY COUNCIL STOP603P.O.BOX4008
RE:MUMTAZ GATED COMMUNITY DVR12*0042 ZONING CHANGE REQUEST

I am longtime resident of Chandler **We oppose and formally protest the Mumtaz Gated Community Development DVR12-0042 requested zoning change on the Willis and McQueen. Please regard this as our legal and formal protest of the project. We oppose this for the following reasons:**

- 1. The overall look and fit of this project -this gated compound and religious facility does not fit in with the surrounding homes and buildings. The look and style of the buildings do not fit into the look of our neighborhood at all. The large dome on the mosque is at least three stories high and will stand out with its dramatic and distinctive crescent moon on the top. The existing homeowners purchased their land and homes here because of the look and feel of the neighborhood. This is an agricultural area with low density single family homes and we would like to keep it that way. We feel that allowing a zoning change to high density, for medium priced townhouses with a religious facility in this type of compound would detrimentally affect the value of our real property.**
- 2. Lack of demand or interest from residents - there have been no requests, need or demand for this type of gated compound and the existing residents in this area of Chandler have not been requesting or seeking out this type of compound or religious facility. Therefor we feel there is no justification or compelling reason to change the zoning from AG-1 (agriculture) to high density residential and to allow a religious facility to be built here.**
- 3. The traffic congestion situation – During rush hour it is already difficult getting in and out of our neighborhood on to McQueen, especially when headed south to the 202 freeway. Sixty nine townhomes and an estimated 140 more cars daily (more when outside vehicles would come for religious ceremonies and evening prayers) would dramatically increase the number of vehicles turning from Willis onto McQueen. Most vehicles would be attempting to enter the 202, yet Willis Road is so close to the freeway that there is a median to prevent turns to the south. This simply means that all traffic from the compound and mosque will be forced to turn right (north) on McQueen and make U-turns or use either the Mormon church or our neighborhood entrance as a turn around. There have already been numerous accidents because our entrance area is so small and traffic can get backed up in front of our gate causing vehicles to hang out in the traffic flowing north.**
- 4. Advocacy of a developer's interests over those of existing residents and lack of transparency by the city - the city has been less than transparent in attempting to recommend**

approval of this project. Throughout the process, the idea of a small townhouse development has been how the city of Chandler planners have described what was happening on Willis. Because our neighborhood is 625 ft away (rather than the 600 required to provide notice) none of the home owners were aware of what was going on. A few walked down on Willis and saw the orange sign board which simply stated that a new townhouse development was seeking a change in zoning. When we did become aware of the project, what was shown was a small townhouse development. The project is now 4 times as large as when the Transportation & Development – PZ Memo No. 13-005 went out on January 7, 2013! As stated above, **we oppose and formally protest the Mumtaz Gated Community Development requested zoning change on the southeast corner of the Willis and McQueen. Please regard this as our formal legal protest.** No assurances of fixing the traffic situation or claiming that the structure will not be used for a religious facility will assuage our concerns. There are many other areas of Chandler for this type of facility. I suggest that the developer attempt to build elsewhere and perhaps would have better luck being transparent and leveling with the surrounding residence from the beginning of the process.

DENIENE GOREY 1041 E HAWKEN WAY CHANDLER AZ 4802756183

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: Glenn Hamp <glenn@lightrainimages.com>
To: "Mayor&Council@chandleraz.gov" <Mayor&Council@chandleraz.gov>, "jay.tibshraeny@chandleraz.gov" <jay.tibshraeny@chandleraz.gov>, "jack.sellers@chandleraz.gov" <jack.sellers@chandleraz.gov>, "trinity.donovan@chandleraz.gov" <trinity.donovan@chandleraz.gov>, "nora.ellen@chandleraz.gov" <nora.ellen@chandleraz.gov>, "kevin.hartke@chandleraz.gov" <kevin.hartke@chandleraz.gov>, "rick.heumann@chandleraz.gov" <rick.heumann@chandleraz.gov>
Date: 06/05/2013 11:52 AM
Subject: Petition and Formal protest of the Mumtaz development

Dear Mayor Tibshraeny and councilmembers:

I have attached a formal protest and petition for residents in the area which will be impacted by the proposed Mumtaz Mosque and gated compound. We find the project ill-conceived with large traffic issues, without compelling reasons for zoning changes and the whole process of approval by the city planners to be opaque and one-sided. By one-sided, I mean the city planners appear to be advocating and working for the developer to coach and promote the project at the expense of the existing Chandler homeowners and registered voters.

A couple of quick examples:

First, notice is required to be provided to all residences within 600 ft of the project. No notice was provided to the homeowners in our community because we are 650 ft away! This sounds like following the letter of the law, but not the intent of the law. The impact of the traffic snarl will be felt right at our community entrance NOT 600 feet away! We found out about this project through the grapevine and started emailing each other, banding together, meeting in our homes in an obvious pushback against a city government that (should) works for us??? I can tell you that the homeowners in this area, don't feel like the City of Chandler is on the side of the existing long-term residents.

Second, Erik Swanson the city's chief planner, is providing advice on window dressing to get the project approved without regard for any realistic enforcement. For example, there is already a traffic issue with vehicles attempting to get to the 202 from Willis. The drivers are forced to turn north, then make a U

turn (at or in front) of our entrance to turn south to the freeway. The project calls for a 69 townhomes surrounding a mosque. A mosque is a religious facility that will draw visitors from out of the neighborhood, increasing the traffic volume far even beyond the challenge that the 69 new homes will bring. We have Mr. Swanson, on the record (see attached email Exhibit 2) stating that he simply told the developer to call the mosque a prayer room with recreational facilities for the residents use only, yet the developer is promoting the mosque on his web site! Of course the developer will give the required lip service to get his project approved. Let's get real!

Please review the attached protest letter and petition signatures.

Thank you for your help,

Glenn Hamp



1123 E Longhorn Pl Mumtaz_Formal_Petition6.4.13.pdf Petition_Against_Mumtaz_Signatures.pdf

----- Forwarded by Susan Moore/COC on 06/07/2013 10:30 AM -----

From: MAGM824@aol.com
To: mayor&council@chandleraz.gov
Cc: MAGM824@aol.com
Date: 06/05/2013 12:18 PM
Subject: stop the mumtaz project toooo much traffic

TRINITY DONOVAN
CHANDLER CITY COUNCIL MEMBER
OFFICE OF THE MAYOR AND CITY COUNCIL STOP603P.O.BOX4008
RE:MUMTAZ GATED COMMUNITY DVR12*0042 ZONING CHANGE REQUEST

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Road is so close to the freeway that there is a median to prevent turns to the south. This simply means that all traffic from the compound and mosque will be forced to turn right (north) on McQueen and make U-turns or use either the Mormon church or our neighborhood entrance as a turn around. There have already been numerous accidents because our entrance area is so small and traffic can get backed up in front of our gate causing vehicles to hang out in the traffic flowing north.4. Advocacy of a developer's interests over those of existing residents and lack of transparency by the city - the city has been less than transparent in attempting to recommend approval of this project. Throughout the process, the idea of a small townhouse development has been how the city of Chandler planners have described what was happening on Willis. Because our neighborhood is 625 ft away (rather than the 600 required to provide notice) none of the home owners were aware of what was going on. A few walked down on Willis and saw the orange sign board which simply stated that a new townhouse development was seeking a change in zoning. When we did become aware of the project, what was shown was a small townhouse development. The project is now 4 times as large as when the Transportation & Development - PZ Memo No. 13-005 went out on January 7, 2013! As stated above, **we oppose and formally protest the Mumtaz Gated Community Development requested zoning change on the southeast corner of the Willis and McQueen. Please regard this as our formal legal protest.** No assurances of fixing the traffic situation or claiming that the structure will not be used for a religious facility will assuage our concerns. There are many other areas of Chandler for this type of facility. I suggest that the developer attempt to build elsewhere and perhaps would have better luck being transparent and leveling with the surrounding residence from the beginning of the process.

DENIENE GOREY 1041 E HAWKEN WAY CHANDLER AZ 4802756183

community center, doubled the amount of parking from 17 to 35 guest spaces, modified the color palette, and reduced the area of the prayer hall from 2,295 square feet to 1,490 square feet.

Following the City Council hearing, City Council and Planning Staff have received a number of emails and phone calls in opposition to the request. Emails in opposition are attached.

RECOMMENDATION

The request is for Rezoning from AG-1 to PAD along with PDP approval for a townhome development. Planning Commission and Planning Staff, upon finding consistency with the General Plan, Chandler Airpark Area Plan and PAD zoning, recommend approval with conditions.

BACKGROUND

The subject site is located east of the southeast corner of McQueen and Willis roads, and was recently annexed and granted a City initial zoning designation of AG-1. The site is located within the nine square miles Chandler Airpark Area Plan and designated as supporting high-density residential allowing for residential density up to 18 units per acre. West of the subject site is an existing Arizona Department of Transportation (ADOT) facility located within the jurisdiction of the County. North are single-family homes with agricultural privileges also located within the County. East is vacant land zoned PAD for multi-family residential development. The subject site abuts the Santan Loop 202 freeway, and is a remnant piece from the development of the Santan Loop 202 freeway.

SITE LAYOUT/BUILDING ARCHITECTURE

The development is proposed as a gated single-family townhome development with 22 three-unit townhomes for a total of 66 units at an overall density of 11 dwelling units per acre. One main point of entry is provided along Willis Road, with a secondary emergency access point located at the site's east end. The entry terminates at the community center, which serves as the main amenity area and focal point of the community. The community center provides a centralized gathering area/prayer room, library, multi-purpose room, kitchen area, fitness areas, and basketball court. A children's amenity area is provided at the southeast corner of the site.

While townhome development is considered single-family residential, the residential development standards do not directly apply; similarly multi-family development standards do not apply. Although residential design standards do not apply, the development provides sufficient outdoor areas and community amenities that meet the intent of the guidelines from a design standpoint.

Three building types are provided with three units per building. Square footage of the units range from 1,803 square feet up to 1,881 square feet, and all include three bedrooms. Each unit is two-story. With each building type a number of color schemes are provided, ensuring variation of the street scene. Additionally, each unit has a modest rear yard area of ten-feet; typical of recent similar approvals. Building type three presents a unique opportunity for multi-generational living. The design team has incorporated a second-story stand-alone unit that allows for flexibility in living arrangements allowing for multi-generational families to have individual

areas. Rental of the units will be restricted through covenant, conditions, and restrictions (CC&R's). It should be noted that for building type three the garage shows one separate parking stall per unit, the interior demising wall was inadvertently left in the design; the wall will be removed as each unit is required to provide two covered parking stalls.

DISCUSSION

Due to the site limitations in depth and width, the layout presents unique development opportunities. Implementation of addressing the limitations has produced a minimized front setback, and reduced internal roadway width from typical roadway standards. Typical residential development produces typical front yard setbacks of 10 to 20 feet from single-family detached housing. As proposed, the front setback varies from 2 to 6 feet. While this type of design eliminates the ability of parking in a driveway, ample guest parking is provided at the community center. Due to the proposed reduced right-of-way widths of the internal drives of the community, the development is designated as a "private" roadway allowing for a reduced width from typical public street standards. While concerns generally arise when street widths are reduced requiring the elimination of on-street parking, due to the providing of guest parking, concerns are remediated. Additionally, the development team has worked with the City to ensure that all utilities can be accommodated within the reduced street.

AIRPORT COMMISSION

The Airport Commission found that there were no conflicts between airport operations and the proposed development, but wanted to ensure that disclosure statements would be provided to future residents that there may be aircraft noise. Staff has added condition no. 10 addressing disclosure of airport operations in the vicinity.

PUBLIC/NEIGHBORHOOD NOTIFICATION

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- A neighborhood meeting was held on Monday, February 11, 2013. Five neighbors were in attendance. All five neighbors are adjacent to the development along the north side of Willis Road. No direct opposition to the proposed land use was stated; however there were strong concerns expressed over traffic patterns and general circulation along Willis Road and how the neighbor's parcels may be impacted. Due to Willis Road being a dead-end street, solutions to providing multiple access points are limited, and may best be examined once development occurs north of Willis Road. In light of this, the Traffic Division has reviewed traffic volumes along McQueen Road and currently reports that McQueen Road has not yet approached maximum volume, nor is it anticipated to approach volumes until 2030. If traffic patterns pose a concern for both the existing and future residents of the area, the Traffic Division has the ability to review signal timing to off-set any continuous traffic flows. Concerns were also expressed regarding annexation and connections to city utilities in the future.

As mentioned above, following the City Council hearing on May 6th, Planning Staff has received a number of emails opposed to the request. Emails are attached.

PLANNING COMMISSION VOTE REPORT

Motion to Approve:

In Favor: 3 Opposed: 1 Absent: 3 (Baron, Donaldson, Pridemore)

The request was placed on the Action Agenda due to Planning Staff being aware of traffic concerns expressed by the neighbors to the north, and their interest in attending the meeting. One neighbor planned on speaking, but was unable to make the meeting; however the neighbor has emailed Planning Staff expressing concerns. The emails are attached.

Planning Commission discussed the item with particular concerns regarding circulation, freeway noise, and the color palette. At the meeting the applicant explained that the colors did not clearly translate from the elevations to the paint palette exhibit; the colors have been updated for the Council development booklets. Regarding freeway noise, Planning Staff ensured Planning Commission that the development underwent a sound study and that if a noise attenuation wall is required, then the wall will be built. Condition no. 11 was added to satisfy any remaining concerns. Lastly, Commission discussed traffic concerns with Willis Road and ultimately came to the conclusion that traffic will be generated with any type of development and that with the ability of the City to offset signal times that traffic concerns could be sufficiently addressed.

RECOMMENDED ACTION

Rezoning

Planning Commission and Planning Staff, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommend approval of DVR12-0042 MUMTAZ GATED COMMUNITY, Rezoning from AG-1 to PAD for a single-family residential townhome development, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "MUMTAZ GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0042, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent rights-of-way and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.

5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The CC&R's to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Mumtaz Gated Community development shall use treated effluent to maintain open space, common areas, and landscape tracts.

9. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of

each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

10. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:

- a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.
- b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
- c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
- d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.

- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from an aircraft. A registered engineer shall certify that the project is in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”

- 11. The development shall provide sound attenuation measures in accordance with ADOT standard details and requirements excepting any decibel reductions or sound attenuation credits for the use of a rubberized asphalt paving surface. Any noise mitigation, if required, is the responsibility of the development.

Preliminary Development Plan

Planning Commission and Planning Staff, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommend approval of DVR12-0042 MUMTAZ GATED COMMUNITY, Preliminary Development Plan approval for a single-family residential townhome development, subject to the following conditions:

- 1. Development shall be in substantial conformance with the Development Booklet, entitled “MUMTAZ GATED COMMUNITY”, kept on file in the City of Chandler Planning Services Division, in File No. DVR12-0042, except as modified by condition herein.
- 2. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
- 3. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
- 4. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

PROPOSED MOTIONS

Rezoning

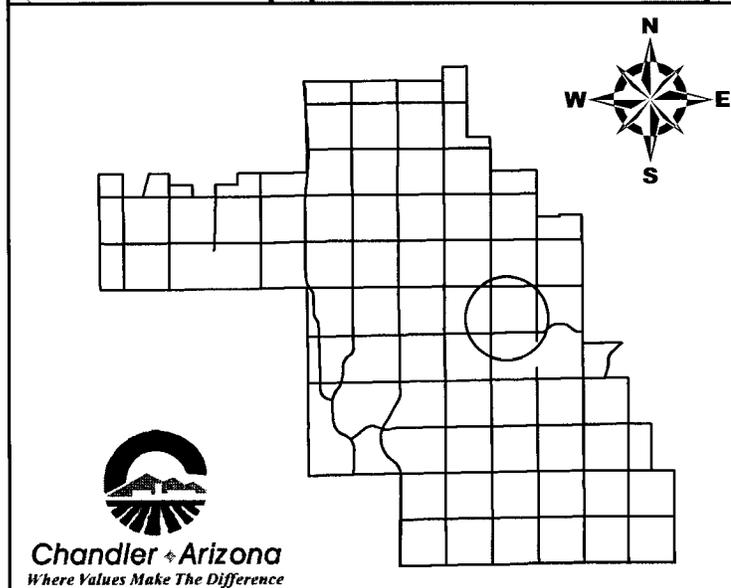
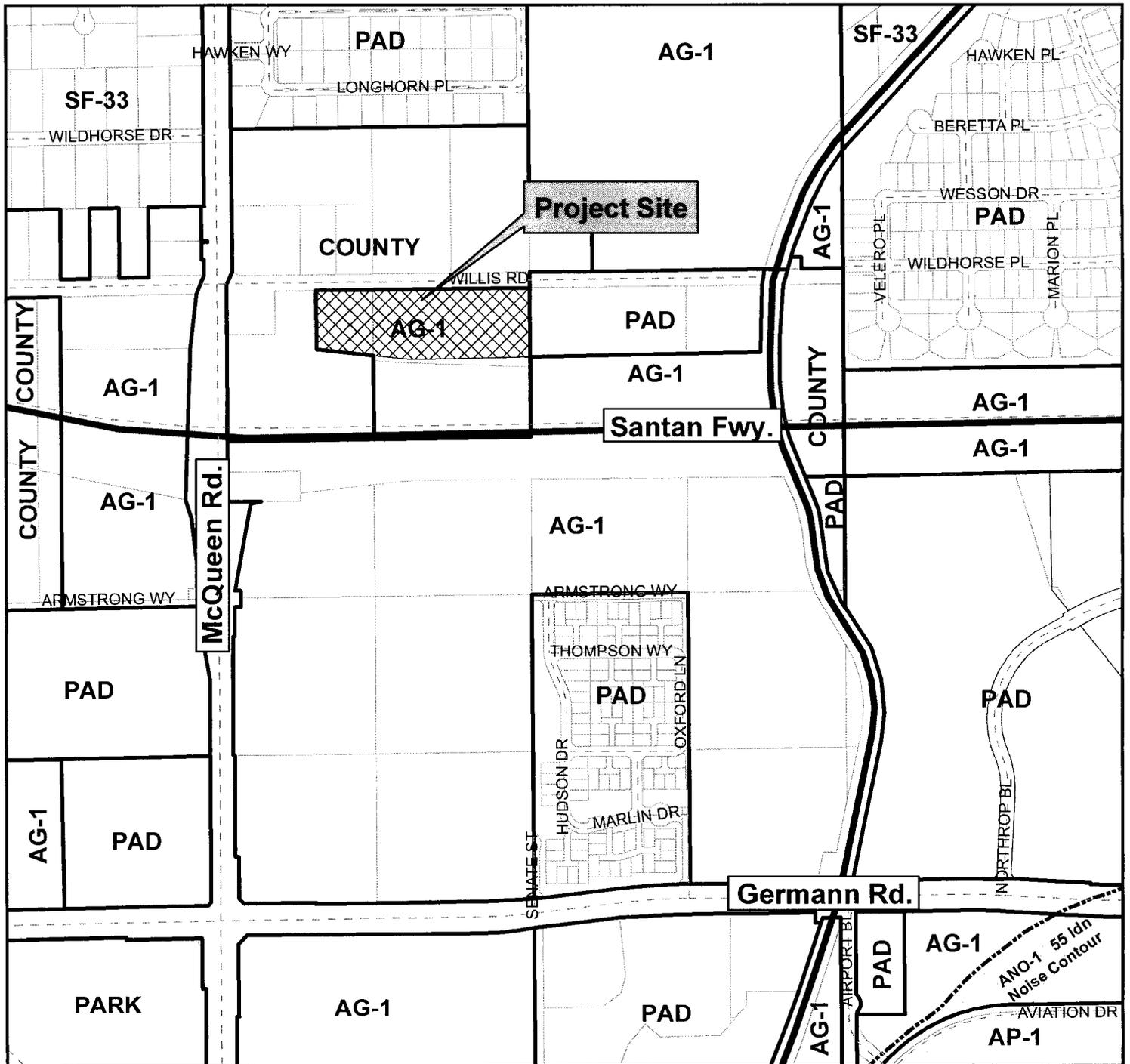
Move to Introduce and Tentatively Adopt Ordinance No. 4454, approving case DVR12-0042 MUMTAZ GATED COMMUNITY, Rezoning from AG-1 to PAD for a single-family residential townhome development, subject to the conditions as recommended by Planning Commission and Planning Staff.

Preliminary Development Plan

Move to approve DVR12-0042 MUMTAZ GATED COMMUNITY, Preliminary Development Plan for a 66 unit single-family residential townhome development, subject to the conditions recommended by Planning Commission and Planning Staff.

