

3

FEB 27 2014

ORDINANCE NO. 4525

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL(S) FROM PLANNED AREA DEVELOPMENT (PAD) FOR COMMERCIAL USES TO PLANNED AREA DEVELOPMENT (PAD) FOR SINGLE-FAMILY RESIDENTIAL (DVR13-0031 LAYTON LAKES PARCEL 17) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'

Said parcel(s) are hereby rezoned from PAD for Commercial Uses to PAD for Single-Family Residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Layton Lakes Parcel 17" and kept on file in the City of Chandler Planning Division, in File No. DVR13-0031, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.

2. Compliance with the original stipulations adopted by the City Council as Ordinance 3250, case DVR00-0025 LAYTON LAKES, except as modified by condition herein.
3. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
4. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
5. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
6. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
8. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
9. Approval by the Director of Transportation & Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
10. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

Ordinance No. 4525

20070242318

Attachment 'A'

EXHIBIT "A"

PARCEL NO. 1:

Parcel 4, of LAYTON LAKES PHASE 1 - GILBERT, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 832 of Maps, Page 14.

PARCEL NO. 2:

That portion of the Northwest quarter of Section 18, Township 2 South, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Commencing at a Brass Cap in hand hole found and accepted as the monument for the Northwest corner of said Section 18 from which a Brass Cap in hand hole found and accepted as the monument for the North quarter corner of said Section bears North 89 degrees 11 minutes 44 seconds East a distance of 2503.24 feet;

thence along the North line of said Northwest quarter, North 89 degrees 11 minutes 44 seconds East a distance of 109.27 feet;

thence departing said North line, South 00 degrees 48 minutes 16 seconds East a distance of 75.00 feet to the POINT OF BEGINNING;

thence the following seven (7) courses;

(1) North 89 degrees 11 minutes 44 seconds East a distance of 90.89 feet;

(2) South 00 degrees 48 minutes 17 seconds East a distance of 7.00 feet;

(3) North 89 degrees 11 minutes 44 seconds East a distance of 30.00 feet;

(4) North 00 degrees 48 minutes 17 seconds West a distance of 7.00 feet;

(5) North 89 degrees 11 minutes 44 seconds East a distance of 43.75 feet;

(6) North 00 degrees 48 minutes 16 seconds West a distance of 10.00 feet;

(7) North 89 degrees 11 minutes 44 seconds East a distance of 595.07 feet;

thence South 00 degrees 48 minutes 16 seconds East a distance of 290.86 feet to the beginning of a tangent curve concave Northwest having a radius of 400.00 feet;

thence Southwesterly along said curve through a central angle of 90 degrees 35 minutes 36 seconds an arc length of 632.46 feet;

thence South 89 degrees 47 minutes 17 seconds West a distance of 407.64 feet;

thence North 00 degrees 12 minutes 40 seconds West a distance of 350.99 feet;

20070242318

thence North 89 degrees 47 minutes 13 seconds East a distance of 10.00 feet;

thence North 00 degrees 12 minutes 40 seconds West a distance of 290.73 feet;

thence North 44 degrees 29 minutes 28 seconds East a distance of 49.81 feet to the POINT OF BEGINNING

PARCEL NO. 3:

That portion of the Northeast quarter of Section 18, Township 2 South, Range 6 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Commencing at a brass cap in hand hole found and accepted as the monument for the Northeast corner of said Section 18 from which a Brass Cap in hand hole found and accepted as the monument for the North quarter corner of said Section bears South 89 degrees 11 minutes 28 seconds West a distance of 2659.24 feet;

thence along the North line of said Northeast quarter South 89 degrees 11 minutes 28 seconds West a distance of 221.23 feet;

thence departing said North line South 00 degrees 48 minutes 32 seconds East a distance of 75.00 feet to the POINT OF BEGINNING;

thence continuing South 00 degrees 48 minutes 32 seconds East a distance of 19.74 feet;

thence South 15 degrees 23 minutes 18 seconds East a distance of 57.43 feet;

thence South 02 degrees 05 minutes 49 seconds East a distance of 113.58 feet;