Attachments

1. Vicinity Maps
2. Site Plan
3. Floor Plans and Elevations
4. Emails
5. Ordinance No. 4454
6. Development Booklet

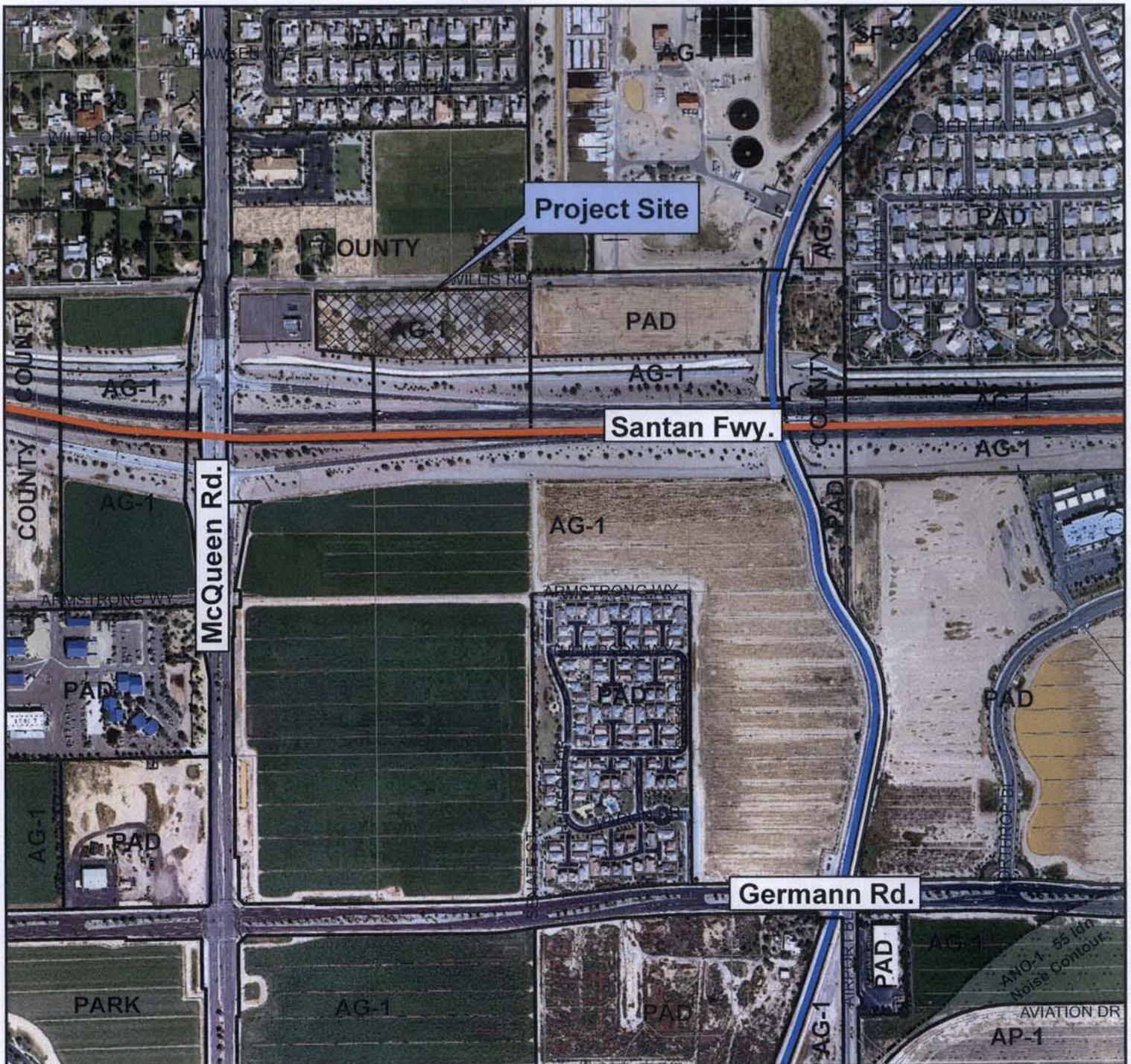


Vicinity Map

DVR12-0042

Mumtaz Gated Community

CITY OF CHANDLER 11/28/2012

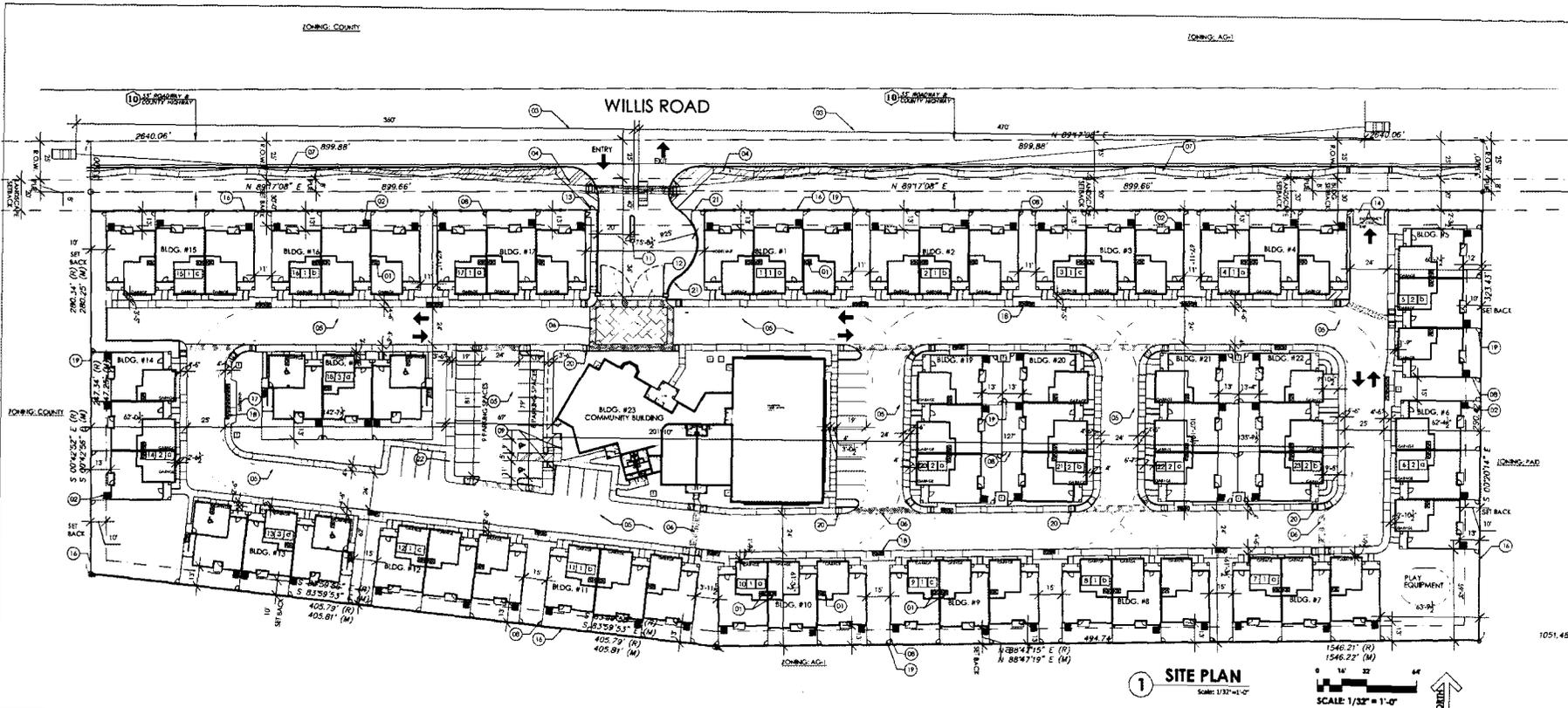


Vicinity Map

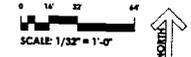


DVR12-0042

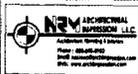
Mumtaz Gated Community



1 SITE PLAN
Scale: 1/32" = 1'-0"



SITE DATA	GENERAL NOTES	KEY NOTES	SYMBOLS
<p>RELIEF: GROSS AREA = 283,987 SF = 6.5 ACRES NET AREA = 261,422.83 SF = 6.0 ACRES</p> <p>SETBACKS: REAR: 40'-0" PROPOSED: PAID PLANNED AREA DEVELOPMENT</p> <p>PERMIT: PROVIDER: 640.0 / 6.0 NET ACRES = 11.00 D.U. PER ACRE</p> <p>ALLOWED: 45-0' PROPOSED: 42'-0"</p> <p>BUILDING TYPE: BUILDING TYPE 1 FIRST FLOOR 3,972.33 SF SECOND FLOOR 3,984.83 SF BUILDING TYPE 2 FIRST FLOOR 3,924.33 SF SECOND FLOOR 3,946.83 SF BUILDING TYPE 3 FIRST FLOOR 3,073.22 SF SECOND FLOOR 4,100.15 SF COMMUNITY BUILDING FIRST FLOOR 11,930 SF SECOND FLOOR 0</p> <p>OPEN SPACE CALCULATION: BUILDING TYPE 1 SECOND FLOOR AREA (LARGER AREA) = 3,984.83 SF TOTAL AREA = 3,984.83 / 17 BUILDINGS = 233.81 SF 3 UNITS X 13 BUILDINGS = 39 UNITS 3 BEDROOM PER UNIT X 39 UNITS = 117 BEDROOMS</p> <p>BUILDING TYPE 2: SECOND FLOOR AREA (LARGER AREA) = 3,946.83 SF TOTAL AREA = 3,946.83 / 17 BUILDINGS = 232.18 SF 3 UNITS X 7 BUILDINGS = 21 UNITS 3 BEDROOM PER UNIT X 21 UNITS = 63 BEDROOMS</p> <p>BUILDING TYPE 3: FIRST FLOOR AREA (LARGER AREA) = 3,073.22 SF TOTAL AREA = 4,275.72 / 2 BUILDINGS = 2,137.86 SF 3 UNITS X 2 BUILDINGS = 6 UNITS 3 BEDROOM PER UNIT X 6 UNITS = 18 BEDROOMS</p> <p>COMMUNITY BUILDING: FIRST FLOOR AREA = 11,930 SF</p> <p>OPEN SPACE PROVIDED: 100 SF PER BEDROOM X (117+43+18) = 29,700 SF NET GROUND AREA - BUILDING COVERAGE + PARKING (NET) = 4,024,390 SF - 882,779 SF = 3,141,611 SF (4,547,441 - 11,930) / 4,326.16 = 261,422.83 SF 17,424,89 SF = 397,189.74 SF</p> <p>LOT COVERAGE: ALLOWED: 40% PROVIDED: 38% = (31,882,779 / 83,950 - 8,540) / 44 = 11,930 / 4,426,660 SF</p> <p>PARKING: REQUIRED: 2 SPACES X 66 DWELLING UNITS = 132 SPACES 1 GUEST PARKING PER 4 DWELLING UNITS = 16.50 SPACES</p> <p>PROVIDED: 132 GARAGE PARKING 35 GUEST PARKING TOTAL PARKING PROVIDED: 167 SPACES</p> <p>PROVIDER 2 ACCESSIBLE PARKING:</p> <p>GROUP USE: GROUP #1: DWELLING UNITS GROUP #2: PRIVATE GARAGES GROUP #3: COMMUNITY BUILDING</p> <p>CONSTRUCTION CLASSIFICATION: TYPE I-A WITH AUTOMATED SPRINKLER SYSTEM FOR DWELLING UNITS TYPE I-A WITH AUTOMATED SPRINKLER SYSTEM FOR COMMUNITY BUILDING</p>	<p>1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.</p> <p>2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPETS WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.</p> <p>3. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.</p> <p>4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.</p> <p>5. SIGN REQUIRES SEPARATE PERMIT.</p> <p>6. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.</p> <p>7. THERE SHALL BE NO OBSTRUCTION OF SITE LOCATED BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED / CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT / PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.</p>	<p>1. RECYCLE AND TRASH CONTAINER LOCATION AT GARAGE (TYP.)</p> <p>2. GROUND MOUNTED MECHANICAL EQUIPMENT AT REAR YARD. (TYP.)</p> <p>3. SIGHT DISTANCE PER CITY OF CHANDLER.</p> <p>4. VISIBILITY TRIANGLE. GROUND COVER, BUSHES, AND BOULDERS LESS THAN 24" (MATURE) IN HEIGHT, OR TREES TRIMMED TO 6" CLEARANCE ABOVE FINISHED GRADE ALLOWED IN THIS AREA - NO OTHER OBSTRUCTION ALLOWED UNLESS APPROVED BY THE CITY TRANSPORTATION ENGINEER.</p> <p>5. ASPHALT DRIVE WAY. (TYP.)</p> <p>6. PEDESTRIAN CROSSING (TYP.)</p> <p>7. 4' WIDE CONCRETE WALKWAY PER CITY OF CHANDLER.</p> <p>8. LOT SEPARATION LINE BETWEEN UNITS (TYP.)</p> <p>9. ACCESSIBLE PARKING SIGN. REFER TO DTL: 4/A.5.1.</p> <p>10. BIKI RACK. SEE DTL: 3/A.5.1.</p> <p>11. GATE CONTROL MECHANISM.</p> <p>12. WROUGHT IRON GATE WITH PAINT FINISH.</p> <p>13. PEDESTRIAN GATE.</p> <p>14. EMERGENCY ACCESS / EXIT GATE.</p> <p>15. TRASH CONTAINER LOCATION.</p> <p>16. BOUNDARY WALL.</p> <p>17. MAIL BOX LOCATION.</p> <p>18. TEMPORARY TRASH CONTAINER LOCATION- TYP.</p> <p>19. SERVICE DOOR AT BACKYARD. (TYP.)</p> <p>20. ACCESSIBLE RAMP, 1:12 SLOPE. (TYP.)</p> <p>21. WROUGHT IRON PAINTED FENCE.</p> <p>22. OUTLINE OF CAR OVERHANG.</p>	<p>SYMBOLS</p> <p>ACCESSIBLE PARKING AISLE</p> <p>PROPERTY LINE</p> <p>BUILDING SET BACK LINE</p> <p>VEHICLES</p> <p>PEDESTRIAN SAFE WALK WAY</p> <p>COLOR SCHEME</p> <p>BUILDING TYPE</p> <p>BUILDING NUMBER</p> <p>TRASH AND RECYCLE CONTAINER</p> <p>GROUND MOUNTED MECHANICAL UNIT.</p> <p>TRANSFORMER LOCATION</p> <p>SERVICE DOOR AT PARTITION WALL AT BACKYARD.</p> <p>FIRE TRUCK TURNING RADIUS.</p> <p>CONCRETE PAVEMENT</p> <p>CONCRETE PAVEMENT ACCESSIBLE WALK</p> <p>ACCESSIBLE PARKING SPACE AND ACCESSIBLE UNIT.</p> <p>ACCESSIBLE RAMP</p> <p>ACCESSIBLE PARKING SIGN</p>



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
7.0. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



EDWES 8/20/15
NOT FOR CONSTRUCTION
PRELIMINARY

CITY REVIEW SET

PROJECT NO. 105-2012

DATE: 05-30-2013

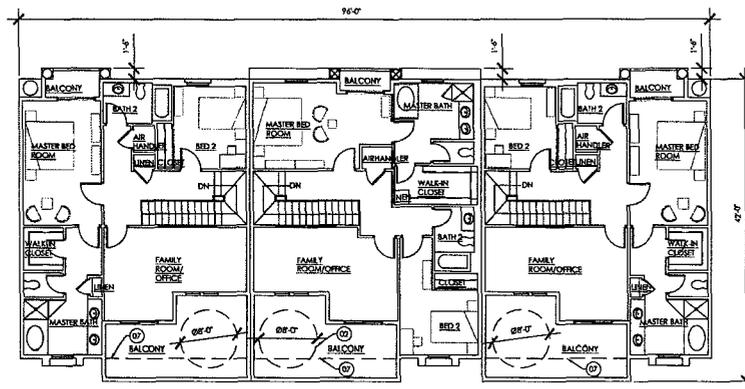
DRAWING TITLE

SITE PLAN

SHEET NO.

A1.1

C.O.C. LOG NO. PRE12-0032

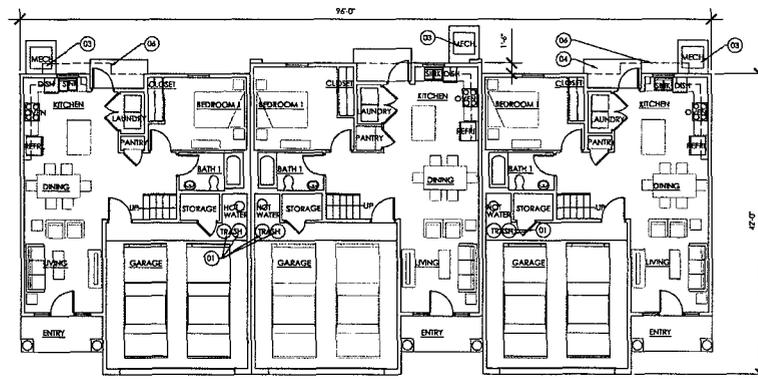


UNIT A-2ND FLOOR (OPP.) **UNIT B-2ND FLOOR** **UNIT A-2ND FLOOR**

2ND FLOOR LIVABLE AREA: 1034 SF 2ND FLOOR LIVABLE AREA: 1049 SF 2ND FLOOR LIVABLE AREA: 1034 SF
 OPEN BALCONY AREA: 184 SF 2ND FLOOR OPEN BALCONY: 184 SF OPEN BALCONY AREA: 184 SF

GROSS 2ND FLOOR AREA: 3984.83 SF

2 BUILDING TYPE 1 - SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



UNIT A-1ST FLOOR (OPP.) **UNIT B-1ST FLOOR** **UNIT A-1ST FLOOR**

1ST FLOOR LIVABLE AREA: 772.30 SF 1ST FLOOR LIVABLE AREA: 818.81 SF 1ST FLOOR LIVABLE AREA: 772.30 SF
 GARAGE AREA: 451 SF GARAGE AREA: 451 SF GARAGE AREA: 451 SF

GROSS 1ST FLOOR AREA: 3,972.33 SF

1 BUILDING TYPE 1 - FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTES:

BUILDING OCCUPANCY:

GROUP: R-2 DWELLING
 U PRIVATE GARAGE

CONSTRUCTION CLASSIFICATION:

V-8 WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES: (M)

- TRASH CONTAINER AND RECYCLE CONTAINER.
- CIRCLE INDICATES REQUIRED OPEN SPACE (TYP.)
- MECHANICAL EQUIPMENT (GROUND MOUNTED)
- CONCRETE SLAB ON GRADE.
- OUTLINE OF BALCONY AT 2ND FLOOR.
- OUTLINE OF ROOF ABOVE.

GENERAL NOTES PER CITY OF CHANDLER

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:

- EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
- EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
- STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
- WINDOWS ARE TREATED WITH SHADING DEVICE, SHUTTERS, MOST OF WINDOWS ARE RECESSED.
- ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
- ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R 30 INSULATION MIN.
- ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
- SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
- MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.



CLIENT:
 MAES HOMES
 MAES ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



DATE: 05-30-2012
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 05-30-2013

DRAWING TITLE
BUILDING TYPE 1 - 1ST & 2ND FLOOR PLANS

SHEET NO.

A3.1.1

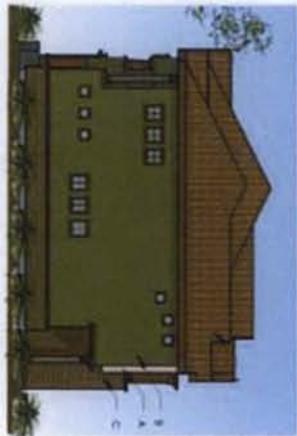
C.O.C. LOG NO. PRE-12-0032



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "D"

Material	Color	Notes
1	Light Tan	Stucco
2	Dark Green	Stucco
3	Dark Green	Stucco
4	Dark Green	Stucco
5	Dark Green	Stucco
6	Dark Green	Stucco
7	Dark Green	Stucco
8	Dark Green	Stucco
9	Dark Green	Stucco
10	Dark Green	Stucco

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SUPPORTED BY AN INDEPENDENT STRUCTURE. THE HOIST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MAINTENANCE WALLS AND GATES EQUAL TO OR GREATER THAN THE HOIST POINT ON THE MECHANICAL EQUIPMENT SHALL COVER ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING, MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

REGISTERED ARCHITECT
 ARIZONA, U.S.A.
 32254
 HAGREN RAHMAN
 MOJIB
 Expires 03/31/2015

C.O.C. LOG NO. PRE12-0032

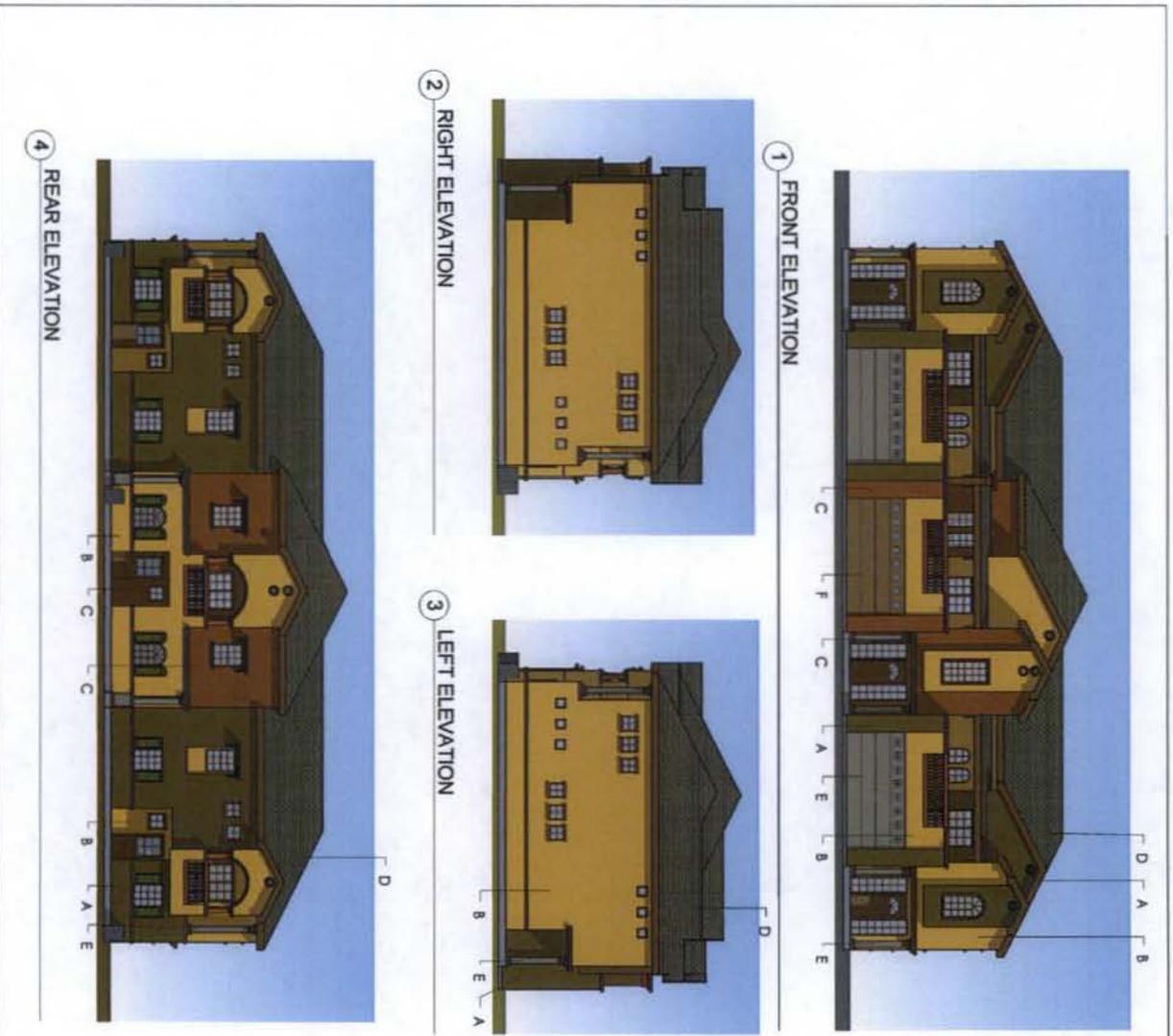
CITY REVIEW SET
 PROJECT NO. SA-2015
 DATE 02-20-15
 DRAWING TITLE
 BUILDING TYPE 1
 COLOR SCHEME
 "D"
 SHEET NO.
 A3.1.2 - D

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CLIENT:
 MARS HOMES
 MARS INTERESTS LLC
 P.O. BOX 12793
 CHANDLER, AZ 85246

MUMTAZ RAHMAN ARCHITECTS, LLC
 1000 W. BUCKLEBOURNE DRIVE
 CHANDLER, AZ 85224



EXTERIOR COLOR SCHEME "B"

MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	ESBERT BROWN SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
B	[Color swatch]	HONICCOMB SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
C	[Color swatch]	MOY SHERWIN WILLIAMS	STUCCO SYSTEM ON WALL
D	[Color swatch]	MANUFACTURER IS TEL OR WRITE	HOOF BLE
E	[Color swatch]	CHARCOAL SHERWIN WILLIAMS	STUCCO GARAGE DOOR
F	[Color swatch]	LOCALITY TAN SHERWIN WILLIAMS	GARAGE DOOR

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM THE NEIGHBORHOOD TO OR GREATER THAN THE HEIGHT POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MOUNTED WALLS AND GAINS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIREMENTS SEPARATE PERMIT.
4. FINISHING MATERIAL AND PAINT COLORS SHALL VARY PER REGIONAL, MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNERS PRIOR TO CONSTRUCTION.



C.O.C. LOG NO. PRE12-0032

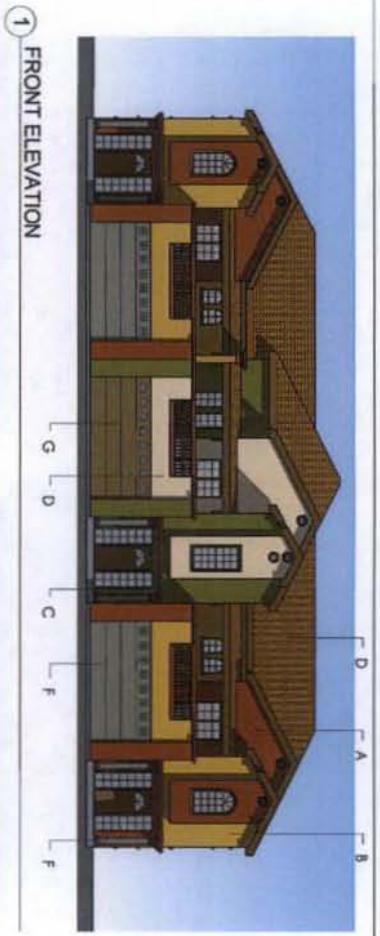
DRAWING TITLE
ELEVATIONS
 BUILDING TYPE 1
 COLOR SCHEME
 "B"

SHEET NO.
A3.1.2-b

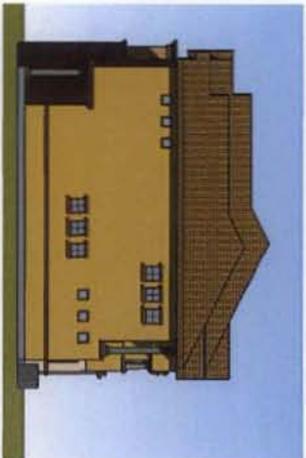
MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

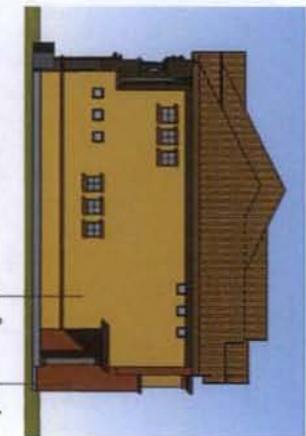
CLIENT
 MAH HOMES
 MAH DEVELOPERS LLC
 CHANDLER, AZ 85068



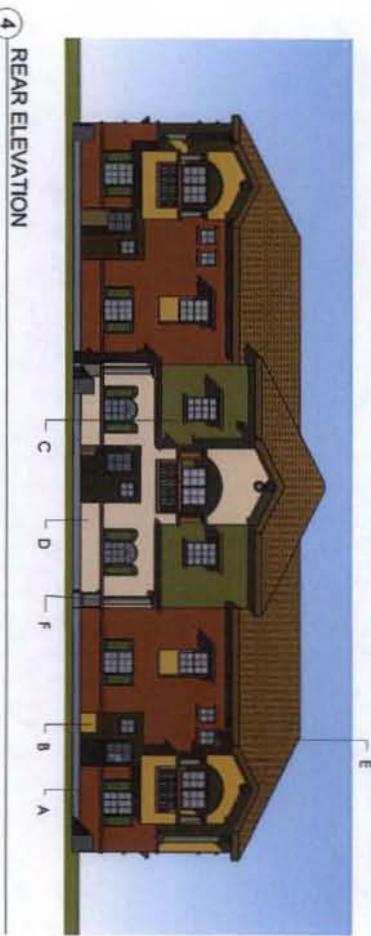
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "C"

NAME	COLOR	COLOR NUMBER/PAINT	SURFACE
A	[Color swatch]	TRICO	TRICO ON
B	[Color swatch]	TRICO	TRICO ON
C	[Color swatch]	TRICO	TRICO ON
D	[Color swatch]	TRICO	TRICO ON
E	[Color swatch]	TRICO	TRICO ON
F	[Color swatch]	TRICO	TRICO ON
G	[Color swatch]	TRICO	TRICO ON

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARALLEL WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND PARTS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN SCREENS SEPARATE FROM.
4. THE ROOF MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING. MATERIAL AND COLOR STANDARDS SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO COMMENCEMENT.



REGISTERED ARCHITECT
MUSTAFA M. MALLA
32254
ARIZONA, U.S.A.
EXPIRES 00/1/2016

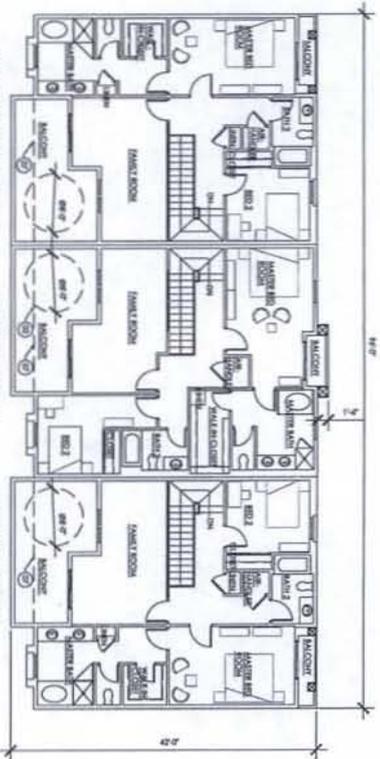
C.O.C. LOG NO. PRE12-0032

CITY REVIEW SET
PROJECT NO. 10-009
DATE 08-08-09
DRAWING TITLE ELEVATIONS BUILDING TYPE 1 COLOR SCHEME "C"
SHEET NO. A3.1.2-C

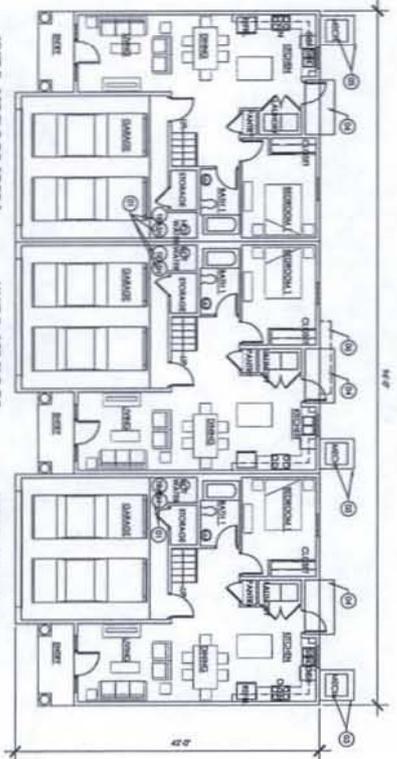
MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
M&B HOMES
M&B ENTERPRISES LLC
P.O. BOX 13728
CHANDLER, AZ 85248



2 BUILDING TYPE 2 - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"
2ND FLOOR FINISH AREA: 1,027 SF
GROSS BALCONY AREA: 164 SF
GROSS 2ND FLOOR AREA: 3,945.50 SF



1 BUILDING TYPE 2 - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"
1ST FLOOR FINISH AREA: 1,723 SF
GROSS BALCONY AREA: 87 SF
GROSS 1ST FLOOR AREA: 3,924.33 SF

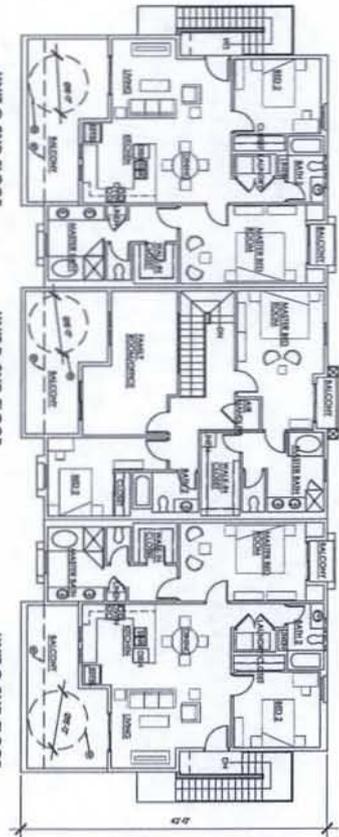
BUILDING INFORMATION:
BUILDING OCCUPANCY: GROUP R-2 DWELLING
CONSTRUCTION CLASSIFICATION: VA WITH AUTOMATIC FIRE SPRINKLER SYSTEM

- KEY NOTES:**
1. TRASH CONTAINERS AND RECYCLE CONTAINERS
 2. CIRCLE INDICATES REQUIRED OPEN SPACE (TYP)
 3. MECHANICAL EQUIPMENT (GROUND CONCRETE SLAB ON GRADE)
 4. OUTLINE OF BALCONY AT 2ND FLOOR
 7. OUTLINE OF ROOF ABOVE

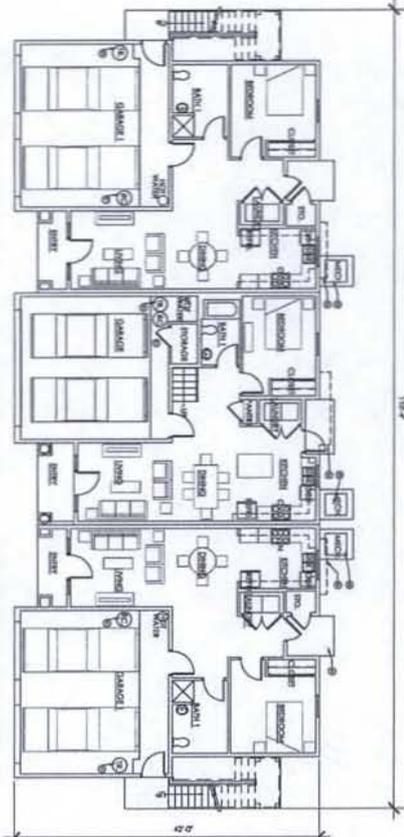
- GENERAL NOTES #18**
CITY OF CHANDLER
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. SOLID MASONRY WALLS AND GABLES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE ROOF OR ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 3. SOFFIT REQUIRES SEPARATE FINISH.
 4. BANDING MATERIAL AND PAINT COLOR SHALL VARY THE SAME AS THAT OF THE EXTERIOR WALLS AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

- ARCHITECTURAL NOTES:**
1. EXTERIOR WALLS SHALL BE 2X4 STUD FRAMING FILLED WITH R-19 BATT INSULATION PER IBC.
 2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
 3. STONE VENEER, OCCASIONAL BRICK, DECORATIVE BRICKWORK AND MASONRY INCLUDING ARE ADDED TO ENHANCE AESTHETIC.
 4. WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS, MOSH OF WINDOWS ARE RECESSED.
 5. ALL GLAZING ARE REGULATED. TAMPERS GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
 6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION PER IBC.
 7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUNDING MOUNTED.
 8. SCREENED PARAPETS TO PROVIDE VISUAL PRIVACY.
 9. MECHANICAL UNITS ARE WITHIN SCREENED BALCONY.

	CLIENT: MAAS HOMES MAAS HOMES LLC CHANDLER, AZ 85284	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona		PROJECT NO.: 100-2013 DATE: 06-20-2013 DRAWING TITLE: BUILDING TYPE 2- FIRST AND 2ND FLOOR PLAN SCALE: A3.21	CITY REVIEW SET PROJECT NO.: 100-2013 DATE: 06-20-2013	G.O.C. LOG NO.: PRE12-00302
	ARCHITECT: MUMTAZ GATED COMMUNITY PHILADANAHY	DATE: 06-20-2013 PROJECT NO.: 100-2013 DRAWING TITLE: BUILDING TYPE 2- FIRST AND 2ND FLOOR PLAN SCALE: A3.21	PROJECT NO.: 100-2013 DATE: 06-20-2013 DRAWING TITLE: BUILDING TYPE 2- FIRST AND 2ND FLOOR PLAN SCALE: A3.21	CITY REVIEW SET PROJECT NO.: 100-2013 DATE: 06-20-2013	G.O.C. LOG NO.: PRE12-00302	



UNIT C-2ND FLOOR (OPF)
 2ND FLOOR OVER AREA: 1087 SF
 2ND FLOOR GROSS FLOOR: 287 SF
UNIT D-2ND FLOOR PLAN TYPE 2
 2ND FLOOR OVER AREA: 1087 SF
 2ND FLOOR GROSS FLOOR: 287 SF
UNIT C-2ND FLOOR
 2ND FLOOR OVER AREA: 1087 SF
 2ND FLOOR GROSS FLOOR: 287 SF
GROSS 1ST FLOOR AREA: 4,100.15 SF
 SCALE: 1/8" = 1'-0"



UNIT C-1ST FLOOR (ACCESSIBLE)
 1ST FLOOR OVER AREA: 817 SF
 1ST FLOOR GROSS FLOOR: 131 SF
 GROSS AREA: 687 SF
UNIT D-1ST FLOOR
 1ST FLOOR OVER AREA: 1119 SF
 1ST FLOOR GROSS FLOOR: 477 SF
 GROSS AREA: 642 SF
UNIT C-1ST FLOOR (ACCESSIBLE)
 1ST FLOOR OVER AREA: 817 SF
 1ST FLOOR GROSS FLOOR: 131 SF
 GROSS AREA: 687 SF
GROSS 1ST FLOOR AREA: 4,273.72 SF
 SCALE: 1/8" = 1'-0"

1ST FLOOR PLAN - BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"

NOTE:
 BELONG OCCUPANT.
 GROUP: R-2 DWELLING
 U - PRIVATE GARAGE
 CONSTRUCTION CLASSIFICATION:
 VA WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

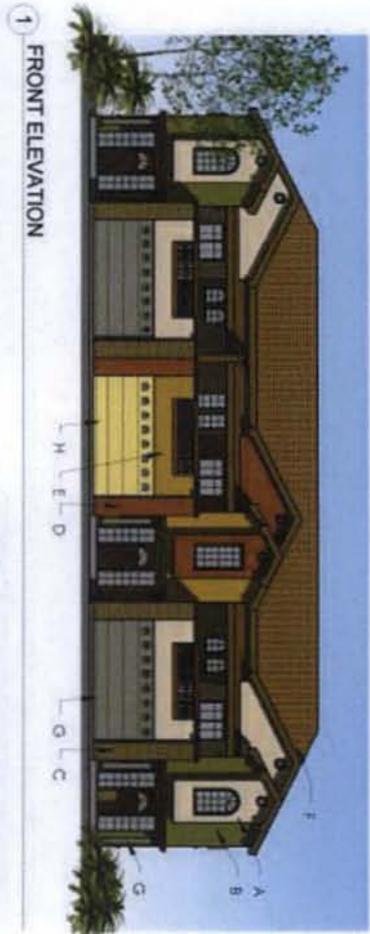
KEY NOTE: @
 1. TRASH CONTAINER AND RECYCLE CONTAINER ARE REQUIRED
 2. OPEN SPACE (TYP)
 3. MECHANICAL EQUIPMENT (GROUND MOUNTED)
 4. CONCRETE SLAB ON GRADE
 5. CONCRETE FLOOR FINISH
 6. OUTLINE OF ROOF ABOVE

GENERAL NOTE PER CITY OF CHANDLER
 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. SOLID MAHONEY WALLS AND GABLES SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 3. ECHO RESISTANT BRACKET SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 4. BUILDING MATERIAL AND PAINT SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 5. CONCRETE SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 6. CONCRETE SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 7. CONCRETE SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

ARCHITECTURAL NOTES
 1. EXTERIOR WALLS SHALL BE FULLY FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION.
 2. EXTERIOR FINISH SHALL BE PERMITTED.
 3. STOVE VENTING, EXHAUSTIVE FAN, EXHAUSTIVE FAN, AND COOK TOP VENTING SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 4. WINDOW ARE TRIMMED WITH SHADING DEVICE, SHUTTER, ACCT OF WINDOW ARE REQUIRED.
 5. ALL GLAZING ARE FIELD AND TRIMMED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
 6. ROOF FINISH OR WOOD FINISH WITH 1/2" INSULATION.
 7. ALL MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED.
 8. SCREENED BACKWARD'S PROVIDE TO RECORD PRIVACY.
 9. MECHANICAL UNIT ARE WITHIN SCREENED BACKWARD.

	CLIENT: MAAS HOMES 1000 N. GILBERT CHANDLER, AZ 85224	ARCHITECTURAL NOTES 1. EXTERIOR WALLS SHALL BE FULLY FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION. 2. EXTERIOR FINISH SHALL BE PERMITTED. 3. STOVE VENTING, EXHAUSTIVE FAN, EXHAUSTIVE FAN, AND COOK TOP VENTING SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. 4. WINDOW ARE TRIMMED WITH SHADING DEVICE, SHUTTER, ACCT OF WINDOW ARE REQUIRED. 5. ALL GLAZING ARE FIELD AND TRIMMED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE. 6. ROOF FINISH OR WOOD FINISH WITH 1/2" INSULATION. 7. ALL MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED. 8. SCREENED BACKWARD'S PROVIDE TO RECORD PRIVACY. 9. MECHANICAL UNIT ARE WITHIN SCREENED BACKWARD.
	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona	ARCHITECTURAL NOTES 1. EXTERIOR WALLS SHALL BE FULLY FINISHED WITH 1/2" GYPSUM BOARD OVER INSULATION. 2. EXTERIOR FINISH SHALL BE PERMITTED. 3. STOVE VENTING, EXHAUSTIVE FAN, EXHAUSTIVE FAN, AND COOK TOP VENTING SHALL BE FULLY SECURED BY PERMANENT WALL BRACKETS, OR GABLETS, OR THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. 4. WINDOW ARE TRIMMED WITH SHADING DEVICE, SHUTTER, ACCT OF WINDOW ARE REQUIRED. 5. ALL GLAZING ARE FIELD AND TRIMMED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE. 6. ROOF FINISH OR WOOD FINISH WITH 1/2" INSULATION. 7. ALL MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED. 8. SCREENED BACKWARD'S PROVIDE TO RECORD PRIVACY. 9. MECHANICAL UNIT ARE WITHIN SCREENED BACKWARD.

C.C.C. LOG NO. PRE12-0032
 DRAWING TITLE: BUILDING TYPE 3-1ST AND 2ND FLOOR PLANS
 DATE: 05-26-2013
 PROJECT NO.: 100-2013
 CITY REVIEW BY:
 PERMITS:
 A3.3.1



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "A"			
MAINT. COLOR	COLOR RECOMMENDATION	FINISH	LOCATION
A	TRIM	STUCCO	TRIM
B	TRIM	STUCCO	TRIM
C	TRIM	STUCCO	TRIM
D	TRIM	STUCCO	TRIM
E	TRIM	STUCCO	TRIM
F	TRIM	STUCCO	TRIM
G	TRIM	STUCCO	TRIM
H	TRIM	STUCCO	TRIM

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PAINTED WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATE TOWER TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING, MATERIAL AND COLOR MANUALS SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



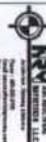
Expires 03/31/2016

C.O.C. LOG NO. PRE12-0032

CITY REVIEW SET
PROJECT NO. 33-212
SHEET NO. 33-212-03
DRAWING TITLE ELEVATIONS
SHEET NO. A 3.2.2-D

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



CLIENT:
MUMTAZ HOMES
MUMTAZ ENTERPRISES LLC
P.O. BOX 13700
CHANDLER, AZ 85248



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "b"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	DANISH BRONZE SW 6412 SHERWIN-WILLIAMS	STUCCO SYSTEM CH WALL
B	[Color swatch]	HONGKONG SW 6325 SHERWIN-WILLIAMS	STUCCO SYSTEM CH WALL
C	[Color swatch]	FOXY SW 6333 SHERWIN-WILLIAMS	STUCCO SYSTEM CH WALL
D	[Color swatch]	MANUFACTURER: US TILE OR WEBSITE	ROOF TILE
E	[Color swatch]	CHAIRBOOM SW 6171 SHERWIN-WILLIAMS	COLUMNS GARAGE DOOR
F	[Color swatch]	TOTALITY TAN SW 6115 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PAVEMENT WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN ALL OTHER FORMS OF MECHANICAL EQUIPMENT SHALL SCREEN ALL OTHER MOUNTED MECHANICAL EQUIPMENT.
3. SIGN SIGNS REQUIRE SEPARATE PERMIT.
4. BLENDING MATERIAL AND PAINT COLORS SHALL VARY BY MATERIAL. MATERIAL AND COLOR SAMPLES SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



REGISTERED ARCHITECT
ARIZONA, USA
EXPIRES 03/31/2018

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
MAB HOMES
MAB ENTERPRISES LLC
100 NORTH 44 STREET
CHANDLER, AZ 85226

REGISTERED ARCHITECT
MUSTAFA M. MOHAMMED
1000 WEST WILLOW STREET
CHANDLER, AZ 85226
TEL: 480-948-8888

DRAWING TITLE
ELEVATIONS
BUILDING TYPE 2
COLOR SCHEME
"b"

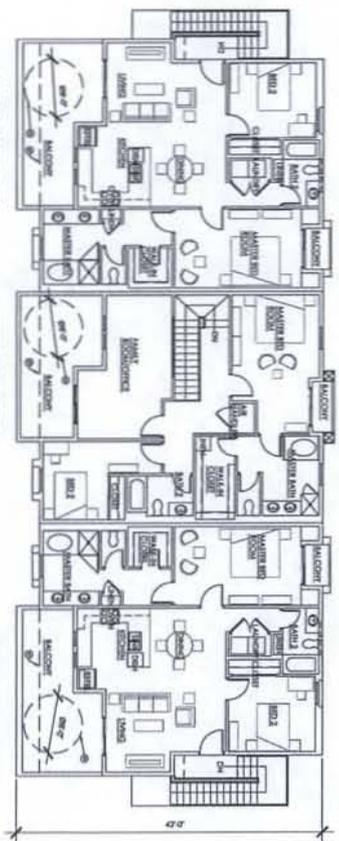
DATE: 04-26-2018

PROJECT NO.: 184383

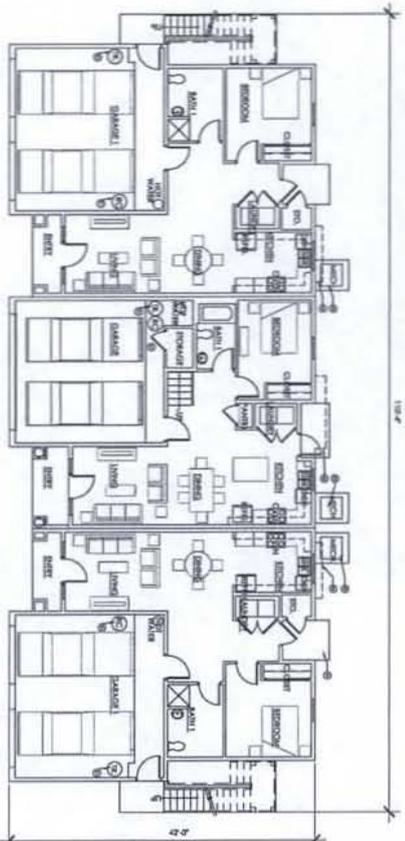
CITY REVIEW SET

SHEET NO.:
A3.2.2-b

C.O.C. LOG NO. PRE13-0032



UNIT C-2ND FLOOR (OPF)
 NET FLOOR (UNITS AREA): 1,092 SF
 GROSS 1ST FLOOR AREA: 4,100.15 SF
UNIT D-2ND FLOOR (OPF)
 NET FLOOR (UNITS AREA): 1,047 SF
UNIT C-2ND FLOOR
 NET FLOOR (UNITS AREA): 1,092 SF



UNIT C-1ST FLOOR (ACCESSIBLE) (OPF)
 NET FLOOR (UNITS AREA): 812 SF
 GROSS 1ST FLOOR AREA: 4,273.72 SF
UNIT D-1ST FLOOR
 NET FLOOR (UNITS AREA): 719 SF
UNIT C-1ST FLOOR (ACCESSIBLE)
 NET FLOOR (UNITS AREA): 812 SF

1ST FLOOR PLAN - BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"

NOTE:
 BUILDING OCCUPANCY: GROUP - B3 DUMBING
 U - PRIVATE GARAGE
 CONSTRUCTION CLASSIFICATION: V-A WITH AUTOMATIC FIRE SMOKELESS SYSTEM.

KEY NOTE: 9
 1. TRASH CONTAINERS AND RECYCLE
 2. CONCRETE INDICATES REQUIRED
 3. OPEN SPACE (ITP)
 4. MECHANICAL EQUIPMENT (GROUND MOUNTED) SHALL BE OUTSIDE OF BALCONY AT 2ND FLOOR.
 5. OUTLINE OF ROOF ABOVE.

GENERAL NOTES PER CITY OF CHANDLER
 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARALLEL WALL EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. SOLID MAJOR WALLS AND PARTIAL WALLS TO OR GREATER THAN 6' HIGH SHALL BE SCREENED ALL AROUND MOUNTED MECHANICAL EQUIPMENT.
 3. EACH EQUIPMENT SEPARATE FRUIT.
 4. BUILDING MATERIAL AND FINISH COLORS SHALL VARY PER SHADING SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTE:
 1. EXTERIOR WALLS SHALL BE 7.5" STUCCO FINISH WITH 8-12" BATT INSULATION MIN.
 2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO FINISH.
 3. STONE VENEER, DECORATIVE FINISHES, COLUMNS, OR DECORATIVE MOUNTING ARE ADDED TO FINISHES AS SHOWN.
 4. WINDOW AIR TREATMENT WITH SHADING DEVICE, SHUTTERS, MOST OF WINDOW ARE REQUIRED.
 5. ALL GLAZING ARE INSULATED, THERMALLY GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
 6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH 8-20 INSULATION MIN.
 7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
 8. SCREENED BALCONY SHALL PROVIDE TO INCREASE PRIVACY.
 9. MECHANICAL UNITS ARE WITHIN SCREENED BALCONY.

MUMTAZ GATED COMMUNITY
 South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona

CLIENT:
 MARS INVESTMENTS LLC
 P.O. BOX 17003
 CHANDLER, AZ 85248

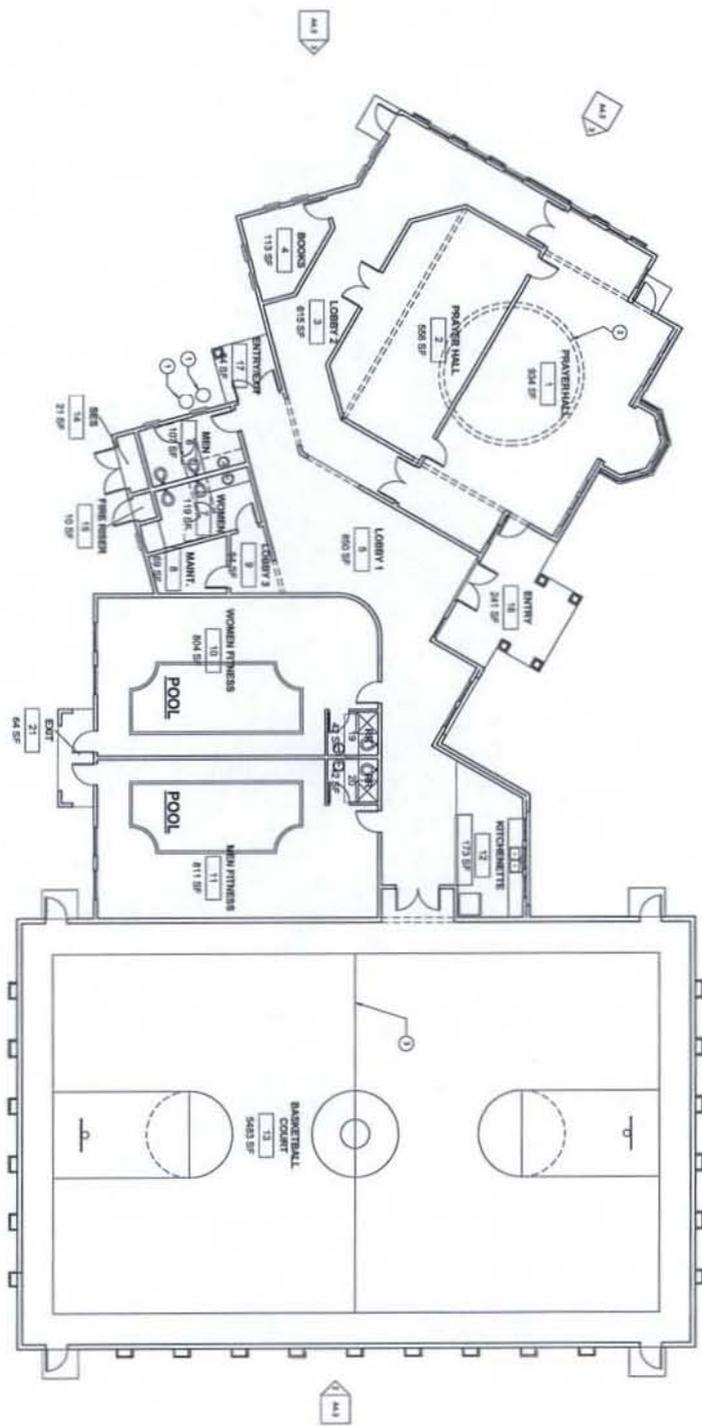
DATE: 06-20-2013
PROJECT NO.: 103-2013
CITY REVIEW SET

DRAWING TITLE:
 BUILDING TYPE 3-
 1ST AND 2ND
 FLOOR PLANS

SHEET NO.:
 A3.3.1

C.O.C. LOG NO. PRE12-0032

1. FIRST FLOOR PLAN
 1/8" = 1'-0"



GROSS BUILDING AREA: 11,930 SF



BUILDING INFORMATION
 GROSS BUILDING AREA: 11,930 SF
 BILLING OCCUPANCY GROUP: A-3
 SEE GAME FITNESS CENTER, MULTI-PURPOSE AND PAVERS SERVICES
 CONSTRUCTION QUALIFICATION: V.A. WITH AIRMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES:
 1. TRAIL COMPARE LOCATION.
 2. OUTLINE OF ROOM ABOVE.
 3. OUTLINE OF BASKETBALL COURT.

	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona		CLIENT: MAH HOMES MAH HOMES LLC P.O. BOX 17293 CHANDLER, AZ 85288	
	NOT FOR CONSTRUCTION PHEL ANHANY			
C.O.C. LOG NO. PRE12-0032				
PROJECT NO. 100-2012 DATE: 05-20-2013 DRAWING TITLE: COMMUNITY BUILDING FLOOR PLAN	CITY REVIEW SET	PHOTOGRAPHY	CONSTRUCTION QUALIFICATION: V.A. WITH AIRMATIC FIRE SPRINKLER SYSTEM.	CLIENT: MAH HOMES MAH HOMES LLC P.O. BOX 17293 CHANDLER, AZ 85288



EXTERIOR COLOR SCHEME "A"
FOR COMMUNITY BUILDING

NAME	COLOR	LOCATION
A	Light Yellow	Stucco on walls
B	Dark Brown	Stucco on walls
C	Dark Brown	Stucco on walls
D	Dark Brown	Stucco on walls
E	Dark Brown	Stucco on walls
F	Dark Brown	Stucco on walls
G	Dark Brown	Stucco on walls



- GENERAL NOTES PER CITY OF CHANDLER**
1. ALL ROOF MEMBERS MECHANICAL EQUIPMENT SHALL BE HIDDEN BY FLASHING WALLS SHALL BE ON THE ROOF FROM THE ROOF FLOOR ON THE MECHANICAL EQUIPMENT.
 2. ALL ROOF MEMBERS MECHANICAL EQUIPMENT SHALL BE HIDDEN BY FLASHING WALLS SHALL BE ON THE ROOF FROM THE ROOF FLOOR ON THE MECHANICAL EQUIPMENT.
 3. SMOKE ALARMS AND FIRE COORDINATE SHALL HAVE PERMITS. MATERIALS AND COORDINATE SHALL HAVE PERMITS. MATERIALS AND COORDINATE SHALL HAVE PERMITS. MATERIALS AND COORDINATE SHALL HAVE PERMITS.
 4. USE APPROVED MATERIALS.