thence South 08 degrees 27 minutes 09 seconds West a distance of 188.19 feet;

thence South 23 degrees 54 minutes 17 seconds West a distance of 113.14 feet;

thence South 66 degrees 05 minutes 43 seconds East a distance of 63.76 feet;

thence South 43 degrees 41 minutes 18 seconds West a distance of 92.95 feet;

thence South 89 degrees 57 minutes 58 seconds West a distance of 238.65 feet;

thence South 63 degrees 22 minutes 13 seconds West a distance of 53.36 feet;

thence South 89 degrees 09 minutes 47 seconds West a distance of 199.41 feet;

thence South 89 degrees 58 minutes 00 seconds West a distance of 318.59 feet;

thence North 86 degrees 52 minutes 27 seconds West a distance of 215.66 feet;

thence North 66 degrees 32 minutes 51 seconds West a distance of 118.81 feet to a point, said point lying on a non-tangent curve concave Northwesterly having a radius of

20070242318

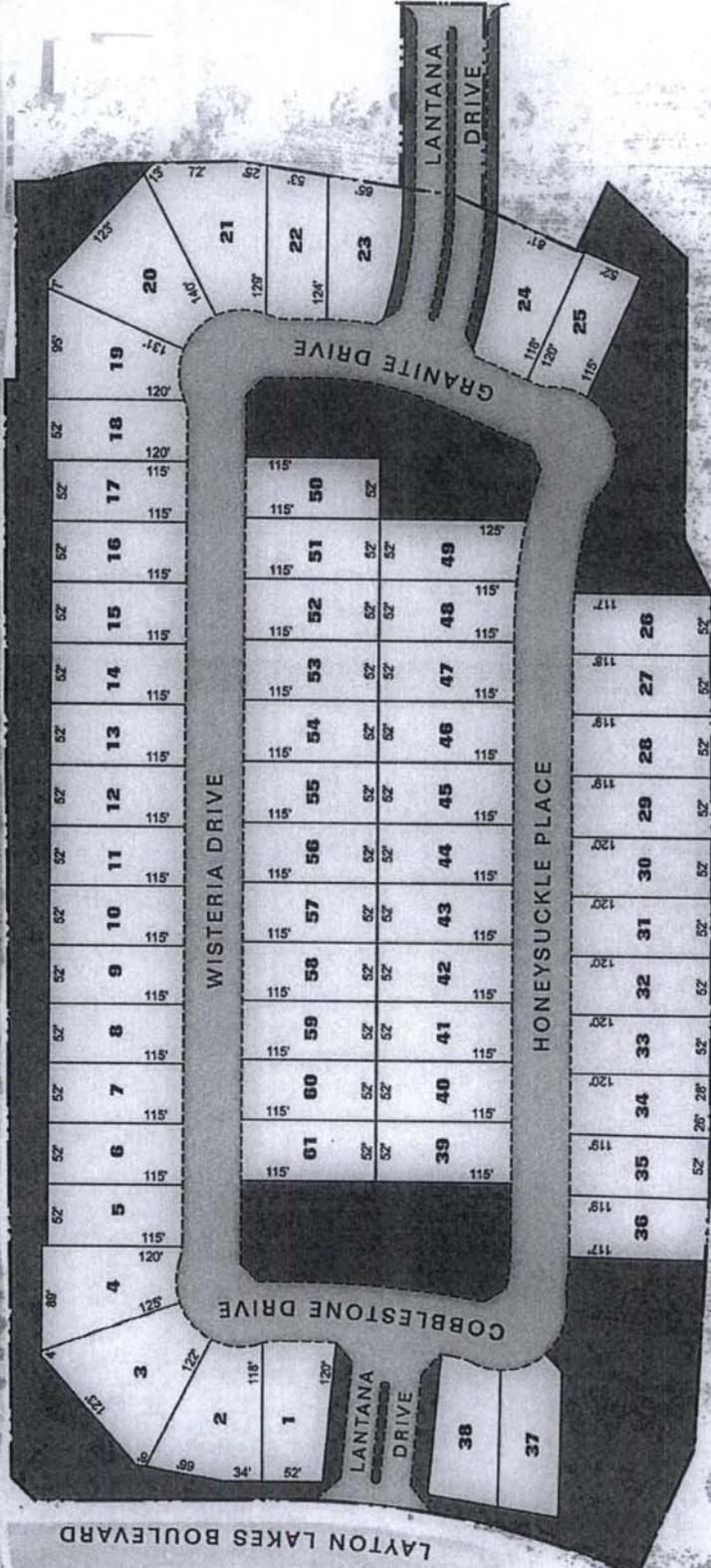
741.00 feet, the center of which bears North 66 degrees 32 minutes 50 seconds West;
thence Northeasterly along said curve through a central angle of 24 degrees 15 minutes
41 seconds an arc length of 313.77 feet to a point of tangency;
thence North 00 degrees 48 minutes 31 seconds West a distance of 208.06 feet;
thence North 44 degrees 11 minutes 29 seconds East a distance of 28.28 feet;
thence North 89 degrees 11 minutes 28 seconds East a distance of 940.20 feet;
thence South 00 degrees 48 minutes 32 seconds East a distance of 10.00 feet;
thence North 89 degrees 11 minutes 28 seconds East a distance of 170.27 feet to the
POINT OF BEGINNING.