NEW
COMMUNITY LLC
1000 N. GILBERT AVENUE
CHANDLER, AZ 85226

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

MR. MUMTAZ
1000 N. GILBERT AVENUE
CHANDLER, AZ 85226

PROJECT NO. 104-2013

DATE: 06-20-13

DESIGNED BY:

ELEVATIONS - COLOR SCHEME "A"

1000 N. GILBERT AVENUE

CHANDLER, AZ 85226

M. M. M.
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
STATE OF ARIZONA

CERT. NUMBER:

DATE:

PROJECT NO. 104-2013

DATE: 06-20-13

DESIGNED BY:

ELEVATIONS - COLOR SCHEME "A"

1000 N. GILBERT AVENUE

CHANDLER, AZ 85226

Re: City of Chandler
Ryne McCoy
to:
Erik.Swanson
04/17/2013 01:23 PM
Show Details

Please add the following.....

What is going to happen to north side of Willis Rd? (the impact and solutions)

The irrigation ditch that runs down North side of Willis Rd? (the impact and solutions)

The Traffic issues, (the impact and solutions)

What is going to happen to Willis & McQueen Rd intersection? (the impact and solutions)

The effect of having two hundred people (or more) living on a dead end road; with one exit to a very busy McQueen Rd! (the impact and solutions)

Will this complex be built before Traffic issues are solved? If so WHY?

The fact that it only takes two car's at stop sign to block my driveway. (Willis Rd / exiting to McQueen Rd) (the impact and solutions)

Water drainage issues, (the impact and solutions)

The Noise Level will rise in my home with two busy roads bordering my home. (Brick Wall)

Anything & everything that impacts the Willis Road and current residents!

City of Chandler is set to gain from this complex! Will the City of Chandler take ownership of issues and deal with (Current & Future issues) (the Predicted and the Unforeseen issues) while minimizing the financial burden of the current Maricopa County residents. And will that be done in a timely manner?

On Mon, Apr 1, 2013 at 4:29 PM, <Erik.Swanson@chandleraz.gov> wrote:

All:

I apologize for taking a while to get to you. Undoubtedly you have seen the orange sign on the property. I wanted to give you a quick update for the project. The zoning request will NOT be going to the 4/3 Planning Commission hearing or the 4/25 City Council hearing, as we are still finalizing some of the details. It is anticipated that the request will go to the 4/17 Planning Commission and 5/09 City Council hearing.

Terri,

I spoke with our engineering department, and I believe that Kim spoke with you, but to tap into the water and sewer line is roughly going to run \$43 (21.50 for water and 21.50 for sewer) per linear foot. This does not include any costs associated with meters, etc.

Please feel free to contact me if you have any questions.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

Questions regarding the proposed MUMTAZ Islamic Mosque Gated Community on Willis and McQueen

Ann Huberty

to:

erik.swanson

05/14/2013 09:30 AM

Show Details

Good morning.....

I live in Las Casitas Del Sur subdivision just north of Willis and McQueen. A few days ago it was brought to our attention by one of our HOA board members that the rezoning hearing for the MUMTAZ project had already been approved to proceed. I tried to read as much information as I could find and I did see that there is another meeting scheduled June 13th regarding this project. I personally was not able to be at the last city meeting on May 9th. I am not sure right now if this project has already been approved by the City of Chandler to proceed, or what exactly the status is?

My husband and I are very concerned with this project and the traffic problems it is going to cause. Willis Road proximity to the 202 freeway is unbelievably close. There is no way for anyone who lives along Willis to turn left to get onto the 202, so everyone will have to turn right (north) and will be forced to do a U turn to head south to get on the 202. Our subdivision already has huge issues with people who come into our entrance to do U turns, so I can just imagine that this is going to get much worse. Traffic that exits the 202 onto McQueen heading north, already don't even stop at that stop sign for traffic heading north over the overpass.....people constantly run that stop sign and pull out right in front of you. We also have huge issues with people speeding right up behind us as we are trying to turn right into our entrance. We have already had numerous accidents with our residents who have been rear ended by people driving north along McQueen. I read some of the traffic concerns the residents who live along Willis Road have, I completely agree with them. This is going to be a traffic nightmare for them. I don't even know how they are going to handle the increased traffic that is going to "sit" in front of their homes / driveways by people waiting to turn right / north onto McQueen. I can only imagine the nightmare they will have just trying to get out of their own driveway. I am also afraid, will people try to turn left to get onto the 202 and cause more accidents than what we already have at the 202 and McQueen. The U turn situation will also be a nightmare. In reading the minutes of the last meeting on May 9th, I did read that all of these issues have been brought up and the only solution that I could see was mentioned is to have the traffic lights re timed to give people more time to turn right out of Willis. Really? So having all of that "new" traffic added to the existing traffic that already does U turns along McQueen will be acceptable. That just doesn't make sense to me at all.

Another concern we have is that this "project" is not a normal residential townhouse project. It is in fact, an Islamic Mosque Gated Compound.... It is being advertised as such by the developer. We have seen all of the photos, design features, blueprints and so on. We are in shock that a Mosque compound is going to be built, and to us it is being falsely advertised as just a townhome project. I have lived in Chandler since 1983 and I have never seen something like this being built in Chandler. I know different religions build a church within our neighborhoods, but never a block walled in, gated in project that sole purpose is for one specific religion and at the center of the project is an Islamic Mosque. I am sure the residents who have lived along Willis Road are wondering the same thing... The family that lives directly behind our house have lived there for over 35 years. They once lived on a quiet Chandler street and will have their lives turned upside down by the traffic let alone an Islamic Mosque right in front of their homes. I know that this isn't a "PC" topic.....but has everyone really taken all of this into consideration?

I would like to have some feedback from you if you could as to what the status is of this rezoning hearing is and what I and my neighbors can do to voice our concerns and if there is even anything we can do to stop this project from being built or are we wasting our breath?

Thank you for your time,

Sincerely,

Ann Huberty
Concerned Chandler Resident

Ann Huberty
Underwriter

SM
SUBURBAN
MORTGAGE, INC.

1811 South Alma School Rd. #154
Mesa, Arizona 85210
Direct: (480) 344-3333
eFax: (480) 344-7909
Ahuberty@submort.com
BK 10123

SUBURBAN
CELEBRATING
25 years
in business!
1988-2013

[Click here to send me a file securely](#)

MUMTAZ - Advertised as a gated community that has its own MOSQUE

Ann Huberty

to:

erik.swanson

05/14/2013 06:10 PM

Show Details

History: This message has been replied to.

Good evening.....

I had called you and emailed you earlier today.... and when I got home and read some posts by our other homeowners at Las Casitas Del Sur... I saw a post by my neighbor Glenn Hamp. He mentioned that he had spoke to you today and that nobody seemed to know that this developer is advertising this community as having its own Mosque NOT a community center. Here is their website....

mumtaz-az.com

Sincerely

Ann Huberty

Concerned Chandler Resident

Gated "community" SE corner of Willis and McQueen
Glenn Hamp

to:

erik.Swanson@chandleraz.gov

05/15/2013 12:49 PM

Show Details

History: This message has been replied to and forwarded.

Hi Erik,

Our property is located 600 feet from this proposed development. Wasn't there a requirement that I receive notice of this proposed zoning change?

I never received a notice of any public meeting regarding the project.

Regards,

Glenn Hamp

RE: MUMTAZ - Advertised as a gated community that has its own MOSQUE

Ann Huberty

to:

Erik.Swanson

05/15/2013 02:54 PM

Show Details

Thank you for your reply..... As you can imagine everyone is concerned about the situation. Mosque and the traffic issues.... Everyone in our neighborhood has gone online to check out the developers advertisement and plans/specs. We have had an unbelievable amount of residents in our subdivision (and our Willis Rd neighbors) getting together regarding this, so I am sure everyone is going to be coming to the meeting on June 13th. I know everyone's emotions are getting to a fever pitch, so I want to make sure that we organize and handle this in a professional way. Anything that you could suggest would be appreciated.....

Sincerely,
Ann Huberty

Ann Huberty
Underwriter

SMI
SUBURBAN
MORTGAGE, INC.

Mesa, Arizona 85210
Direct: (480) 344-3333
eFax: (480) 344-7909
Ahuberty@submort.com
BK 10123

CELEBRATING
25 years
in business!
1988-2013

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From: Erik.Swanson@chandleraz.gov [mailto:Erik.Swanson@chandleraz.gov]

Sent: Wednesday, May 15, 2013 2:34 PM

To: Ann Huberty

Subject: Re: MUMTAZ - Advertised as a gated community that has its own MOSQUE

Ann,

Thank you for bringing it to our attention. There was a Council meeting on Monday the 9th at which a number of the Councilmembers had some reservations about the request including whether or not it was a Mosque or prayer hall. Following the meeting, I spoke with the applicant and indicated that a Mosque or any other religious institution could not be on the site and open to the public. He explained that what is being provided is a room that residents can go to for prayer, and that a true Mosque (such as the one on Alma School) cannot allow for pools, fitness areas, and a kitchen due to the sacred nature of a Mosque; however, a prayer room does not have such requirements. In essence the area will operate as a community open space with the ability for prayers at certain times of the day. Additionally, they will be removing the crescent moon and are looking at the architectural design of the building due to the concerns expressed.

Again, thank you for the information.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

From: "Ann Huberty" <ahuberty@submort.com>
To: <erik.swanson@chandleraz.gov>
Date: 05/14/2013 06:10 PM
Subject: MUMTAZ - Advertised as a gated community that has its own MOSQUE

Good evening.....

I had called you and emailed you earlier today.... and when I got home and read some posts by our other homeowners at Las Casitas Del Sur... I saw a post by my neighbor Glenn Hamp. He mentioned that he had spoke to you today and that nobody seemed to know that this developer is advertising this community as having its own Mosque NOT a community center. Here is their website....

mumtaz-az.com

Sincerely

Ann Huberty
Concerned Chandler Resident

RE: Gated "community" SE corner of Willis and McQueen
Glenn Hamp
to:
Erik.Swanson@chandleraz.gov
05/15/2013 03:10 PM
Show Details

History: This message has been replied to and forwarded.
Eric,

Can you provide the link to the law that reads a person has live within 600 feet to disagree with a change in zoning if they are residents of Chandler?

Glenn

From: Erik.Swanson@chandleraz.gov [<mailto:Erik.Swanson@chandleraz.gov>]
Sent: Wednesday, May 15, 2013 1:38 PM
To: Glenn Hamp
Subject: Re: Gated "community" SE corner of Willis and McQueen

Glenn,

I did a quick measurement, and unfortunately you are out of the 600' notification area; however because Casitas Del Sur is a registered neighborhood organization, four contacts from the neighborhood were contacted regarding the request. Additionally, I have spoken with a couple of residents within your community regarding the request.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

From: Glenn Hamp <glenn@lightrainimages.com>
To: "erik.Swanson@chandleraz.gov" <erik.Swanson@chandleraz.gov>
Date: 05/15/2013 12:49 PM
Subject: Gated "community" SE corner of Willis and McQueen

Hi Erik,

Our property is located 600 feet from this proposed development. Wasn't there a requirement that I receive notice of this proposed zoning change?

I never received a notice of any public meeting regarding the project.

Regards,

Glenn Hamp

RE: Gated "community" SE corner of Willis and McQueen
Glenn Hamp
to:
Erik.Swanson@chandleraz.gov
05/15/2013 03:42 PM
Show Details

History: This message has been forwarded.
Hi Erik,

Here is a key clause about providing notices; "and to such other persons as the Zoning Administrator reasonably determines to be other potentially affected citizens." So I guess you made the determination that only the 5 property owners on Willis would be affected by this Mosque? Not all the dozens of property owners just a few feet beyond 600 feet that will looking into an Islamic crescent moon on this multi storied Mosque!

I know that Barrack Obama said that the most beautiful sound in the world is the evening calls to prayer from the Mosques, but I would beg to differ! I will not have Muslims planning Jihads from a few hundred feet away!

If you get the feeling that there are a lot of homeowners who are furious about how this change of zoning was attempted to be slid through with little input from homeowners you would be right.

Glenn

From: Erik.Swanson@chandleraz.gov [<mailto:Erik.Swanson@chandleraz.gov>]
Sent: Wednesday, May 15, 2013 3:28 PM
To: Glenn Hamp
Subject: RE: Gated "community" SE corner of Willis and McQueen

Glenn,

You can disagree with the zoning request no matter how far you live from the site, it is just that notification of a zoning request only goes out to a 600' radius from the site. Please see the language below for our Code requirements. Also, please follow the link if you would like to review our Zoning Code.

A. Prior to any public hearing, as required under section 35-2602 of this Article XXVII, on any area plan application, on any preliminary development plan application, or on any application for any zoning ordinance that changes any property from one zoning district to another, that imposes any regulation not previously imposed, or that removes or modifies any such regulation previously imposed, the Zoning Administrator shall provide written notice of the application to the applicant or his representative on the application, all landowners of property adjacent to the property that is the subject of the zoning ordinance, area plan, or preliminary development plan within six hundred (600) feet of the subject property, and the address of any registered neighborhood organizations located within one-quarter (¼) mile of the subject property, and to such other persons as the Zoning Administrator reasonably determines to be other potentially affected citizens.

1. The six hundred (600) ft. notice to adjacent property owners and the one-quarter (¼) mile notice to registered neighborhood organizations as specified herein shall be expanded to a distance of one-quarter (¼) mile for adjacent property owners, and to a one-half (½) mile distance for registered neighborhood organizations, for any area plan, preliminary development plan, or any zoning ordinance pertaining to a mid-rise development.
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<http://library.municode.com/index.aspx?clientId=10158>

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City of Chandler
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Regards,

Glenn Hamp

Information that was printed from the MUMTAZ website on May 15, 2013 - Advertising that it has its own Mosque

Ann Huberty

to:

Erik.Swanson

05/16/2013 09:26 AM

Cc:

Rich.dlugas, jeff.kurtz, kevin.mayo, rj.zeder, marsha.reed

Show Details

Good morning.....Here is the information that I printed from the MUMTAZ website yesterday..... follow up information from our prior emails....

Sincerely,

Ann Huberty

1183 E. Longhorn Pl

Chandler, AZ. 85286

Las Casitas Del Sur Subdivision - 1 Block North of the proposed Mosque community

602-524-3131

Concerned Chandler Resident

+Mike Search Images Maps Play YouTube News Gmail Drive Calendar More

mumtaz gated community Mike Share

mumtaz gated community Remove

Web **mumtaz mahal** Images Maps Shopping More Search tools

mumtaz, begum, jehan, dehlavi

Ad related to **mumtaz gated community**

Private gated communities - Vistancia.com
www.vistancia.com/NewHomeCommunities
 Find Your New Home Today in The Beautiful Community Of Vistancia

*

Mumtaz Gated Community
mumtaz-az.com/

Imagine living in a **gated community** that is designed for family living. It has its own Mosque. It has separate indoor pools and gyms for men and women. It would ...
 You've visited this page 3 times. Last visit: 5/15/13

Mumtaz
 Website
 as of
 5/15/13

survey - Mumtaz Gated Community
mumtaz-az.com/survey.html
 Loading... © 2012 Mumtaz.
 You visited this page on 5/14/13.

[PDF] zoning, dvr12-0042 mumtaz gated community - City of Chandler
www.chandleraz.gov/content/20130425_19.pdf
 Apr 25, 2013 - KEVIN MAYO, PLANNING MANAGER 41 N. ERIK SWANSON, CITY PLANNER- DVR12-0042/PPT13-0003 MUMTAZ GATED COMMUNITY ...
 You've visited this page 2 times. Last visit: 5/14/13

[PDF] WWW II I. - City of Chandler
chandleraz.gov/content/DVR120042.pdf
 Apr 17, 2013 - "MUMTAZ GATED COMMUNITY" and kept on file in the City of Chandler Planning, Division, in File No. DVR12-0042, modified by such ...

Images for mumtaz gated community - Report images



Nim Architectural Impression LLC
www.archimpression.com/

Mumtaz Gated Community is consisting of sixty nine town homes and an amenity building in 6.5 acres of land. These units are contained within 23 buildings.
 You visited this page on 5/14/13.

Mumtaz-az.com Mumtaz Gated Community - Web Analysis - StatsC...
www.statscrop.com/www/mumtaz-az.com

Rating: 3 - Review by StatsCrop
 Apr 1, 2013 - Mumtaz-az.com stats - web age: 9 months, last updated: 1 Apr 2013.

Mumtaz Complex, Mumbai, Phone / Contact number, Reviews ...
www.mcjostreet.com/.../ApartmentsGated-Communities/Mumtaz-Comple...

Mumtaz Complex, Phone number, Reviews, Tips and Mumtaz Complex
 Announcements. Also find nearby Apartments/Gated Communities in Mumbai on ...

Mumtaz-Az.com - Mumtaz Gated Community - Whois domaintools
whois.domaintools.com/mumtaz-az.com

Jul 27, 2012 - Mumtaz-Az.com - Mumtaz Az, - Whois record for Mumtaz-Az.com from DomainTools.

Chandler decision on proposed Fry's gas station delayed
www.azcentral.com Community > Chandler

May 8, 2013 - The **Mumtaz Gated Community** plan calls for 69 townhouse units near the southeastern corner of McQueen and Willis roads. Four council ...

Mumtaz Ahmed - Profile - CommonFloor

✓

www.commonfloor.com/p_4d6b7bf3d0c47-mumtaz-ahmed ▾
Real Estate; Apartment **Communities**; What is CommonFloor? a Golden
Opportunity to own a piece of Land in one of the most sought after **Gated** Communit .

Ad related to **mumtaz gated community**

Arizona Gated Community 1 (877) 514 5350
www.trilogylife.com/Arizona
Trilogy Resort Communities - Live, Play, & Discover the Good Life.

1 2 3 4 5 6 7 8 9 10 **Next**

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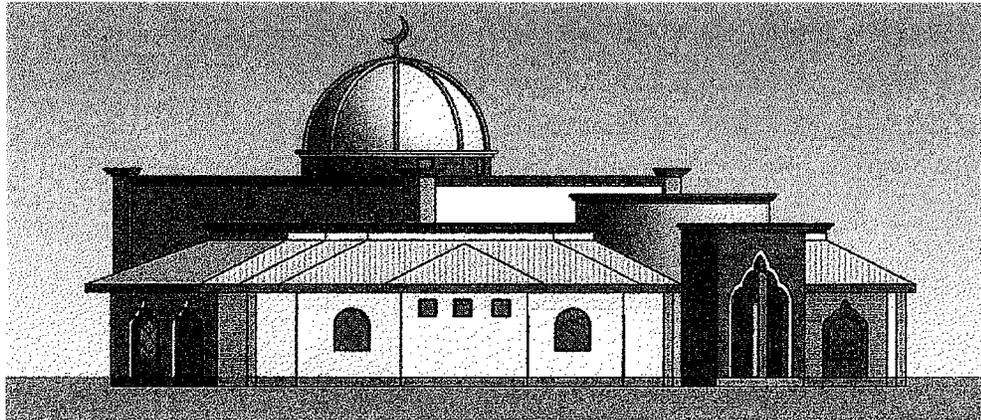
Information posted on the Mumtaz Website



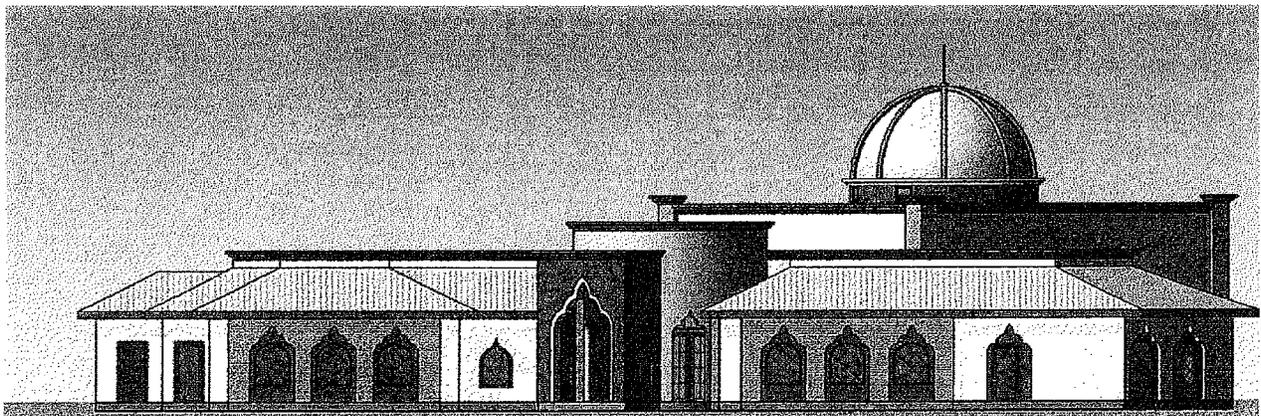
Imagine living in a gated community that is designed for family living. It has its own Mosque. It has separate indoor pools and gyms for men and women. It would allow our elderly parents to meet one another in a safe and comfortable environment.

...The Mumtaz Gated Community offers just that.

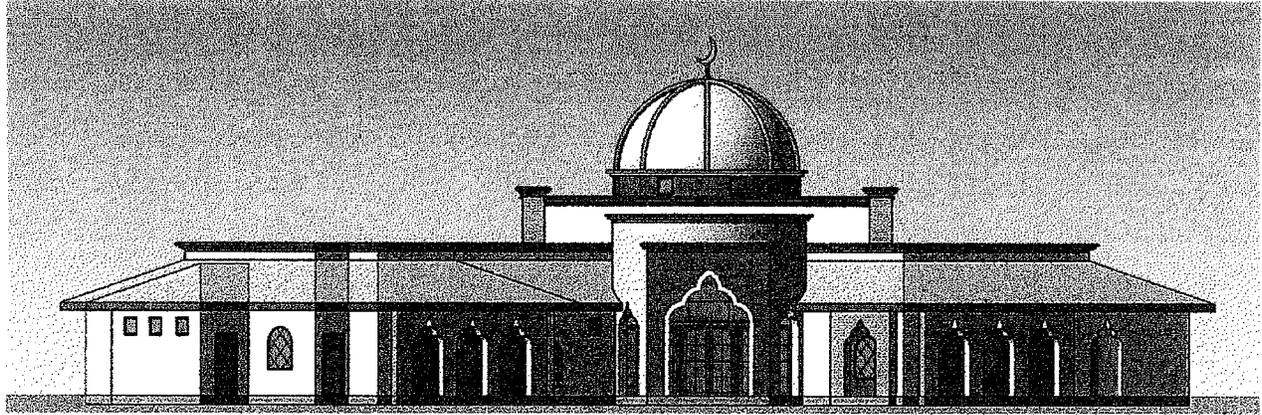
Show us your interest by taking our online survey.



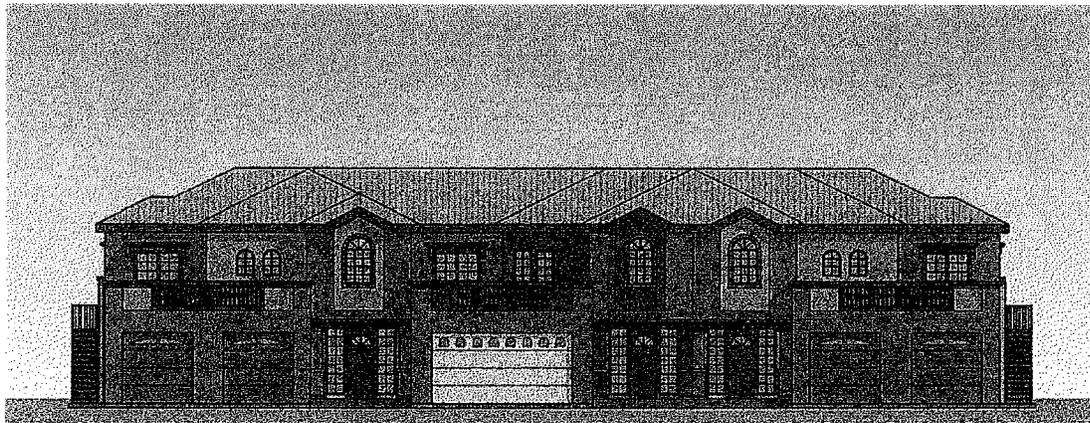
East Elevation



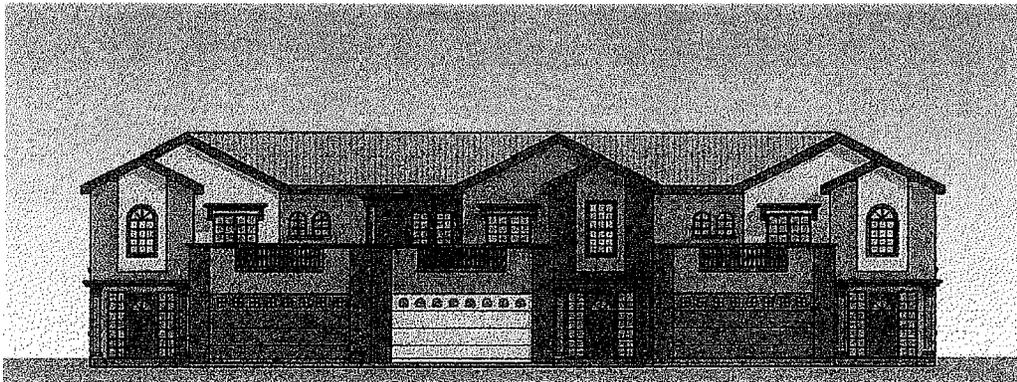
South Elevation



South-west Elevation



Front elevation of a 3-town home building with split units and side entrances to upper levels



Front elevation of a building with 3 town homes

Rear elevation of a building with three town homes

12

Luxurious Modern Living

Mumtaz Gated Community offers three flexible floor plans. Build for spaciousness and comfort, each floor plan has:

- 3 or 4 bedroom units
- 3 full bathrooms
- Dining room, living room, washer / dryer, and a kitchen with modern appliances.
- Fire sprinkler systems for safety

These two-story town homes include 2 balconies as well as a 2 car garage.

A few town homes have 1st and 2nd floors independent split units so that the town home owner could rent one unit.

Community Center

The Mumtaz Gated Community is centered around a shared community center and Mosque. The Mosque will be opened for daily prayers and other activities approved by the Home Owner's Association.

Adjacent to the Mosque are other shared community resources like the library, multipurpose hall, kitchen, as well as separate gyms, pools, and showers for men and women.

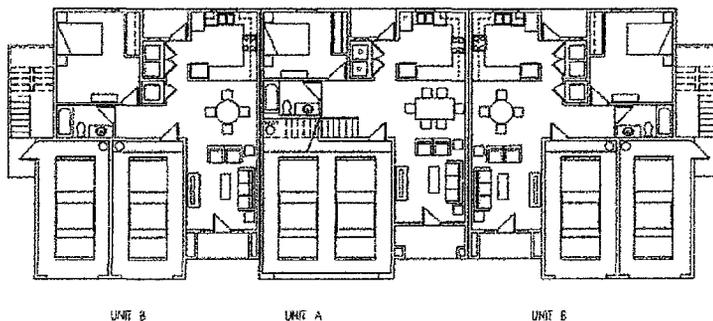
Get More Information

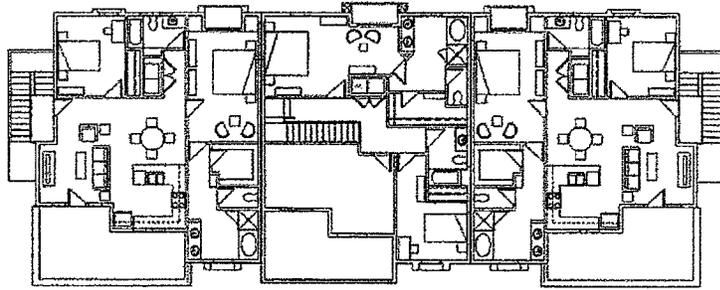
Mumtaz is conveniently located on McQueen Road, near the 202 and 101 freeways in Chandler, Arizona. [Map](#)

For more information please contact us at: info@mumtaz-az.com

Be sure to let us know what you think by taking our [survey](#) online.

Flexible Floor Plans

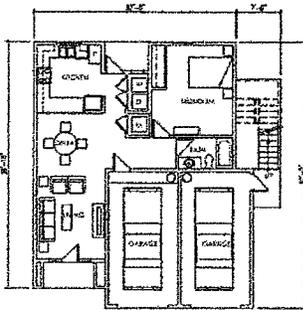




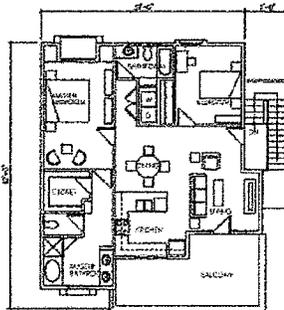
UNIT B
2ND FLOOR

UNIT A- PLAN TYPE 2
2ND FLOOR

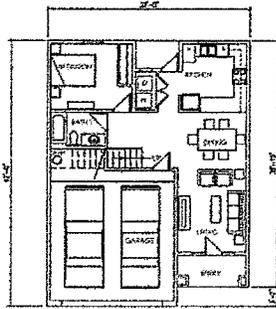
UNIT B
2ND FLOOR



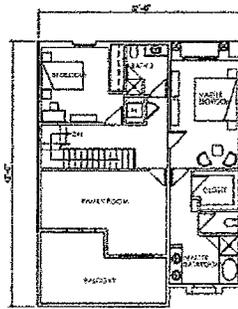
1ST FLOOR GARAGE AREA: 1078.00 SQ. FT.
1ST FLOOR FINISH AREA: 1022.00 SQ. FT.
FINISH AREA: 2100.00 SQ. FT.
TOTAL AREA: 3122.00 SQ. FT.
UNIT B - 1ST FLOOR PLAN



2ND FLOOR GARAGE AREA: 1078.00 SQ. FT.
2ND FLOOR FINISH AREA: 1022.00 SQ. FT.
2ND FLOOR FINISH AREA: 2100.00 SQ. FT.
UNIT B - 2ND FLOOR PLAN

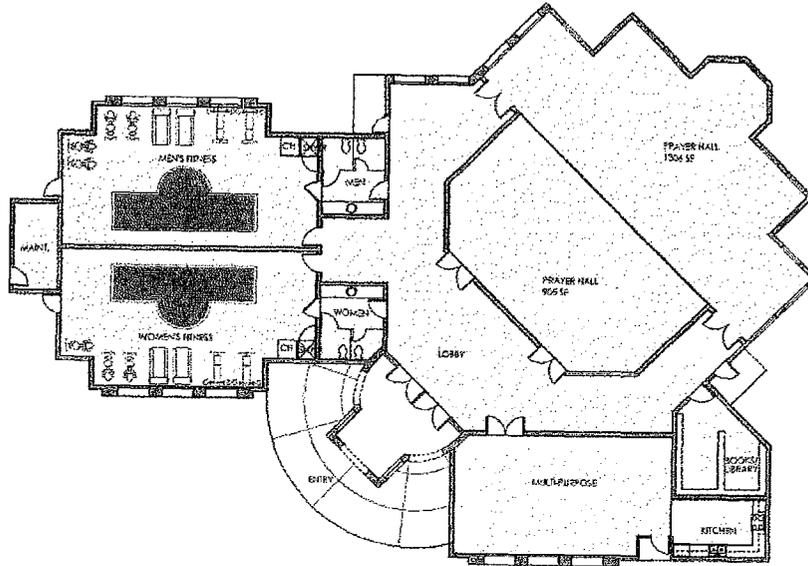


1ST FLOOR GARAGE AREA: 1078.00 SQ. FT.
1ST FLOOR FINISH AREA: 1022.00 SQ. FT.
FINISH AREA: 2100.00 SQ. FT.
UNIT A - 1ST FLOOR PLAN



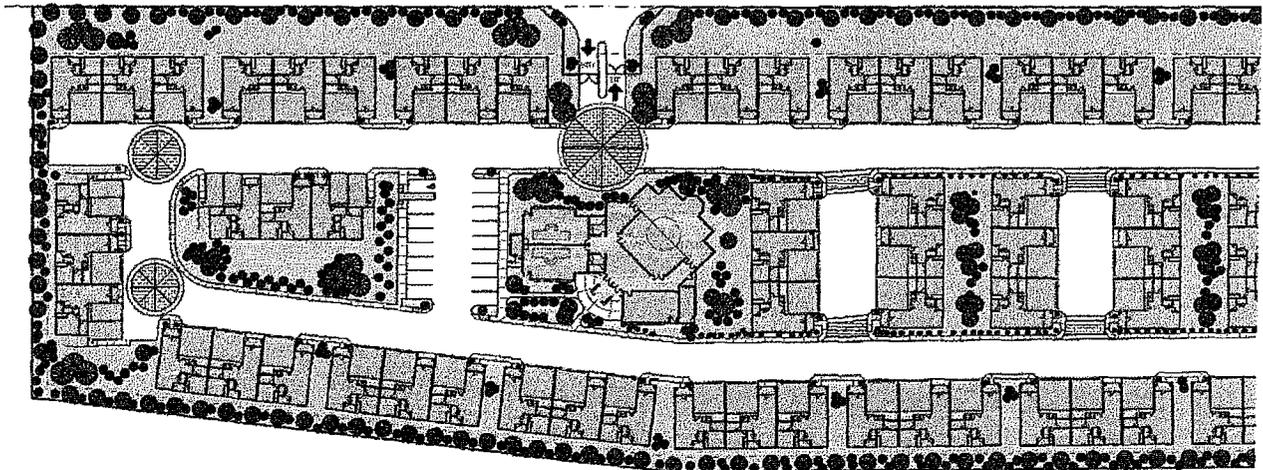
2ND FLOOR GARAGE AREA: 1078.00 SQ. FT.
2ND FLOOR FINISH AREA: 1022.00 SQ. FT.
FINISH AREA: 2100.00 SQ. FT.
**UNIT A - 2ND FLOOR
PLAN-TYPE 1**

Community Center Floor Plan



Community Map

WILLIS ROAD



© 2012 Mumtaz

RE: Gated "community" SE corner of Willis and McQueen
Glenn Hamp
to:
Erik.Swanson@chandleraz.gov
05/16/2013 09:55 AM
Show Details

History: This message has been forwarded.
Hi Erik,

Why was the original zoning change request made by the city of Chandler, not the developer? Why was the intent of the project hidden in language about townhomes and it includes a "community center" which will have "meeting/prayer rooms"? Why is the City of Chandler being so opaque? Are you shilling for this developer? Why are you guiding and coaching the developer in the use of his project descriptions? You said to me that you told the developer not to use the term Mosque. Are you allowed to advocate for a developer?

Your DVR120042 states "At the time of this writing the staff have received no telephone calls or letters opposed to this application." DO YOU THINK IT IS BECAUSE YOU ARE HIDDING WHAT THIS REALLY IS!!!?

Let me make this abundantly clear; we (and will be gathering signatures) to be submitted to define "we" are totally opposed to this zoning change and this development!

Barrack Obama said that the most beautiful sound in the world is the evening calls to prayers at the Mosque. I'll be damned if I have to hear that wailing from a religion that advocates Jihad every evening from 620 feet away!!!

Glenn Hamp

From: Erik.Swanson@chandleraz.gov [<mailto:Erik.Swanson@chandleraz.gov>]
Sent: Wednesday, May 15, 2013 3:28 PM
To: Glenn Hamp
Subject: RE: Gated "community" SE corner of Willis and McQueen

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<http://library.municode.com/index.aspx?clientId=10158>

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ph: 480.782.3063

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Regards,

Glenn Hamp

Mumtaz Gated Community
Ryne McCoy
to:
erik.swanson, Mayor&council
05/16/2013 05:49 PM
Show Details

Hello,

I had a few people from the community behind me (Las Casitas Del Sur), come by my house on Tuesday. They had no idea that the City of Chandler was building a mosque in their back yard. They found out on the 13th of May.

Yet again, I am upset with the process and question the integrity of this planning/project. I was thinking that the meetings attendance was super low. Now we know why; they did not know hundreds of local resident have no idea of this City Project. Why would an entire community not be informed of this mosque; when it will directly affect their community and the value of their homes? As well as the community on the west side of McQueen, and the community on the other side of the canal, are they aware of the cities intent to put a road at their back door specifically for the mosque 2nd exit. If I had to guess, I am sure that they are also unaware. I will find out this weekend when I go door to door asking and informing. How can you put something into vote in a meeting without notifying the community with more than a sign on a dead end road (which means that the sign is hidden from most of the community)? The more I am involved in this, the more I think the city of chandler planning is trying to slip this project under the radar.

I ask that all progress be stopped until the community is properly informed of this project. That way we can get all the concerns out on the table (like they should be). Because the concerns that my visitors had, I didn't even think of (now I am) and there are so many concerns that the planning is ignoring. I cannot imagine that the city can go forward legally without addressing the concerns of the current community.

It is obvious that the major concerns of the entire local community have not been properly addressed or presented to the board/mayor.

I feel that the community has not been given the proper knowledge on this project. Yes I know it is online but that is not enough. We need to get the current community involved in this project. Not only Willis road residents will be affected by this project. Eric, how can you help get the community properly informed & involved?

Eric our community deserves the same kind of guidance that you and the city are providing the developers, it is clear that is not happening. It is clear that you are providing them with an unfair advantage over our community. You are walking the developers through this process to get what they want, regardless of the impacts to our community. Stop trying to push this past us like we don't matter.

The City of Chandler has a responsibility to tend to the best interest of the community, not their own agendas.

Eric if you or the City of Chandler are the Developer's council or advocate; that is walking them step by step telling them what to do, say and what not to say, to achieve their goals and avoid resolutions and responsibility to our concerns. Then the city needs to provide the current chandler residents with a professional representative and council.

RE: Mumtaz Gated Community
ltenismama
to:
rynemccoy
05/17/2013 10:03 AM
Cc:
erik.swanson, mayor&council
Show Details

To Whom It May Concern:

My husband and I live at 1490 S. McQueen, Chandler. We are very much opposed to this project. The traffic concerns are our biggest issue. We presently have many, many vehicles making U-turns daily in front of our home, sometimes in our private drive, in order to access Willis Rd (west). We support Mr. McCoy's effort to challenge this. Please inform us of our recourse.

Mitchell and Louise Jones

On Thu, May 16, 2013 at 5:49 PM, Ryne McCoy wrote:

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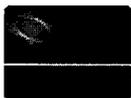
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Eric if you or the City of Chandler are the Developer's council or advocate; that is walking them step by step telling them what to do, say and what not to say, to achieve their goals and avoid resolutions and responsibility to our concerns. Then the city needs to provide the current chandler residents with a professional representative and council.



Fw: Mumtaz Gated Community
Jeff Kurtz to: Erik Swanson

05/28/2013 12:49 PM

----- Forwarded by Jeff Kurtz/COC on 05/28/2013 12:49 PM -----

From: Melanie Sala/COC
To: Marsha Reed/COC@Chandleraz.gov, Robert Zeder/COC@chandleraz.gov, Jeff Kurtz/COC@chandleraz.gov, Patrick McDermott/COC@chandleraz.gov, Rich Dlugas/COC@ci.chandler.az.us
Cc: David Bigos/COC@chandleraz.gov, Susan Moore/COC@chandleraz.gov
Date: 05/28/2013 12:15 PM
Subject: Fw: Mumtaz Gated Community
Sent by: Melanie Sala-Friedrichs

From: rr31@aol.com
To: Mayor&council@chandleraz.gov
Date: 05/26/2013 09:04 AM
Subject: Mumtaz Gated Community

Dear Mayor and Council<

We'd like to express our concern regarding the proposed gated community to be built on Willis, just east of McQueen. The community as we understand it will include 69 new townhomes. That could mean an additional 138 cars flowing on and off of McQueen at that single point of ingress and egress each day. The main problem, besides all the increased traffic, is that the only way a car can turn onto McQueen from Willis is to go North. What that means is that any car wanting to go South to access the 202 freeway will have to do a U turn on McQueen., most probably in front of Wildhorse Dr. which is the street we live on.

We urge the Mayor and Council to consider the existing residents needs and not rezone this parcel to allow for the building of this community.

Thank you for your consideration,

Ron and Debbie Raber
28 year Chandler residents



Fw: Mumtaz-Gated-Community Chandler
Jeff Kurtz to: Erik Swanson

05/28/2013 12:49 PM

----- Forwarded by Jeff Kurtz/COC on 05/28/2013 12:49 PM -----

From: Melanie Sala/COC
To: Robert Zeder/COC@chandleraz.gov, Jeff Kurtz/COC@chandleraz.gov, Patrick McDermott/COC@chandleraz.gov, Rich Dlugas/COC@ci.chandler.az.us
Cc: David Bigos/COC@chandleraz.gov, Susan Moore/COC@chandleraz.gov
Date: 05/28/2013 12:12 PM
Subject: Fw: Mumtaz-Gated-Community Chandler
Sent by: Melanie Sala-Friedrichs

FYI

From: Jim Jan Reynolds <rjimjan@yahoo.com>
To: "Mayor&council@chandleraz.gov" <Mayor&council@chandleraz.gov>
Date: 05/28/2013 09:36 AM
Subject: Mumtaz-Gated-Community Chandler

Mr. Mayor & Council Members:

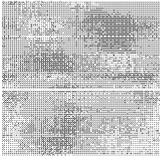
I am a lot owner in Las Casitas del Sur north of the proposed Mumtaz Gated Community on Willis Road.

I have great concerns about the traffic jams that will occur from 69 town homes trying to access Loop 202. Willis Road does not allow for a left turn onto McQueen, which means drivers will turn right and make a U-turn in the middle of McQueen, or in the Mormon Church, or in our gated entrance at Las Casitas, in order to get to Loop 202.

McQueen Road already sees excessive speeding, but the added traffic, and need to make u-turns will become even more hazardous.

I understand that the Mumtaz project size has more than quadrupled since it was first approved. I ask that you thoroughly review the project and seriously consider the impact it will make on McQueen Road and the homeowners who live there.

Thank you. Jan Reynolds



Mumtaz-Gated Community Emails

Rich Dlugas, Patrick McDermott, Marsha Reed,
Susan Moore to: David Bigos, Melanie Sala, Robert Zeder, Jeff
Kurtz, Erik Swanson

05/30/2013 12:33 PM

----- Forwarded by Susan Moore/COC on 05/30/2013 12:32 PM -----

From: Lilly Lawson <lilly.lawson@yahoo.com>
To: "Mayor&council@chandleraz.gov" <Mayor&council@chandleraz.gov>
Date: 05/30/2013 10:47 AM
Subject: Mumtaz-Gated-Community

Mr. Mayor & City Council,

I have concerns about the proposed Mumtaz-Gated-Community to be built on Willis Rd. east of McQueen:

69 Town homes surrounding a mosque with only 17 parking spaces...not very sufficient.

Traffic safety issues...U-turns to access the 202 and added non-local traffic in the neighborhoods nearby as drivers circle through the neighborhood to go south on McQueen.

If you let this move forward, you are going to create a mess that will be hard to fix later. Please consider the safety of residents.

Thank you,
D. L. Lawson

----- Forwarded by Susan Moore/COC on 05/30/2013 12:32 PM -----

From: Kevin and Christal <kcbiesty@hotmail.com>
To: mayor&council@chandleraz.gov
Date: 05/25/2013 12:18 PM
Subject: Question regarding Rezoning Case DVR12-0042/PPT13-0003 Mumtaz Gated Community

Hello Mayor Tibshraeny and Members of the Chandler City Council,

I have a question regarding the Rezoning application in the subject line that I was hoping you could get to the right person for an answer.

Is the proposed mosque on the property planning to, or will be allowed to, broadcast calls to prayer?

Thank you for your time and service to the City of Chandler.

Kind Regards,



Fw: Mumtz Emails
Jeff Kurtz to: Erik Swanson

06/03/2013 11:43 AM

----- Forwarded by Jeff Kurtz/COC on 06/03/2013 11:43 AM -----

From: Susan Moore/COC
To: Rich Dlugas/COC, Patrick McDermott/COC, Marsha Reed/COC@Chandleraz.gov, Robert Zeder/COC, Jeff Kurtz/COC, Melanie Sala/COC@chandleraz.gov, David Bigos/COC@ci.chandler.az.us
Date: 06/03/2013 11:37 AM
Subject: Mumtz Emails

----- Forwarded by Susan Moore/COC on 06/03/2013 11:36 AM -----

From: Ryne McCoy <rynemccoy@gmail.com>
To: ltennismama@cox.net, nora.ellen@chandleraz.gov, erik.swanson@chandleraz.gov, Mayor&council@chandleraz.gov, Trinity.Donovan@chandleraz.gov
Date: 06/01/2013 01:22 PM
Subject: Re: Mumtaz Gated Community

Just to be clear, I am concerned about traffic that this will bring to Willis Rd. not only after the development is built, but during the construction of this over sized development. It was a nightmare for me and my family when ADOT was using this lot. The construction of this development will be a great deal larger and go on for a longer period of time.

On Fri, May 31, 2013 at 2:47 PM, <ltennismama@cox.net> wrote:

Dear Trinity,

Thank you for your response. However, our major concern has been and continues to be the traffic concerns. Our residence at 1490 S. McQueen sees many, many vehicles making U-turns in front of our home, daily. Sometimes vehicles come into our private residence to make their turns. The problem at hand is the inability to make left hand turns from Willis, either east or west Willis. With such a large housing project producing the traffic which we think it will, how does a driver leaving the said property get on to the freeway (202) without making the U-turn in front of our home? It is a very real concern for myself and my family. It's a dangerous situation and I'm anxious to hear how this will be addressed. We are in hopes of attending the meeting on June 13. But we would welcome a response to the above question via e-mail if possible.

Thank you,
Louise Jones

On Fri, May 31, 2013 at 1:49 PM, Trinity.Donovan@chandleraz.gov wrote:

Dear Mitchell and Louise,

Thank you for letting me know about your concerns.

There will not be a mosque built as part of this project. I have learned from City staff that there will be an approximately 1500 square foot Community Center built on site. It will be one of several amenities included in this project.

This item will be on the Council Agenda for the June 13 meeting. The meetings begin at 7:00 p.m. and are open to the public.

Sincerely,

Trinity Donovan

Councilmember

Please be advised that all email sent and received via this address has been requested for review by local media and will be made available in accordance with Arizona Open Public Records Law.

From: ltennismama@cox.net To: rynemccoy@gmail.com Cc: erik.swanson@chandleraz.gov, mayor&council@chandleraz.gov
Date: 05/17/2013 10:03 AM Subject: RE: Mumtaz Gated Community

To Whom It May Concern:

My husband and I live at 1490 S. McQueen, Chandler. We are very much opposed to this project. The traffic concerns are our biggest issue. We presently have many, many vehicles making U-turns daily in front of our home, sometimes in our private drive, in order to access Willis Rd (west). We support Mr. McCoy's effort to challenge this. Please inform us of our recourse.

Mitchell and Louise Jones

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Hello,

I had a few people from the community behind me (Las Casitas Del Sur), come by my house on Tuesday. They had no idea that the City of Chandler was building a mosque in their back yard. They found out on the 13th of May.

Yet again, I am upset with the process and question the integrity of this planning/project. I was thinking that the meetings attendance was supper low. Now we know why; they did not know hundreds of local resident have no idea of this City Project. Why would an entire community not be informed of this mosque; when it will directly affect their community and the value of their homes? As well as the community on the west side of McQueen, and the community on the other side of the canal, are they aware of the cities intent to put a road at their back door specifically for the mosque 2 nd exit. If I had to guess, I am sure that they are also unaware. I will find out this weekend when I go door to door asking and informing. How

can you put something into vote in a meeting without notifying the community with more than a sign on a dead end road (which means that the sign is hidden from most of the community)? The more I am involved in this , the more I think the city of chandler planning is trying to slip this project under the radar.

I ask that all progress be stopped until the community is properly informed of this project. That way we can get all the concerns out on the table (like they should be). Because the concerns that my visitors had, I didn't even think of (now I am) and there are so many concerns that the planning is ignoring. I cannot imagine that the city can go forward legally without addressing the concerns of the current community.

It is obvious that the major concerns of the entire local community have not been properly addressed or presented to the board/mayor.

I feel that the community has not been given the proper knowledge on this project. Yes I know it is online but that is not enough. We need to get the current community involved in this project. Not only Willis road residents will be affected by this project. Eric, how can you help get the community properly informed & involved?

Eric our community deserves the same kind of guidance that you and the city are providing the developers, it is clear that is not happening. It is clear that you are providing them with an unfair advantage over our community. You are walking the developers through this process to get what they want, regardless of the impacts to our community. Stop trying to push this past us like we don't matter.

The City of Chandler has a responsibility to tend to the best interest of the community, not their own agendas.

Eric if you or the City of Chandler are the Developer's council or advocate; that is walking them step by step telling them what to do, say and what not to say, to achieve their goals and avoid resolutions and responsibility to our concerns. Then the city needs to provide the current chandler residents with a professional representative and council.

----- Forwarded by Susan Moore/COC on 06/03/2013 11:36 AM -----

From: ltennismama@cox.net
To: mayorandcouncil@chandleraz.gov
Date: 06/01/2013 06:25 PM
Subject: FW: RE: Mumtaz Gated Community

Mayor Tibshraney and Council Members,

Please see e-mail below. We have huge concerns about this proposed townhome project. It directly affects us. We would appreciate a response to our concerns. Mitchell and Louise Jones

----- Begin forwarded message -----

Subject: RE: Mumtaz Gated Community
Date: 5/31/13 2:47:50 PM
From: ltennismama@cox.net
To: trinity.donovan@chandleraz.gov
Cc: rynemccoy@gmail.com, "Mitch Jones"

Dear Trinity,

Thank you for your response. However, our major concern has been and continues to be the traffic concerns. Our residence at 1490 S. McQueen sees many, many vehicles making U-turns in front of our home, daily. Sometimes vehicles come into our private residence to make their turns. The problem at hand is the inability to make left hand turns from Willis, either east or west Willis. With such a large housing project producing the traffic which we think it will, how does a driver leaving the said property get on to the freeway (202) without making the U-turn in front of our home? It is a very real concern for myself and my family. It's a dangerous situation and I'm anxious to hear how this will be addressed. We are in hopes of attending the meeting on June 13. But we would welcome a response to the above question via e-mail if possible.

Thank you,
Louise Jones

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Dear Mitchell and Louise,

Thank you for letting me know about your concerns.

There will not be a mosque built as part of this project. I have learned from City staff that there will be an approximately 1500 square foot Community Center built on site. It will be one of several amenities included in this project.

This item will be on the Council Agenda for the June 13 meeting. The meetings begin at 7:00 p.m. and are open to the public.

Sincerely,

Trinity Donovan
Councilmember

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From: ltennismama@cox.net To: rynemccoy@gmail.com Cc: erik.swanson@chandleraz.gov, mayor&council@chandleraz.gov
Date: 05/17/2013 10:03 AM Subject: RE: Mumtaz Gated Community

To Whom It May Concern:

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Mitchell and Louise Jones

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Tuesday. They had no idea that the City of Chandler was building a mosque in their back yard. They found out on the 13th of May.