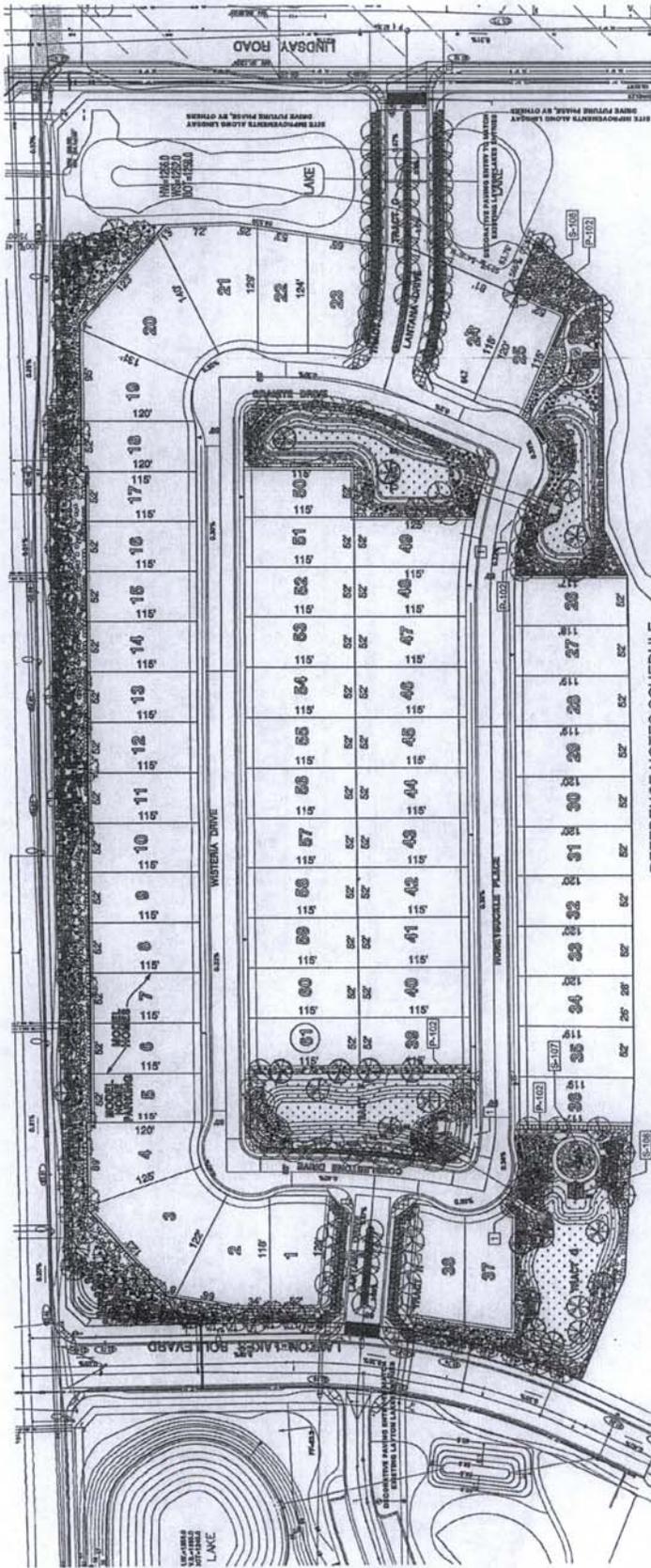
Layton Lakes

Parcel 17

Conceptual Development Plan

Exhibit 3





LAYTON LAKES PARCEL 17
PRELIMINARY LANDSCAPE PLANS

08.14.2013
 1 of 1

PLANT SCHEDULE

SYMBO	DESCRIPTION
1	6" BENCH SURFACE MOUNT.
2	6" PONDIC TABLE. SLEVED IN GROUND MOUNT.
3	SINGLE PONDIC TABLE WITH SIDE COUNTER. SLEVED IN GROUND MOUNT.
4	32" DIAMETER TRASH RECEPTACLE WITH 1.0. SLEVED IN GROUND MOUNT.
5	1/2" BENCH. IN GROUND MOUNTED LOOPS.
6	FEDERAL MOUNTED GROUP MOUNT.
7	PLAY STRUCTURE BY LANDSCAPE STRUCTURES COMPANY. MODEL 1001. OR EQUAL. MODEL 1001. SEE DETAIL SHEET.
8	SEE L&S FOR RAMPAGE TO MATCH EXISTING AT LAYTON LAKE.

REFERENCE NOTES SCHEDULE