Yet again, I am upset with the process and question the integrity of this planning/project. I was thinking that the meetings attendance was supper low. Now we know why; they did not know hundreds of local resident have no idea of this City Project. Why would an entire community not be informed of this mosque; when it will directly affect their community and the value of their homes? As well as the community on the west side of McQueen, and the community on the other side of the canal, are they aware of the cities intent to put a road at their back door specifically for the mosque 2 nd exit. If I had to guess, I am sure that they are also unaware. I will find out this weekend when I go door to door asking and informing. How can you put something into vote in a meeting without notifying the community with more than a sign on a dead end road (which means that the sign is hidden from most of the community)? The more I am involved in this , the more I think the city of chandler planning is trying to slip this project under the radar.

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It is obvious that the major concerns of the entire local community have not been properly addressed or presented to the board/mayor.

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Eric if you or the City of Chandler are the Developer's council or advocate; that is walking them step by step telling them what to do, say and what not to say, to achieve their goals and avoid resolutions and responsibility to our concerns. Then the city needs to provide the current chandler residents with a professional representative and council.

RE: City of Chandler 
Erik Swanson to: Glenn Hamp

06/03/2013 04:49 PM

Glenn,

Thank you for your concerns; however Mumtaz is not proposing a Mosque at this time. The developer is providing a common gathering area that the residents can use among other amenities being provided such as pools, fitness centers, kitchen, library, and basketball courts. Additionally, they are well aware that we would have strong reservations about providing a Mosque for general public use.

Regarding your question about the "spirit and intent" really relates to the Land Use Element of the General Plan. Within the General Plan allowances are made for the consideration of residential development with a range of up to 18 dwelling units per acre. The General Plan further designates the subject site as being located within the Chandler Airpark Area Plan. Within the Airpark Area Plan, the site is designated as allowing high-density residential with a maximum density of 18 dwelling units per acre. So the development, as proposed, is in conformance with the adopted Area Plan for development.

Please find below a link to the Airpark Area Plan map for your reference.

http://www.chandleraz.gov/content/lrp_CAAP_LUMAP.pdf

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

Glenn Hamp

Erik, It appears that Mumtaz failed to request a p...

06/03/2013 01:33:24 PM

From: Glenn Hamp <glenn@lightrainimages.com>
To: "Erik.Swanson@chandleraz.gov" <Erik.Swanson@chandleraz.gov>
Date: 06/03/2013 01:33 PM
Subject: RE: City of Chandler

Erik,

It appears that Mumtaz failed to request a permit because the Mosque will be in single family zoned area, that is IF the zoning changed is approved from AG-1.

Also, I am looking for the regulation that captures the spirit and intent of zoning law changes. I assume that there has to be a demand, some interest or a compelling need to change a property's zoning. Every homeowner on Willis opposes this development and never requested or suggested a need or desire for any type of religious facility in the area.

Any link or code that you can provide will be greatly appreciated.

Thanks,

Glenn

From: Erik.Swanson@chandleraz.gov [mailto:Erik.Swanson@chandleraz.gov]
Sent: Monday, June 03, 2013 1:23 PM
To: Glenn Hamp
Subject: RE: City of Chandler

Glenn,

Religious institutions are considerable, pending Use Permit approval, in all of the City's hard-zoned single-family residential districts (AG-1, SF-33, SF-18, SF-10, SF-8.5) and within our MF-1 (multi-family) zoning designation. Religious institutions are allowed by right (meaning no Use Permit necessary) in our MF-2 and MF-3 (multi-family) and C-1, C-2, C-3 (commercial) zoning designations. When a PAD (Planned Area Development) zoning is requested, it must specifically state that a religious institution is requested and designed as such, or in instances where a property is already zoned PAD a Rezoning would need to occur.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

From: Glenn Hamp <glenn@lightrainimages.com>
To: "Erik.Swanson@chandleraz.gov" <Erik.Swanson@chandleraz.gov>
Date: 06/03/2013 01:00 PM
Subject: RE: City of Chandler

Hi Erik,

Can I build a church in any residential zone in Chandler? If not, what law or ordinance prevents this?

Thank you,

Glenn

From: Erik.Swanson@chandleraz.gov [mailto:Erik.Swanson@chandleraz.gov]
Sent: Friday, May 31, 2013 8:50 AM
To: Glenn Hamp

Subject: RE: City of Chandler

Jalil Ahmad with Mars Enterprises is the developer. He can be reached at 602-721-4594.

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

From: Glenn Hamp <glenn@lightrainimages.com>
To: "Erik.Swanson@chandleraz.gov" <Erik.Swanson@chandleraz.gov>
Date: 05/30/2013 05:08 PM
Subject: RE: City of Chandler

Really. Who is the primary contact?

From: Erik.Swanson@chandleraz.gov [<mailto:Erik.Swanson@chandleraz.gov>]
Sent: Thursday, May 30, 2013 4:29 PM
To: Glenn Hamp
Subject: RE: City of Chandler

As of now they have none.

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

From: Glenn Hamp <glenn@lightrainimages.com>
To: "Erik.Swanson@chandleraz.gov" <Erik.Swanson@chandleraz.gov>
Date: 05/30/2013 04:09 PM
Subject: RE: City of Chandler

Hi Erik,

Who is Mumtaz legal counsel?

Glenn

From: Erik.Swanson@chandleraz.gov [mailto:Erik.Swanson@chandleraz.gov]

Sent: Thursday, May 30, 2013 3:59 PM

To: Glenn Hamp

Subject: City of Chandler

Glenn:

I hope all is well. I wanted to let you know that I just heard back from our record's department and your copies are ready for pick-up.

555 copies were made at \$0.15 per copy for a total of \$83.25.

We accept cash or personal checks only.

Our physical address is 215 E Buffalo Street. We are open from 7 a.m. - 5 p.m. M-F.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

Re: FW: RE: Mumtaz Gated Community 
Erik Swanson to: Itennismama

06/03/2013 04:27 PM

Mrs. Jones,

Thank you for sharing your concerns. Our Traffic division is currently reviewing a variety of options to address traffic concerns including allowing left turns onto McQueen, constructing raised medians within McQueen, and potentially posting signs such as "No U-Turns". Unfortunately I do not have any "silver bullets" to remedy the concerns at this point in time. Additionally, our Traffic Engineer will be present at the Council meeting to address traffic concerns, as a number of residents and Councilmembers have similar questions. Please feel free to contact me if I can assist with anything else.

Sincerely,

Erik Swanson, City Planner
Transportation and Development Services
City of Chandler
ph: 480.782.3063

Itennismama	Mr. Swanson, Please see the below e-mail I sen...	06/01/2013 06:21:59 PM
From:	Itennismama@cox.net	
To:	erik.swanson@chandleraz.gov	
Date:	06/01/2013 06:21 PM	
Subject:	FW: RE: Mumtaz Gated Community	

Mr. Swanson,

Please see the below e-mail I sent to Trinity Donovan. My husband and I have huge concerns and would appreciate a response. Louise Jones

----- Begin forwarded message -----
Subject: RE: Mumtaz Gated Community
Date: 5/31/13 2:47:50 PM
From: Itennismama@cox.net
To: trinity.donovan@chandleraz.gov
Cc: rynemccoy@gmail.com, "Mitch Jones"

Dear Trinity,

Thank you for your response. However, our major concern has been and continues to be the traffic concerns. Our residence at 1490 S. McQueen sees many, many vehicles making U-turns in front of our home, daily. Sometimes vehicles come into our private residence to make their turns. The problem at hand is the inability to make left hand turns from Willis, either east or west Willis. With such a large housing project producing the traffic which we think it will, how does a driver leaving the said property get on to the freeway (202) without making the U-turn in front of our home? It is a very real concern for myself and my family. It's a dangerous situation and I'm anxious to hear how this will be addressed. We are in hopes of attending the meeting on June 13. But we would welcome a response to the above

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Thank you,
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Dear Mitchell and Louise,

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There will not be a mosque built as part of this project. I have learned from City staff that there will be an approximately 1500 square foot Community Center built on site. It will be one of several amenities included in this project.

This item will be on the Council Agenda for the June 13 meeting. The meetings begin at 7:00 p.m. and are open to the public.

Sincerely,

Trinity Donovan
Councilmember

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Date: 05/17/2013 10:03 AM Subject: RE: Mumtaz Gated Community

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Mitchell and Louise Jones

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Yet again, I am upset with the process and question the integrity of this planning/project. I was thinking that the meetings attendance was supper low. Now we know why; they did not know hundreds of local resident have no idea of this City Project. Why would an entire community not be informed of this mosque; when it will directly affect their community and the value of their homes? As well as the community on the west side of McQueen, and the community on the other side of the canal, are they aware of the cities intent to put a road at their back door specifically for the mosque 2 nd exit. If I had to guess, I am sure that they are also unaware. I

will find out this weekend when I go door to door asking and informing. How can you put something into vote in a meeting without notifying the community with more than a sign on a dead end road (which means that the sign is hidden from most of the community)? The more I am involved in this , the more I think the city of chandler planning is trying to slip this project under the radar.

I ask that all progress be stopped until the community is properly informed of this project. That way we can get all the concerns out on the table (like they should be). Because the concerns that my visitors had, I didn't even think of (now I am) and there are so many concerns that the planning is ignoring. I cannot imagine that the city can go forward legally without addressing the concerns of the current community.

It is obvious that the major concerns of the entire local community have not been properly addressed or presented to the board/mayor.

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Eric our community deserves the same kind of guidance that you and the city are providing the developers, it is clear that is not happening. It is clear that you are providing them with an unfair advantage over our community. You are walking the developers through this process to get what they want, regardless of the impacts to our community. Stop trying to push this past us like we don't matter.

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ORDINANCE NO. 4454

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT FOR SINGLE-FAMILY TOWNHOME DEVELOPMENT IN CASE (DVR12-0042 MUMTAZ GATED COMMUNITY) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'.

Said parcel is hereby rezoned from AG-1 to PAD for a single-family residential townhome development, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "MUMTAZ GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR12-0042, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the

Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the Mumtaz Gated Community development shall use treated effluent to maintain open space, common areas, and landscape tracts.

9. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

10. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
 - a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.
 - b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
 - c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
 - d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.

- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from an aircraft. A registered engineer shall certify that the project is in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”

- 11. The development shall provide sound attenuation measures in accordance with ADOT standard details and requirements excepting any decibel reductions or sound attenuation credits for the use of a rubberized asphalt paving surface. Any noise mitigation, if required, is the responsibility of the development.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Transportation & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this ____ day of _____, 2013.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council this ____ day of _____, 2013.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4454 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2013, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY

PUBLISHED:



PARTIAL ENTRY VIEW AT WILLIS ROAD

MUMTAZ GATED COMMUNITY NARRATIVE

Murtiz Gated Community is a well organized architecturally pleasant project. Its style blends smoothly into South-Western Spanish architectural style. It also has accommodated classical architectural feature as a special icon.

Buildings are designed to articulate major masses with accenting minor masses. Dynamic color schemes in each building is used to break the monotony. Decorative rail, columns, pop-outs, bands, window shutters are provided harmoniously to enhance richness.

It includes energy saving feature in each building. It provided covered balcony, recessed windows, window shading devices, insulated glazing set on thicker exterior walls. Each building is designed in compact form with private backyard. Each unit will have advantage of natural cross ventilation effect in favorable weather condition.

Its design is responding to the criteria of family of six members. These members are grand-parents, parents and children. It provides all amenities what residents desire within their reach.

Murtiz consists of sixty nine town homes, and an amenity building on gross site area of 6.5 acres. It has a generous park-like and desert setting layout. Open spaces are distributed among site area. Its amenity building contains basketball court, prayer service, kitchenette, and divided fitness centers for male and female. Fitness area contains indoor pool, shower facility and exercise equipments.

The gate feature with two exits also provides increased level of security and privacy consistent with project's conservative lifestyle. The automatic entry/gate shall be constructed in iron with point finish. It is decorated in ornamental style. It has decorative view fence of Willis road side and solid fence of sides and rear. Its parking are placed in interior area that is surrounded by buildings.

Murtiz has 23 buildings. Twenty two of them are residential homes and one amenity building. Each residential building contains three three-bedroom homes with livable space approximately 1900 square feet. Each home will have two cars attached garage, family room, three full bathrooms, spacious master bedroom, first floor bedroom will have attached full bathroom. It has spacious balcony, private backyard, modern kitchen with appliance, laundry closet, dining and living room, spacious entry patio and storage area.

To complete, Murtiz Gated Community presents affordable homes desirable to first-time buyers as well as retirees. Its overall plan emphasize low maintenance to keep homeowner's association fees low. Its compact building form will lower energy consumption and maintenance cost. Its community feature will bring residents closer together everyday. This will promote social interaction and friendly neighborhood throughout the year.



CLIENT:
MAZ HOMES
 MAZ HOMES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85286

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



SEVEN SEVEN
 NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

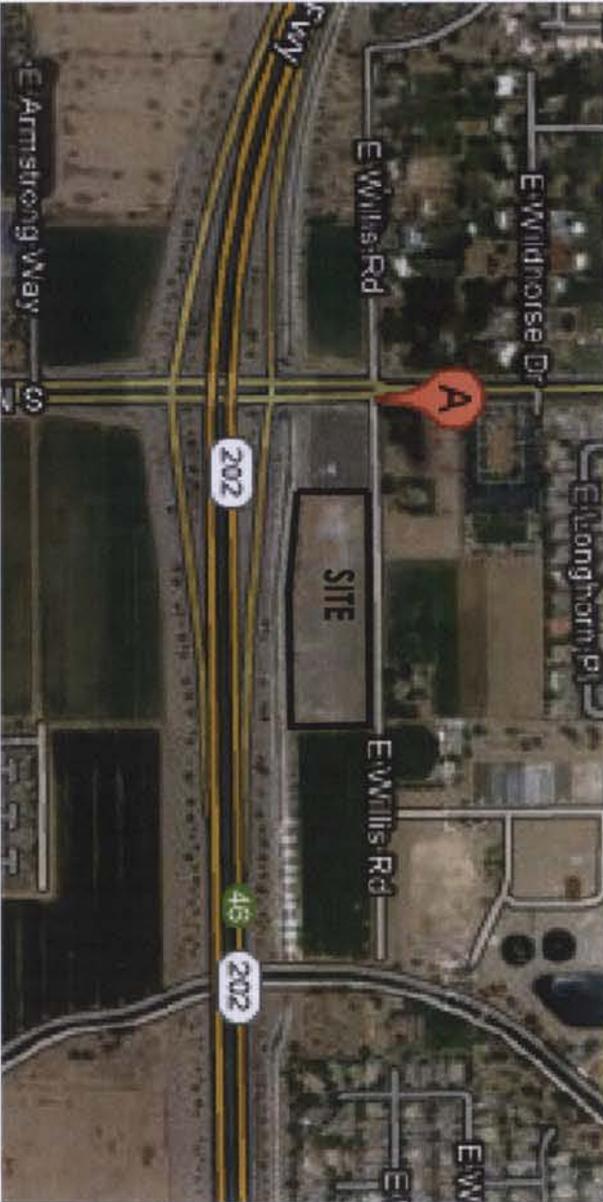
PROJECT NO. 103-2013
 DATE: 06-26-2013

NARRATIVE

DRAWING TITLE

SHEET NO.

A0.1



1 AERIAL MAP
Scale: 1" = 100'



2 ZONING MAP
Scale: 1" = 1/2 MI

SITE

C.O.C. LOG NO. PRE12-0032

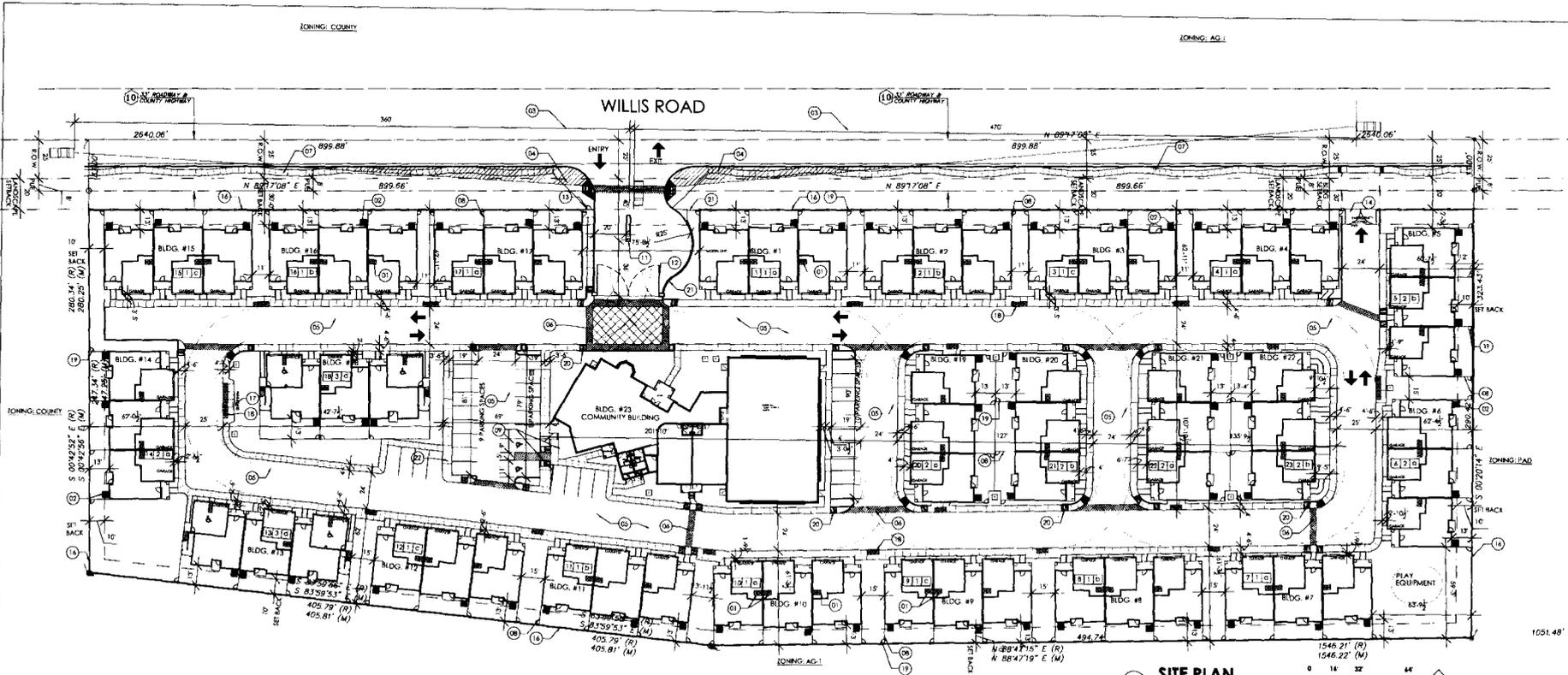
SHEET NO. A02	DRAWING TITLE AERIAL MAP	PROJECT NO. 103-2012 DATE: 06-20-2013	CITY REVIEW SET	NOT FOR CONSTRUCTION PRELIMINARY 	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona	CLIENT: MACE HOMES MACE HOMES LLC P.O. BOX 12703 CHANDLER, AZ 85246	
	PROJECT NO. 103-2012 DATE: 06-20-2013	CITY REVIEW SET					



1 PERSPECTIVE
Scale: 1/8" = 1'-0"

<p>NEM ARCHITECTURE, INC. 1000 W. McDowell Rd., Suite 100 Chandler, AZ 85224 Tel: 480-948-8888 Fax: 480-948-8889 www.nemarch.com</p>	<p>CLIENT: MART HOMES MART ENTERPRISES LLC P.O. BOX 13783 CHANDLER, AZ 85226</p>	<p>MUMTAZ GATED COMMUNITY</p> <p>South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona</p>	<p>Professional Seal PHILLIP M. MURRAIN REGISTERED PROFESSIONAL ENGINEER STATE OF ARIZONA LICENSE NO. 10001</p> <p>NOT FOR CONSTRUCTION PRELIMINARY</p>	<p>CITY REVIEW SET</p> <p>PROJECT NO. 100-2012</p> <p>DATE: 08-26-2013</p> <p>DRAWING TITLE</p> <p>PERSPECTIVE</p>	<p>SHEET NO.</p> <p>A0.3</p>
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C.O.C. LOG NO. PRE12-0032



1 SITE PLAN
Scale: 1/32" = 1'-0"
SCALE: 1/32" = 1'-0"
NORTH

SITE DATA

NET AREA:
 BUILDING TYPE 1: 3,972.33 SF
 BUILDING TYPE 2: 3,964.80 SF
 BUILDING TYPE 3: 3,974.38 SF
 BUILDING TYPE 4: 3,962.80 SF
 BUILDING TYPE 5: 4,273.75 SF
 COMMUNITY BUILDING: 11,003.15 SF
 NET FLOOR: 11,990.57 SF
 SECOND FLOOR: 0

OPEN SPACE CALCULATION:
 BUILDING TYPE 1: 3,972.33 SF
 SECOND FLOOR AREA (LARGER AREA): 3,964.80 SF
 TOTAL AREA: 3,964.80 SF
 BUILDING TYPE 2: 3,964.80 SF
 SECOND FLOOR AREA (LARGER AREA): 3,964.80 SF
 TOTAL AREA: 3,964.80 SF
 BUILDING TYPE 3: 3,974.38 SF
 SECOND FLOOR AREA (LARGER AREA): 3,962.80 SF
 TOTAL AREA: 3,962.80 SF
 BUILDING TYPE 4: 4,273.75 SF
 SECOND FLOOR AREA (LARGER AREA): 4,273.75 SF
 TOTAL AREA: 4,273.75 SF
 COMMUNITY BUILDING: 11,003.15 SF
 SECOND FLOOR AREA (LARGER AREA): 11,003.15 SF
 TOTAL AREA: 11,003.15 SF

LOT COVERAGE:
 ALLOWED: 40%
 PROVIDED: 30% (51,802.79-27,418.50 = 8,347.44 / 11,930 / 6 X 34550 SF)

PARKING:
 REQUIRED: 3 SPACES X 60 DWELLING UNITS = 180 SPACES
 1 GUEST PARKING PER 4 DWELLING UNITS = 14.30 SPACES
 PROVIDED: 132 GARAGE PARKING
 35 GUEST PARKING
 TOTAL PARKING PROVIDED: 147 SPACES

BUILDING OCCUPANCY:
 GROUP B2: DWELLING UNITS
 GROUP U: PRIVATE GARAGES
 GROUP A3: COMMUNITY BUILDING

COMMITTEE CLASSIFICATION:
 TYPE 4 WITH AUTOMATED SPRINKLER SYSTEM OR DWELLING UNITS
 TYPE 4 WITH AUTOMATED SPRINKLER SYSTEM FOR COMMUNITY BUILDING

GENERAL NOTES

1. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
4. ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
5. SIGN REQUIRES SEPARATE PERMIT.
6. THE FIRE DEPARTMENT DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
7. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL, AND THAT SUCH MUST BE RELOCATED / CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT / PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.

KEY NOTES

1. RECYCLE AND TRASH CONTAINER LOCATION AT GARAGE (TYP.)
2. GROUND MOUNTED MECHANICAL EQUIPMENT AT REAR YARD. (TYP.)
3. SIGHT DISTANCE PER CITY OF CHANDLER.
4. VISIBILITY TRIANGLE: GROUND COVER, BUSHES, AND BOULDERS LESS THAN 24" (MATURE) IN HEIGHT, OR TREES TRIMMED TO 6' CLEARANCE ABOVE FINISHED GRADE ALLOWED IN THIS AREA. NO OTHER OBSTRUCTION ALLOWED UNLESS APPROVED BY THE CITY TRANSPORTATION ENGINEER.
5. ASPHALT DRIVE WAY. (TYP.)
6. PEDESTRIAN CROSSING (TYP.)
7. 4' WIDE CONCRETE WALKWAY PER CITY OF CHANDLER.
8. LOT SEPARATION LINE BETWEEN UNITS (TYP.)
9. HIGH PARTITION SHALL BE ON SEPARATION LINE.

SYMBOLS

1. FIRE TRUCK TURNING RADIUS.
2. CONCRETE PAVEMENT.
3. CONCRETE PAVEMENT ACCESSIBLE WALK.
4. ACCESSIBLE PARKING SPACE AND ACCESSIBLE UNIT.
5. ACCESSIBLE RAMP.
6. ACCESSIBLE PARKING SIGN.
7. ACCESSIBLE PARKING SIGN, REFER TO DTL: 4/A.1.
8. GATE CONTROL MECHANISM.
9. WROUGHT IRON GATE WITH PAINT FINISH.
10. PEDESTRIAN GATE.
11. EMERGENCY ACCESS / EXIT GATE.
12. BOUNDARY WALL.
13. MAIL BOX LOCATION.
14. TEMPORARY TRASH CONTAINER LOCATION: TYP.
15. SERVICE DOOR AT BACKYARD. (TYP.)
16. ACCESSIBLE RAMP: 1:12 SLOPE. (TYP.)
17. WROUGHT IRON PAINTED FENCE.
18. OUTLINE OF CAR OVERHANG.
19. ACCESSIBLE PARKING AISLE.
20. PROPERTY LINE.
21. BUILDING SET BACK LINE.
22. VEHICLES.
23. PEDESTRIAN SAFE WALK WAY.
24. COLOR SCHEME: BUILDING TYPE, BUILDING NUMBER.
25. TRASH AND RECYCLE CONTAINER.
26. GROUND MOUNTED MECHANICAL UNIT.
27. TRANSFORMER LOCATION.
28. SERVICE DOOR AT PARTITION WALL AT BACKYARD.