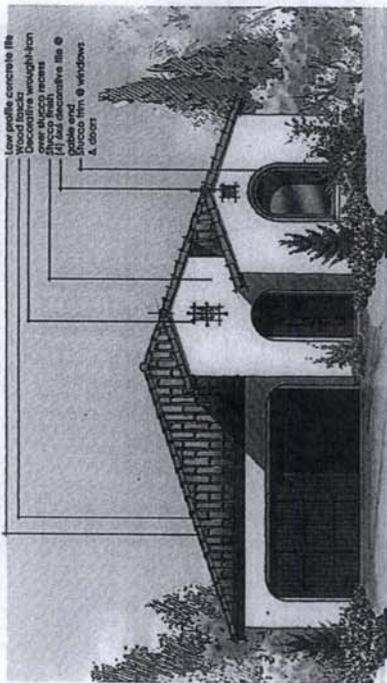
SYMBO	DESCRIPTION
1	DRAINAGE STRUCTURE. SEE CIVIL PLANS.
2	PAVING STRUCTURE. PREPARED OR SCHEDULE, SEE CIVIL PLANS.
3	LIGHTING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.
4	SEE L&S FOR FINISHES, COLORS TO MATCH DECOMPOSED GRANITE. APPROXIMATELY 2' X 3' X 4'.
5	SURFACE SELECT Boulders, COLOR TO MATCH DECOMPOSED GRANITE. APPROXIMATELY 2' X 3' X 4'.
6	DECOMPOSED GRANITE MALCH.
7	PAVING
8	CONCRETE FINISHES 4" WITH 1/2" BENCH.
9	CONCRETE FINISHES 4" WIDE, MEDIUM BROOM FINISH.
10	PAVING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.
11	PAVING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.