ARCHITECTURAL
DESIGN
 ARCHITECTS PLANNING & DESIGN
 1000 N. GILBERT ROAD
 CHANDLER, AZ 85224
 WWW.APDARCHITECTS.COM

CLIENT:
 MARS HOMES
 MARS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

DESIGNED BY:
 MUMTAZ GATED COMMUNITY
 NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 05-30-2013

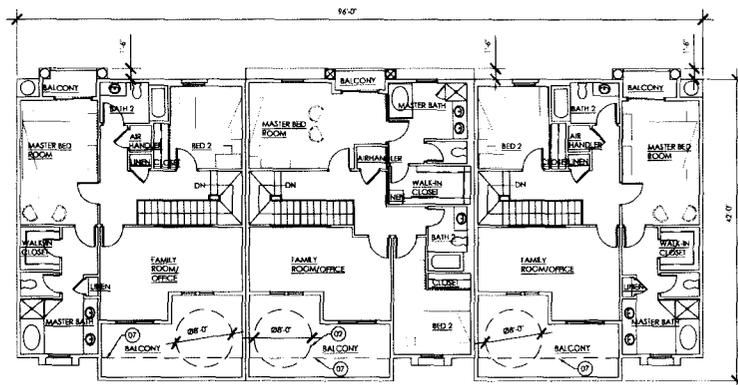
DRAWING TITLE

SITE PLAN

SHEET NO.

A1.1

C.O.C. LOG NO. PRE:12-2013

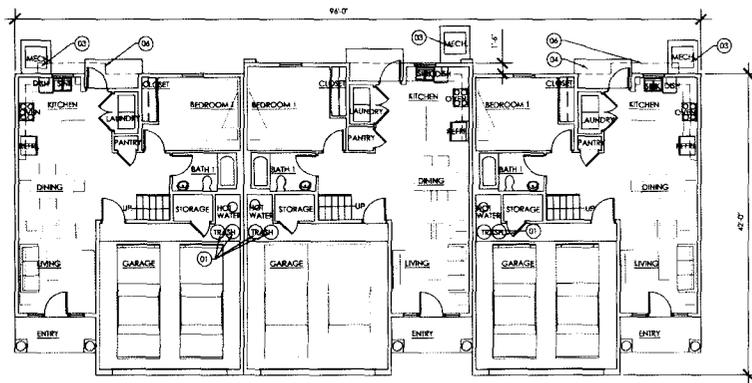


UNIT A-2ND FLOOR (OPP) **UNIT B-2ND FLOOR** **UNIT A-2ND FLOOR**

2ND FLOOR LIVABLE AREA : 1034 SF 2ND FLOOR LIVABLE AREA : 1049 SF 2ND FLOOR LIVABLE AREA : 1034 SF
 OPEN BALCONY AREA : 184 SF 2ND FLOOR OPEN BALCONY : 184 SF OPEN BALCONY AREA : 184 SF

GROSS 2ND FLOOR AREA : 3984.83 SF

2 BUILDING TYPE 1 - SECOND FLOOR PLAN
SCALE:



UNIT A-1ST FLOOR (OPP) **UNIT B-1ST FLOOR** **UNIT A-1ST FLOOR**

1ST FLOOR LIVABLE AREA : 772.30 SF 1ST FLOOR LIVABLE AREA : 818.81 SF 1ST FLOOR LIVABLE AREA : 772.30 SF
 GARAGE AREA : 451 SF GARAGE AREA : 451 SF GARAGE AREA : 451 SF

GROSS 1ST FLOOR AREA : 3,972.33 SF

1 BUILDING TYPE 1 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:

BUILDING OCCUPANCY:
 GROUP: R-2 DWELLING
 U PRIVATE GARAGE

CONSTRUCTION CLASSIFICATION:
 V-8 WITH AUTOMATIC FIRE SPRINKLER SYSTEM

KEY NOTES: (00)

- TRASH CONTAINER AND RECYCLE CONTAINER
- CIRCLE INDICATES REQUIRED OPEN SPACE.(TYP.)
- MECHANICAL EQUIPMENT (GROUND MOUNTED)
- CONCRETE SLAB ON GRADE
- OUTLINE OF BALCONY AT 2ND FLOOR.
- OUTLINE OF ROOF ABOVE.

GENERAL NOTES PER CITY OF CHANDLER

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- SIGN REQUIRES SEPARATE PERMIT.
- BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:

- EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
- EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
- STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
- WINDOWS ARE TREATED WITH SHADING DEVICE, SHUTTERS. MOST OF WINDOWS ARE RECESSED.
- ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE
- ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
- ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
- SCREENED BACKYARD IS PROVIDE TO INCREASE PRIVACY.
- MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.



CLIENT:
 MARS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 06-30-2013

DRAWING TITLE
BUILDING TYPE 1 - 1ST & 2ND FLOOR PLANS

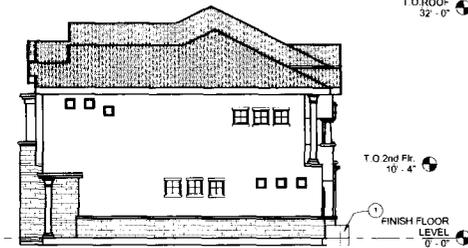
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A31.1

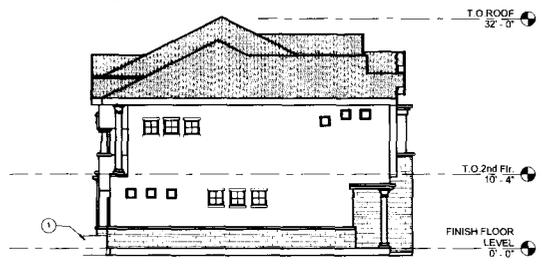
C.C.C. LOG NO. -PRE12-0032



1 FRONT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
1/8" = 1'-0"

GENERAL NOTES PER CITY OF CHANDLER:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

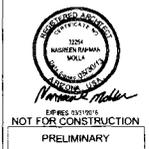
GENERAL ARCHITECTURAL NOTES:

1. EXTERIOR WALLS SHALL BE 2X6 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
 2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
 3. STONE VENEER, DECORATIVE BANDS, DECORATIVE RAILING ELEMENTS, COLUMNS, DECORATIVE MOLDING ARE ADDED TO ENHANCE AESTHETIC.
 4. WINDOWS ARE TREATED WITH SHADING DEVICE. SHUTTERS. MOST OF WINDOWS ARE RECESSED.
 5. ALL GLAZING ARE INSULATED. TEMPERED GLAZING SHALL BE PROVIDED WHERE REQUIRED BY BUILDING CODE.
 6. ROOF CONSIST OF WOOD FRAMING WITH SPANISH ROOF TILE WITH R-30 INSULATION MIN.
 7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
 8. SCREENED BACKYARD IS PROVIDE TO INCREASE PRIVACY.
 9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.
- KEY NOTES:** (XX)
1. MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED AND SHALL BE PLACED AT PRIVATE BACKYARD.



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South-East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona



CITY REVIEW SET
PROJECT NO. 103-2012
DATE: 05-30-2013
DRAWING TITLE ELEVATIONS BUILDING TYPE 1
SHEET NO. A3.1.2

C.O.C. LOG NO. PRE12-5003Z



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "D"			
MATERIAL / COLOR	CONCRETE REQUIREMENTS	FINISH	REMARKS
A	MASTIC	STUCCO	STUCCO
B	MASTIC	STUCCO	STUCCO
C	MASTIC	STUCCO	STUCCO
D	MASTIC	STUCCO	STUCCO
E	MASTIC	STUCCO	STUCCO
F	MASTIC	STUCCO	STUCCO
G	MASTIC	STUCCO	STUCCO
H	MASTIC	STUCCO	STUCCO

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND PARTS TYPICAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIREMENTS SEPARATE PERMIT.
4. BATCHING MATERIAL AND PLANT COLORS SHALL VARY PER BUILDING MATERIAL AND COLOR SAMPLES SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



CLIENT:
MANS HOMER
MANS ENTERPRISES, LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



EXPIRES: 03/31/2016

C.O.C. LDG NO. PRE12-0032

CITY REVIEW SET	DATE: 06-28-2013
PROJECT NO: 103-2013	
DRAWING TITLE: ELEVATIONS BUILDING TYPE 1 COLOR SCHEME "D"	SHEET NO: A3.1.2 - D



EXTERIOR COLOR SCHEME "B"			
NAME	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	SW 4412 SHERWIN-WILLIAMS	SHED SYSTEM ON WALL
B	[Color swatch]	SW 4073 SHERWIN-WILLIAMS	SHED SYSTEM ON WALL
C	[Color swatch]	SW 4115 SHERWIN-WILLIAMS	SHED SYSTEM ON WALL
D	[Color swatch]	MANUFACTURER UN SPECIFIED	ROOF TILE
E	[Color swatch]	CHATELAIN SW 4171 SHERWIN-WILLIAMS	COLLAGE GARAGE DOOR
F	[Color swatch]	ROYAL TANK SW 4115 SHERWIN-WILLIAMS	GARAGE DOOR

GENERAL NOTES PER CITY OF CHANDLER

1. ALL POLE MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HIGHEST POLE ON THE MECHANICAL EQUIPMENT.
2. LODD PARAPET WALLS AND COATS EQUAL TO OR GREATER THAN ALL OTHER MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIREMENTS SEPARATE PERMIT.
4. FINISHING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING TYPE AND COLOR SCHEME SHALL BE REFERENCED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



C.O.C. LOG NO. PRE12-0032

DATE: 06-28-2013

PROJECT NO: 103-2013

CITY REVIEW SET

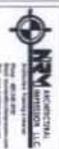
DRAWING TITLE: ELEVATIONS BUILDING TYPE 1 COLOR SCHEME "B"

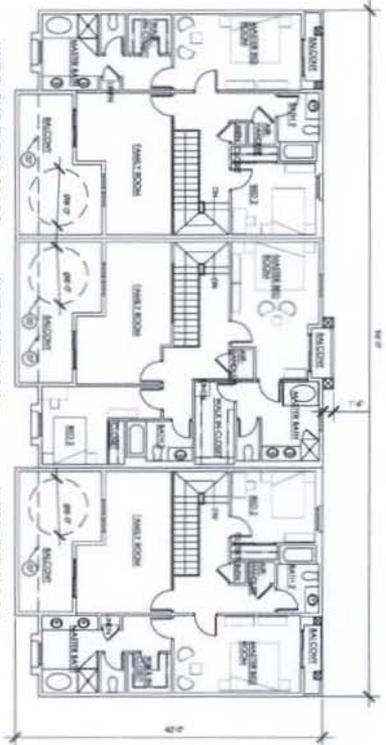
SHEET NO: A3.1.2-b

MUMTAZ GATED COMMUNITY

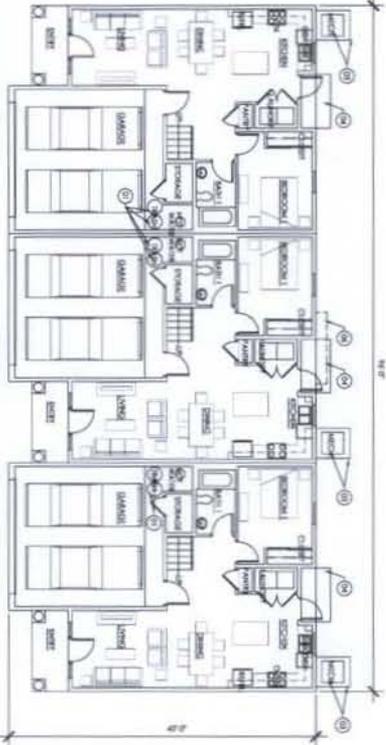
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
MANSI HOMES
MANSI ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85246





2 BUILDING TYPE 2 - 2ND FLOOR PLAN
 UNIT D-2ND FLOOR (OFF.) PLAN TYPE 1
 UNIT D-2ND FLOOR (OFF.) PLAN TYPE 2
 UNIT D-2ND FLOOR (OFF.) PLAN TYPE 1
 GROSS 2ND FLOOR AREA: 3,945.50 SF



1 BUILDING TYPE 2 - 1ST FLOOR PLAN
 UNIT D-1ST FLOOR (OFF.)
 UNIT D-1ST FLOOR
 UNIT D-1ST FLOOR
 GROSS 1ST FLOOR AREA: 3,924.33 SF

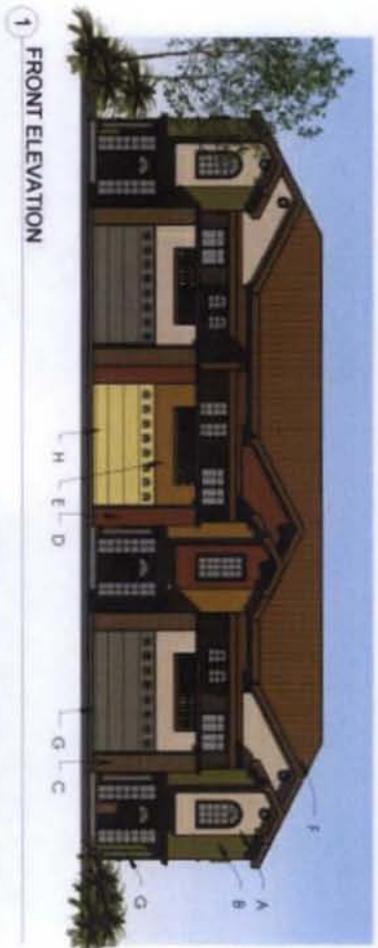
MECHANICAL INFORMATION:
 BUILDING OCCUPANCY: RESIDENTIAL
 CONSTRUCTION CLASSIFICATION: V-A WITH AUTOMATIC FIRE SPRINKLER SYSTEM

ME NOTES:
 1. BRUSH CONTAINER AND RECYCLE CONTAINER
 2. GRCITE KNOCKOUTS REQUIRED
 3. GRCITE SPACER
 4. CONCRETE SLAB ON GRADE
 5. CURB OF BALCONY AT 2ND FLOOR
 7. CURB OF ROOF ABOVE

GENERAL NOTES FOR CITY OF CHANDLER:
 1. ALL ROOF ASSEMBLY MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PERMANENT WALLS EQUAL TO OR GREATER THAN THE HEIGHT FROM GROUND MECHANICAL EQUIPMENT.
 2. SOLID MAASCHERY WALLS AND SCREENS SHALL BE EQUAL TO OR GREATER THAN ALL EXISTING MECHANICAL EQUIPMENT.
 3. SCREENS SHALL BE EQUAL TO OR GREATER THAN ALL EXISTING MECHANICAL EQUIPMENT.
 4. BUILDING MATERIAL AND PAINT SELECTION, MATERIAL AND COLOR SAMPLES SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.

ARCHITECTURAL NOTES:
 1. EXTERIOR WALLS SHALL BE 2X4 STUD FRAMING FILLED WITH 8-19 BATT INSULATION.
 2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
 3. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM.
 4. WINDOWS ARE TREATED WITH SHADING DEVICE, SHUTTERS, MOST OF WINDOWS ARE REQUIRED.
 5. ALL GLAZING ARE INSULATED, THERMALLY GLAZING SHALL BE REQUIRED BY BUILDING CODE.
 6. ROOF CONCRETE OR WOOD FRAMING WITH INSULATION TILE WITH 2" INSULATION MIN.
 7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED.
 8. SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
 9. MECHANICAL UNITS ARE WITHIN SCREENED BACKYARD.

	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona	CLIENT: MAAS HOMES MAAS ENTERPRISES LLC P.O. BOX 12700 CHANDLER, AZ 85248		C.O.C. LOG NO. PRE12-0032
				PROJECT NO. 100-2013 DATE: 05-20-2013 DRAWING TITLE: BUILDING TYPE 2 - FIRST AND 2ND FLOOR PLAN SHEET NO. A3.21



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "d"

MARKET COLOR	COLOR NUMBER/NAME	USAGE
A	SW 4417 SHERWIN-WILLIAMS SHERWIN-WILLIAMS	WALLS SYSTEM ON WALL
B	SW 4418 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
C	SW 4419 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
D	SW 4420 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
E	SW 4421 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
F	SW 4422 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
G	SW 4423 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL
H	SW 4424 SHERWIN-WILLIAMS TO BE DETERMINED	SYSTEM ON WALL

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF ARCHITECTURAL EQUIPMENT SHALL BE BLUE SCHEMATIC FINISHES SHALL BE EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL OUTSIDE MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL VARY PER BUILDING MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



EGP-RS 03/11/2016

C.O.C. LOG NO. PRE12-0032

CITY REVIEW SET
PROJECT NO. 161-3913
DATE: 05-28-2016
DRAWING TITLE ELEVATIONS
SHEET NO.
A 3.2.2-d

NEW ARCHITECTURAL
ARCHITECTS

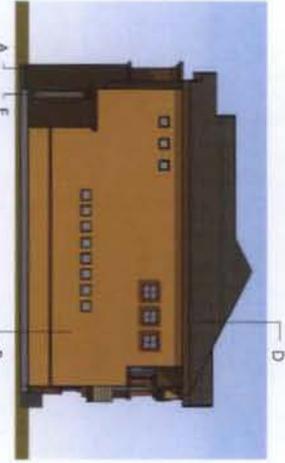
MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12793
CHANDLER, AZ 85246



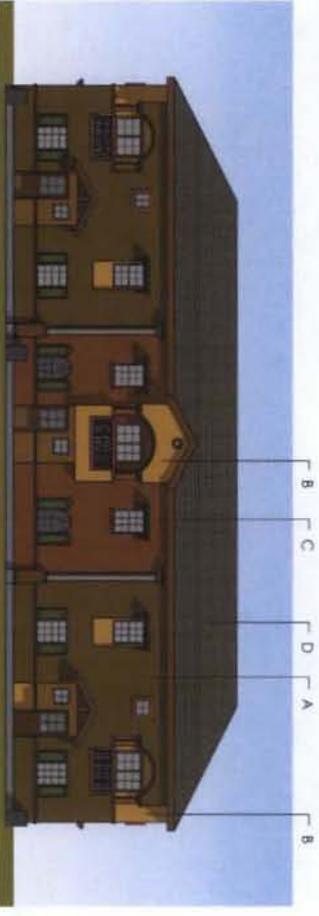
1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "B"			
MARK	COLOR	COLOR NUMBER/NAME	SURFACE
A	[Color swatch]	FAHRENHEIT BRONZE	STUCCO
B	[Color swatch]	SHERRIN-WILLIAMS	STUCCO ON WALL
C	[Color swatch]	HONEYCOMB	STUCCO ON SYSTEM ON WALL
D	[Color swatch]	SHERRIN-WILLIAMS	STUCCO ON WALL
E	[Color swatch]	SHERRIN-WILLIAMS	STUCCO ON WALL
F	[Color swatch]	SHERRIN-WILLIAMS	STUCCO ON WALL

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE TYPICALLY SCREENED FROM THE MULTIFAMILY TO OR GREATER THAN THE HEIGHT FROM THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GABLES SHALL BE TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL EXPOSED MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRED SEPARATE PERMIT.
4. FINISHING MATERIAL AND PAINT COLORS SHALL VARY PER MATERIAL. MATERIAL AND COLOR SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.



EXPRES 003112016

C.O.C. LOG NO. PRE12-0032

CITY REVIEW SET	DATE: 05-28-2011	PROJECT NO. 10-2011	DRAWING TITLE: ELEVATIONS
			BUILDING TYPE 2
			COLOR SCHEME "B"
			SHEET NO. A3.2.2-b

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CLIENT:
MAAS HOMES
MAAS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85246



2 2ND FLOOR PLAN - BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"
 UNIT C-2ND FLOOR (OFF) 2ND FLOOR FINISH AREA: 108 SF 2ND FLOOR EQUIP. AREA: 28 SF
 UNIT D-2ND FLOOR (OFF) 2ND FLOOR FINISH AREA: 108 SF 2ND FLOOR EQUIP. AREA: 28 SF
 UNIT C-2ND FLOOR (OFF) 2ND FLOOR FINISH AREA: 108 SF 2ND FLOOR EQUIP. AREA: 28 SF
 GROSS 2ND FLOOR AREA: 4,100.15 SF



1 1ST FLOOR PLAN - BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"
 UNIT C-1ST FLOOR (ACCESSIBLE) 1ST FLOOR FINISH AREA: 612 SF 1ST FLOOR EQUIP. AREA: 47 SF
 UNIT D-1ST FLOOR (ACCESSIBLE) 1ST FLOOR FINISH AREA: 612 SF 1ST FLOOR EQUIP. AREA: 47 SF
 UNIT C-1ST FLOOR (ACCESSIBLE) 1ST FLOOR FINISH AREA: 612 SF 1ST FLOOR EQUIP. AREA: 47 SF
 GROSS 1ST FLOOR AREA: 4,273.72 SF

1 1ST FLOOR PLAN - BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"

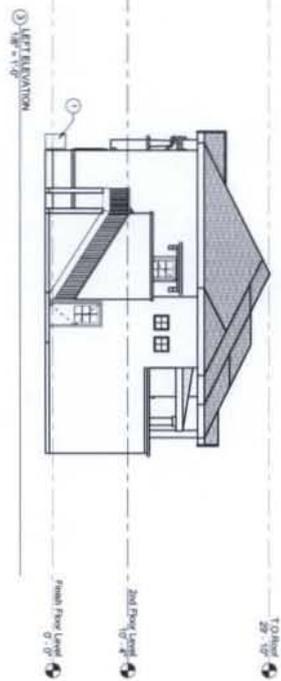
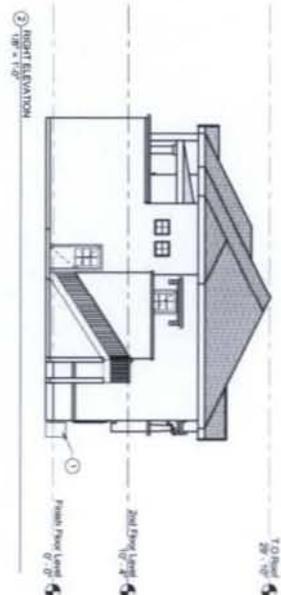
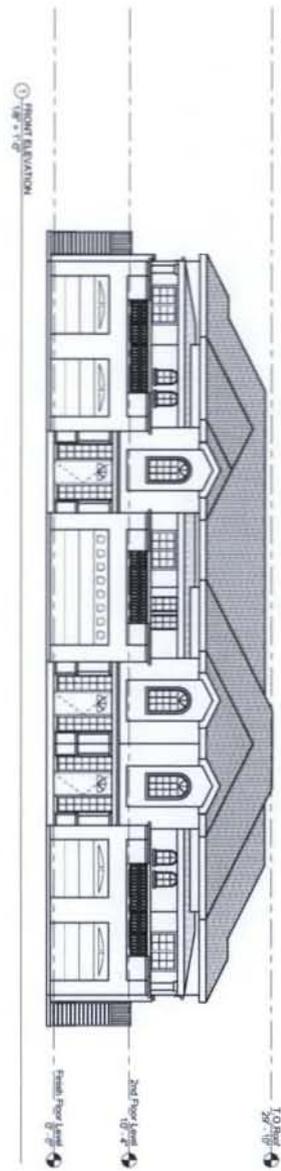
NOTE:
 BUILDING OCCUPANCY:
 GROUP - R2 DOWNTOWN
 U - TYPE 3 OFFICE
 CONSTRUCTION CLASSIFICATION:
 V3 WITH AUTOMATIC FIRE SPRINKLER SYSTEM

SET NOTES:
 1. BRASH CONTAINER AND RECYCLE CONTAINERS REQUIRED
 2. OPEN SPACE (TYP)
 3. MECHANICAL EQUIPMENT (ROUND ROOF) SHALL BE ON GRADE
 4. OUTSIDE OF BALCONY AT 2ND FLOOR
 7. OUTSIDE OF ROOF ABOVE

GENERAL NOTE RE CITY OF CHANDLER
 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO OR GREATER THAN THE HEIGHT FROM THE MECHANICAL EQUIPMENT
 2. SOLID MAASHER WALLS AND GATES EQUAL TO OR GREATER THAN THE HEIGHT OF MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT
 3. TSPH requires separate permit
 4. BUILDING MATERIAL AND FINISH SCHEDULE SHALL BE SUBMITTED TO THE CITY OF CHANDLER AND APPROVED BY THE CITY PLANNING DEPARTMENT PRIOR TO CONSTRUCTION

ARCHITECTURAL NOTES:
 1. EXTERIOR WALLS SHALL BE 2x4 STUD FRAMING FILLED WITH R-19 BATT INSULATION MIN.
 2. EXTERIOR FINISH SHALL BE EXTERIOR STUCCO SYSTEM
 3. STONE, TILE, DECORATIVE BANDS, DECORATIVE PAINTING ELEMENTS, COLUMNS, DECORATIVE HOLDINGS ARE AGREED TO BE FINISHED AS NOTED
 4. WINDOWS ARE BEATED WITH SHADING DEVICE, SHUTTERS, LOUVERS OR WINDOWS ARE RECESSED
 5. ALL GLAZING ARE ENGLAND, TYPICALLY GLAZING SHALL BE RECESSED AS NOTED BY REVISION CODE
 6. ROOF CONCRETE OR WOOD DECK WITH A MINIMUM FINISH WITH 30 INSLATION MIN.
 7. ALL MECHANICAL EQUIPMENTS SHALL BE GROUND MOUNTED
 8. SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY
 9. ARCHITECTURAL UNIT ARE WITHIN SCREENED BACKYARD

	MUMTAZ GATED COMMUNITY South- East corner of McQueen Rd. and Willis Rd. Chandler, Arizona	CLIENT: MAAS HOMES MAAS ENTERPRISES, LLC P.O. BOX 12701 CHANDLER, AZ 85246	
	PROJECT NO.: 100-2012 DATE: 06-26-2013 DRAWING TITLE: BUILDING TYPE 3- 1ST AND 2ND FLOOR PLANS SCALE: A3.3.1	CITY REVIEW SET	PROJECT LOG NO.: PRE12-0032



GENERAL NOTES PER CITY OF CHANDLER:

1. ALL ROOF ACQUIRED MECHANICAL EQUIPMENT SHALL BE INSTALLED BY PARALLEL WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. SIGN REQUIRES SEPARATE PERMIT.
4. BUILDING MATERIAL AND PAINT COLORS SHALL COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. MATERIALS TO BE APPLIED BY CITY PLANNING PRIOR TO CONSTRUCTION.

GENERAL ARCHITECTURAL NOTES:

1. EXTERIOR WALLS SHALL BE 2x6 STUDS AND JOIST FIELDS WITH 1/2" GYPSUM BOARD FINISH.
 2. EXTERIOR FINISH SHALL BE EXTERIOR FINISH SYSTEM.
 3. BONE VINYL, DISCREPANT BANDS, OCCASIONAL BALANCE ELEMENTS, OCCASIONAL DISCREPANT MOLDINGS ARE ALLOWED TO MATCH THE AESTHETIC.
 4. WINDOWS ARE BRANDED WITH SHADING DEVICE. SHUTTER, MOUNT OF WINDOWS ARE RECEIVED.
 5. ALL GLASSING ARE INSTALLED, TIGHTENED GLASSING SHALL BE INSTALLED WHERE REQUIRED BY BUILDING CODE.
 6. ROOF CEILING OF WOOD BEAMS WITH CEILING BOARD 1/2" WITH 1/2" INSULATION WITH.
 7. ALL MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED.
 8. SCREENED BACKYARD IS PROVIDED TO INCREASE PRIVACY.
 9. MECHANICAL UNIT ARE WITHIN SCREENED BACKYARD.
- KEY NOTES:** (X)
1. MECHANICAL EQUIPMENT SHALL BE GROUND MOUNTED AND SHALL BE PLACED AT PRIVATE BACKYARD.



CLIENT:
MAH HOMES
 MAH HOMES LLC
 P.O. BOX 12345
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PHILLIP M. MUMTAZ
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF ARIZONA
 LICENSE NO. 12345

CITY REVIEW SET
PROJECT NO. 123-2012
DATE: 01-20-2012
DRAWING TITLE ELEVATIONS BUILDING TYPE 3
SHEET NO. A3.3.2

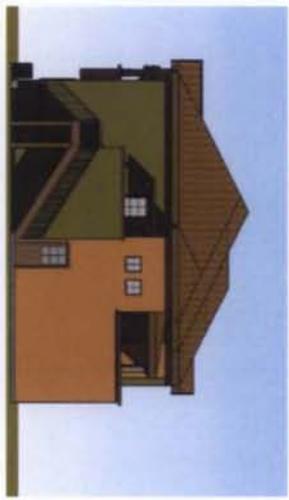
C.O.C. LOG NO. PRE12-0032



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 LEFT ELEVATION



4 REAR ELEVATION

EXTERIOR COLOR SCHEME "D"

NAME	COLOR	COLOR NUMBER (MATERIAL)	SURFACE
A	[Color swatch]	BRICK (GREEN) SHEATH (W/ LAMT)	INTERIOR SHEATH ON WALL
B	[Color swatch]	ROULET ORE SHEATH (W/ LAMT)	INTERIOR SHEATH ON WALL
C	[Color swatch]	POPE (W/ LAMT) SHEATH (W/ LAMT)	INTERIOR SHEATH ON WALL
D	[Color swatch]	HOPE (W/ LAMT) SHEATH (W/ LAMT)	INTERIOR SHEATH ON WALL
E	[Color swatch]	W/ OF (W/ LAMT) SHEATH (W/ LAMT)	ROOF SHEATH
F	[Color swatch]	COLONIA SHEATH (W/ LAMT)	COLONIA SHEATH ROOF
G	[Color swatch]	BRICK (GREEN) SHEATH (W/ LAMT)	BRICK SHEATH ROOF

GENERAL NOTES PER CITY OF CHANDLER

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SIGN PARAPET WALLS AND GABLES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. SIGN REQUIREMENTS SEPARATE PERMIT.
4. BRICKING MATERIAL AND PAINT COLORS SHALL VARY PER MATERIAL. MATERIAL AND COLOR SAMPLES SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION.

REGISTERED ARCHITECT
 32254
 MAREEN RAHMAN
 MULLA
 06/2012
 ARIZONA, U.S.A.
 EXPRES 03/11/2016

C.O.C. LOG NO. PRE12-0032

CITY REVIEW SET

PROJECT NO. 163-202

DATE: 05-26-2015

DRAWING TITLE
ELEVATIONS
 BUILDING TYPE 3
 COLOR SCHEME
 "D"

SHEET NO.
A3.3.2-D

MUMTAZ GATED COMMUNITY

South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona

CLIENT:
 MAAS HOMES
 MAAS ENTERPRISES LLC
 P.O. BOX 12700
 CHANDLER, AZ 85246





CLIENT:
 MARS HOMES
 MARS ENTERPRISES LLC
 P.O. BOX 12203
 CHANDLER, AZ 85248

BUILDING INFORMATION

GROSS BUILDING AREA: 11,930 SF
 BUILDING OCCUPANCY GROUP: A-3
 USE: GAME, FITNESS CENTERS, MULTI-PURPOSE AND PRAYER SERVICES.
 CONSTRUCTION CLASSIFICATION: V-A WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

KEY NOTES:

1. TRASH CONTAINER LOCATION.
2. OUTLINE OF DOME ABOVE.
3. OUTLINE OF BASKET BALL COURT.

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



EXPIRES 12/31/15
 NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

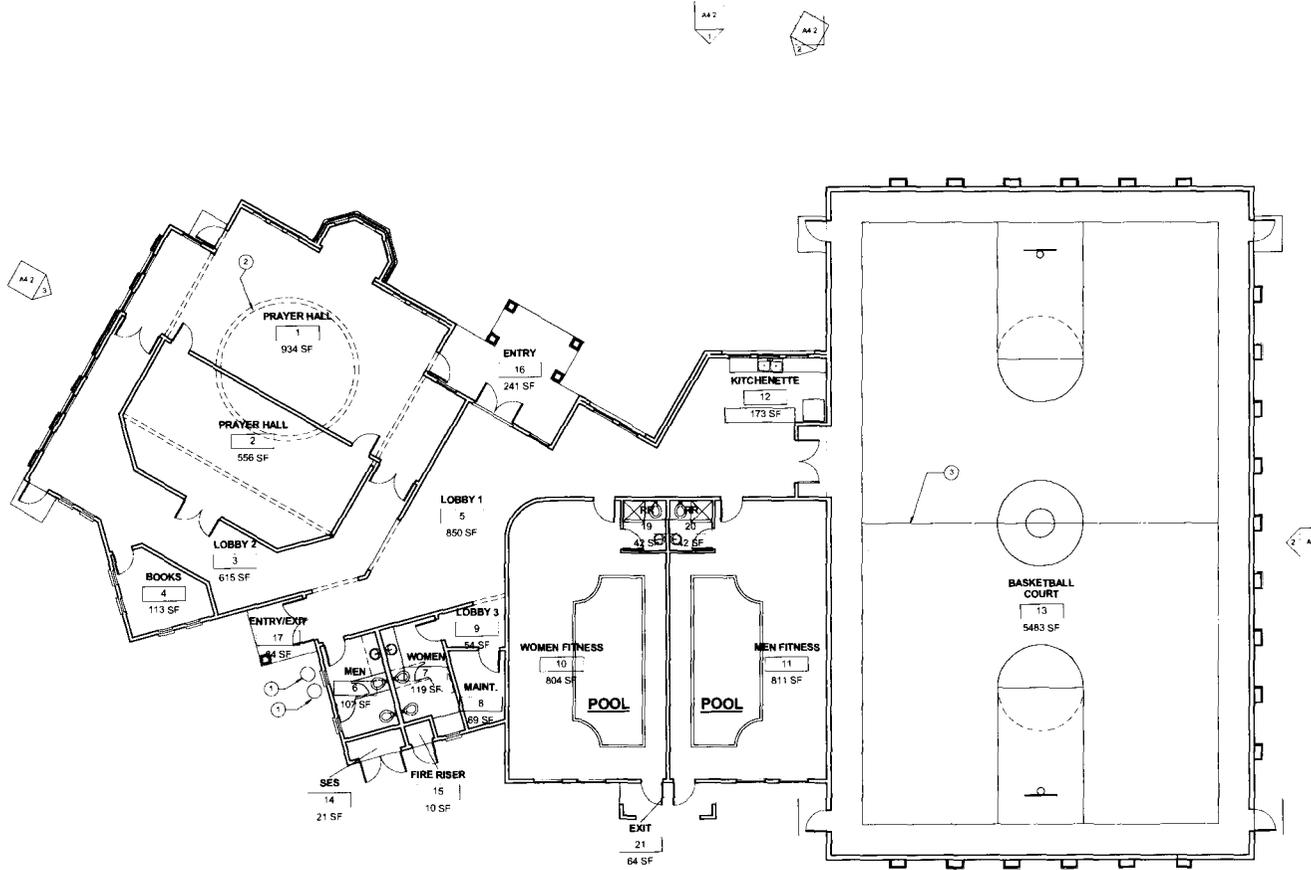
DATE: 05-30-2013

DRAWING TITLE
**COMMUNITY
 BUILDING
 FLOOR
 PLAN**

SHEET NO.

A4.1

C.O.C. LOG NO. PRE12-0032



GROSS BUILDING AREA: 11,930 SF



① FIRST FLOOR PLAN
 1/8" = 1'-0"



CLIENT:
 MARS HOMES
 MARS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



EXPRS 2012/16
 NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

DATE: 05-30-2013

DRAWING TITLE

**ELEVATIONS
 (BLACK/
 WHITE)**

SHEET NO.

A4.2

C.C. LOG NO. PRE 12-20032



1 NORTH ELEVATION
 1/8" = 1'-0"

**GENERAL NOTES PER
 CITY OF CHANDLER:**

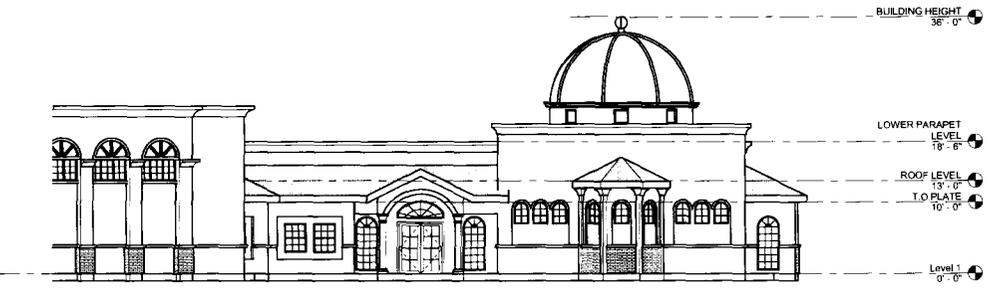
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIALS AND COLORS SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTES.
4. SIGN REQUIRES SEPARATE PERMIT.

**ARCHITECTURAL
 GENERAL NOTES:**

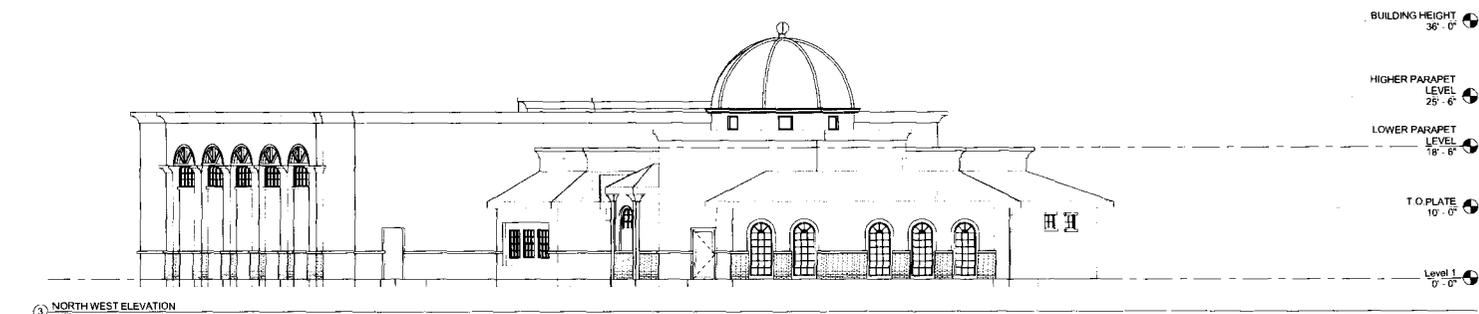
1. EXTERIOR WALLS TO BE METAL FRAME AND MASONRY CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
2. BRICK VENEER, ROOF CROWN HOLDING AND FOAM POP-OUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLASSES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING WITH COPPER CLADDING OR TO BE PAINTED ON STUCCO SYSTEM ORNAMENTAL PAINTED METAL RIB ARE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON ROOF MOUNTED AND FULLY SCREENED BY PARAPET WALL.

KEY NOTES:

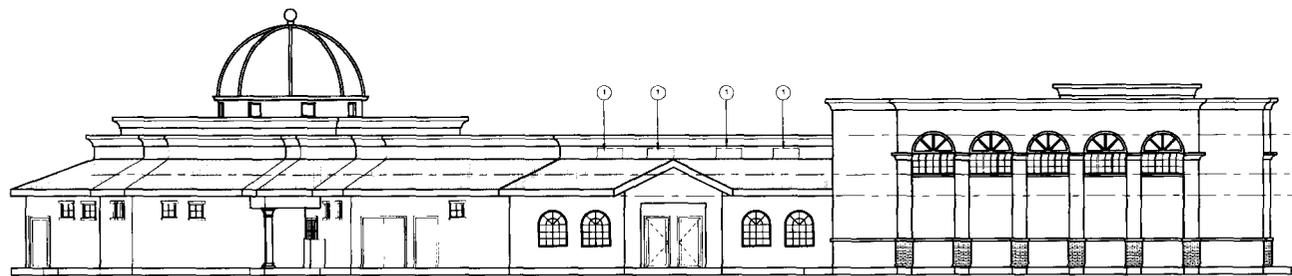
1. ROOF MOUNTED MECHANICAL UNITS ARE FULLY SCREENED BY 6" MIN. PARAPET WALL. REFER TO SHEET A4.2 FOR LOCATION.



2 NORTH ENTRY ELEVATION (PARTIAL)
 1/8" = 1'-0"

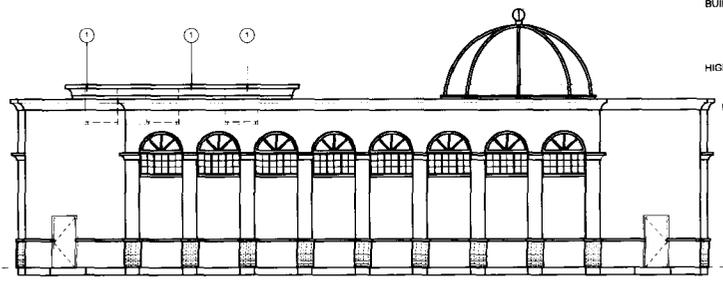


3 NORTH WEST ELEVATION
 1/8" = 1'-0"



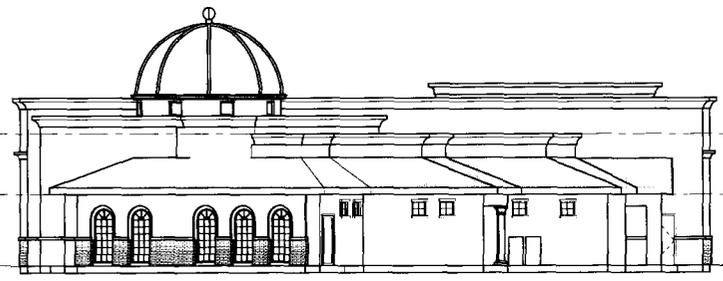
BUILDING HEIGHT 36'-0"
 HIGHER PARAPET LEVEL 25'-6"
 LOWER PARAPET LEVEL 18'-6"
 ROOF LEVEL 13'-0"
 T.O. PLATE 10'-0"
 Level 1 0'-0"

1 SOUTH ELEVATION
 1/8" = 1'-0"



BUILDING HEIGHT 36'-0"
 HIGHER PARAPET LEVEL 25'-6"
 HIGHER ROOF LEVEL 20'-0"
 Level 1 0'-0"

2 EAST ELEVATION
 1/8" = 1'-0"



BUILDING HEIGHT 36'-0"
 HIGHER PARAPET LEVEL 25'-6"
 LOWER PARAPET LEVEL 18'-6"
 T.O. PLATE 10'-0"
 Level 1 0'-0"

3 WEST ELEVATION
 1/8" = 1'-0"

GENERAL NOTES PER CITY OF CHANDLER:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
3. BUILDING MATERIALS AND PAINT COLORS SHALL VARY PER BUILDINGS. MATERIALS AND COLORS SAMPLE SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTES.
4. SIGN REQUIRES SEPARATE PERMIT.

ARCHITECTURAL GENERAL NOTES:

1. EXTERIOR WALLS TO BE METAL FRAME AND MASONRY CONSTRUCTION WITH EXTERIOR STUCCO SYSTEM.
2. BRICK VENEER, ROOF CROWN MOLDING AND FOAM POPOUT ARE PROVIDED TO ADD AESTHETIC ACCENT.
3. ALL GLASSES ARE TEMPERED INSULATED GLASS.
4. DOME TO BE BUILT WITH LIGHT-WEIGHT METAL FRAMING WITH COPPER CLADDING OR TO BE PAINTED ON STUCCO SYSTEM ORNAMENTAL PAINTED METAL RIB ARE ADDED ON TOP OF DOME TO ENHANCE BEAUTY.
5. ALL MECHANICAL EQUIPMENTS ARE ON ROOF-MOUNTED AND FULLY SCREENED BY PARAPET WALL.

KEY NOTES:

* ROOF MOUNTED MECHANICAL ENTS ARE FULLY SCREENED BY 5'-6" MIN PARAPET WALL



CLIENT:
 MARS HOMES
 MARS ENTERPRISES LLC
 P.O. BOX 12703
 CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
 South-East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



NOT FOR CONSTRUCTION
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 103-2012

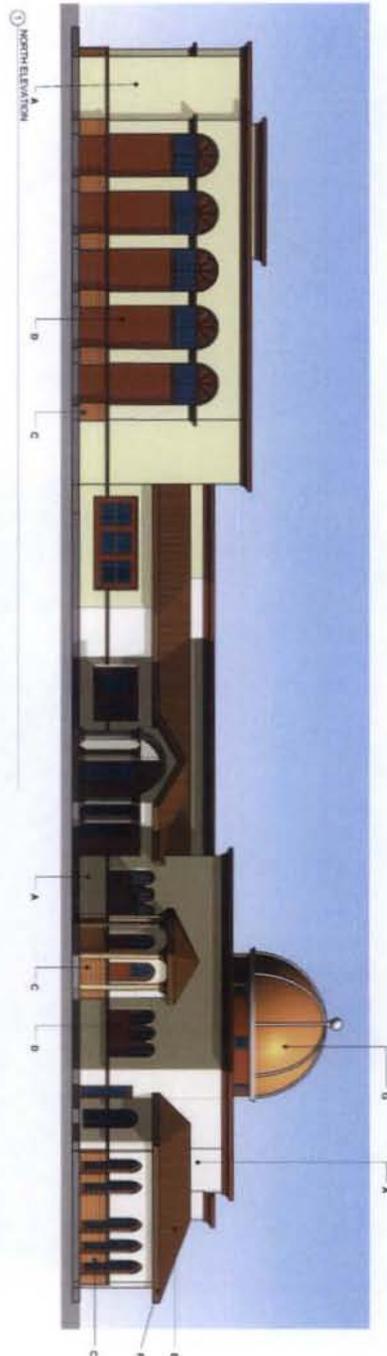
DATE: 05-30-2013

DRAWING TITLE
**ELEVATIONS
 (BLACK &
 WHITE)**

SHEET NO.

A4.3

C.O.C. LOG NO. PRE12-50032



NAME	COLOR	COLOR NUMBER/NAME	SURFACE
A	Yellow	SW 473 WELLSLAND	STUCCO SYSTEM ON WALL
B	Orange	SW 473 WELLSLAND	STUCCO SYSTEM ON WALL
C	Dark Brown	SW 4095 SHEWEN WELLSLAND	WOOD TRIM
D	Light Brown	SW 4095 SHEWEN WELLSLAND	WOOD TRIM
E	Dark Brown	SW 4095 SHEWEN WELLSLAND	WOOD TRIM
F	Dark Brown	SW 4095 SHEWEN WELLSLAND	WOOD TRIM
G	Dark Brown	SW 4095 SHEWEN WELLSLAND	WOOD TRIM



- GENERAL NOTES PER CITY OF CHANDLER:**
1. ALL ROOM MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARALLEL WALLS EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 2. ALL OUTDOOR MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES SHALL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 3. BRICKS, MASONRY AND PAINT COLORS SHALL VARY FROM THE EXISTING BUILDING. ALL MATERIALS SHALL BE SUBMITTED TO AND APPROVED BY CITY PLANNING DEPARTMENT PRIOR TO CONSTRUCTION. SEE MATERIAL AND PAINT COLOR EXHIBITS FOR PAINT COLORS AND MATERIAL PALETTE.
 4. SIGN EXHIBITS SPEAKERS PERMIT.



CLIENT:
 MARI HOUST
 MARI ENTERPRISES LLC
 P.O. BOX 17703
 CHANDLER, AZ 85288

MUMTAZ GATED COMMUNITY
 South- East corner of McQueen Rd.
 and Willis Rd.
 Chandler, Arizona



DAVID J. CHAPPELL
 ENGINEER
 NO. 10000
 STATE OF ARIZONA
 PRELIMINARY

CITY REVIEW SET

PROJECT NO. 18-1012
 DATE: 06-26-2013

DRAWING TITLE
**ELEVATIONS
 - COLOR
 SCHEME "e"**

SHEET NO.

A4-4-e

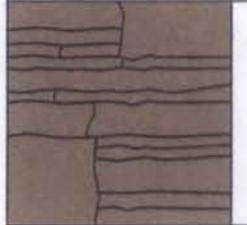
C.O.C. LOG NO. PRE12-0032

EXTERIOR WALLS

 SW 6418 Rural Green	 SW 6375 Honeycomb	 SW 6360 Folksy Gold	 SW 6412 Eminent Bronze	 SW 6333 Foxy	 SW 6617 Blushing
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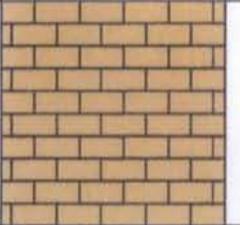
RURAL GREEN SW6418 MANUFACTURER: SHERWIN-WILLIAMS.	HONEYCOMB SW 6375 MANUFACTURER: SHERWIN-WILLIAMS	FOLKSY GOLD SW 6360 MANUFACTURER: SHERWIN-WILLIAMS	EMINENT BRONZE SW6412 MANUFACTURER: SHERWIN-WILLIAMS.	FOXY SW 6333 MANUFACTURER: SHERWIN-WILLIAMS.	BLUSHING SW 6617 MANUFACTURER: SHERWIN-WILLIAMS.
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STONES



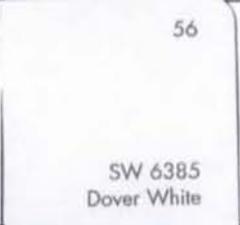
STONE VENEER
MANUFACTURER:
TO BE DETERMINED

BRICKS



BRICK VENEER
MANUFACTURER:
TO BE DETERMINED

RIBS / POPOUTS



56

SW 6385
Dover White

DOME



METAL CLADDING
OR STUCCO
FINISH.
MANUFACTURER: TBD

RAILINGS



SW 6342
Spicy Hue

EXTERIOR WALLS

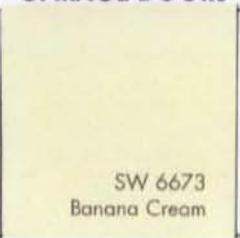


BANANA CREAM SW 6673
MANUFACTURER:
SHERWIN-WILLIAMS.

GARAGE DOORS



TOTALLY TAN SW 6115
MANUFACTURER:
SHERWIN-WILLIAMS.



BANANA CREAM SW 6673
MANUFACTURER:
SHERWIN-WILLIAMS.



CHATROOM SW 6171
MANUFACTURER:
SHERWIN-WILLIAMS.



TOTALLY TAN SW 6115
MANUFACTURER:
SHERWIN-WILLIAMS.

COLUMNS



FOXY SW 6333
MANUFACTURER:
SHERWIN-WILLIAMS.



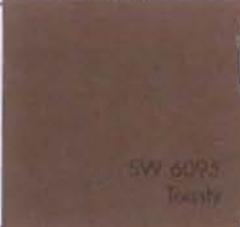
CHATROOM SW 6171
MANUFACTURER:
SHERWIN-WILLIAMS.

ACCENTS



SW 6342
Spicy Hue

FASCIA

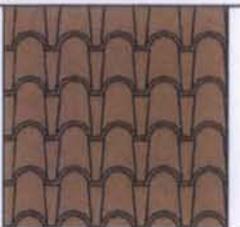


SW 6095
Toasty

ROOFS



ROOF TILE # 2
MANUFACTURER:
TO BE DETERMINED



ROOF TILE # 1
MANUFACTURER:
TO BE DETERMINED



CLIENT:
MARS HOMES
MARS ENTERPRISES LLC
P.O. BOX 12703
CHANDLER, AZ 85248

MUMTAZ GATED COMMUNITY
South- East corner of McQueen Rd.
and Willis Rd.
Chandler, Arizona

CITY REVIEW SET

PROJECT NO. 100-2012

DATE: 06-30-2013

DRAWING TITLE
COLOR PALETTE

SHEET NO.
A5.2

C.O.C. LOG NO. PRE12-0032



Nasreen Molla

EXPIRES 03/31/2016