PLANT SCHEDULE

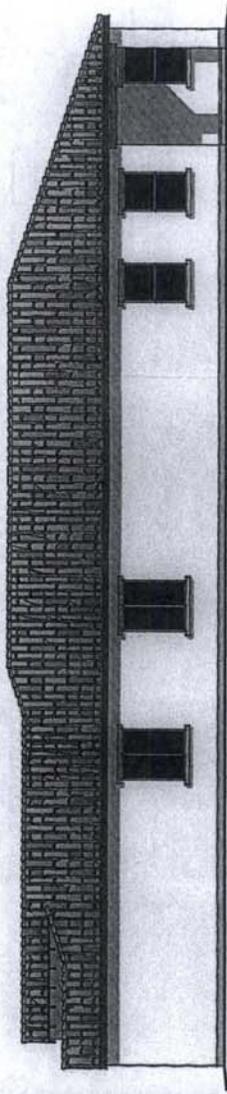
SYMBO	DESCRIPTION
1	1/2" BENCH SURFACE MOUNT.
2	6" PONDIC TABLE. SLEVED IN GROUND MOUNT.
3	SINGLE PONDIC TABLE WITH SIDE COUNTER. SLEVED IN GROUND MOUNT.
4	32" DIAMETER TRASH RECEPTACLE WITH 1.0. SLEVED IN GROUND MOUNT.
5	1/2" BENCH. IN GROUND MOUNTED LOOPS.
6	FEDERAL MOUNTED GROUP MOUNT.
7	PLAY STRUCTURE BY LANDSCAPE STRUCTURES COMPANY. MODEL 1001. OR EQUAL. MODEL 1001. SEE DETAIL SHEET.
8	SEE L&S FOR RAMPAGE TO MATCH EXISTING AT LAYTON LAKE.

REFERENCE NOTES SCHEDULE

SYMBO	DESCRIPTION
1	DRAINAGE STRUCTURE. SEE CIVIL PLANS.
2	PAVING STRUCTURE. PREPARED OR SCHEDULE, SEE CIVIL PLANS.
3	LIGHTING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.
4	SEE L&S FOR FINISHES, COLORS TO MATCH DECOMPOSED GRANITE. APPROXIMATELY 2' X 3' X 4'.
5	SURFACE SELECT Boulders, COLOR TO MATCH DECOMPOSED GRANITE. APPROXIMATELY 2' X 3' X 4'.
6	DECOMPOSED GRANITE MALCH.
7	PAVING
8	CONCRETE FINISHES 4" WITH 1/2" BENCH.
9	CONCRETE FINISHES 4" WIDE, MEDIUM BROOM FINISH.
10	PAVING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.
11	PAVING STRUCTURE. REFER TO ELECTRICAL PLANS FOR DIMENSIONS. MAINTAIN PLANT CLEARANCE PER CITY REQUIREMENTS.

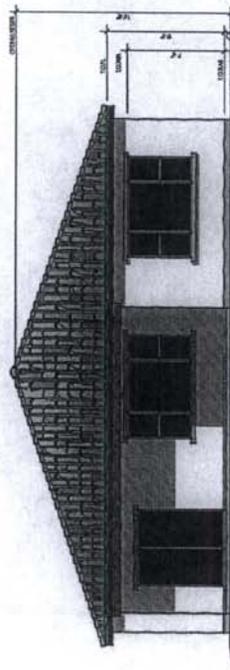


Low profile concrete tile
Wood fascia
Decorative wrought-iron
front porch
Decorative tile @
porch and windows
finico trim @ windows
& door



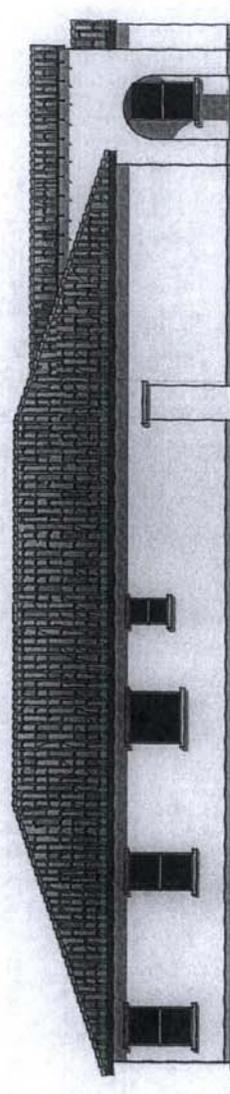
scale: 1/4"=1'

right ELEVATION



scale: 1/4"=1'

rear ELEVATION



scale: 1/4"=1'

left ELEVATION

plan4001

ELEVATION A

concept ELEVATIONS

LAYTON LAKES

woodside homes

07 • 25 • 2013

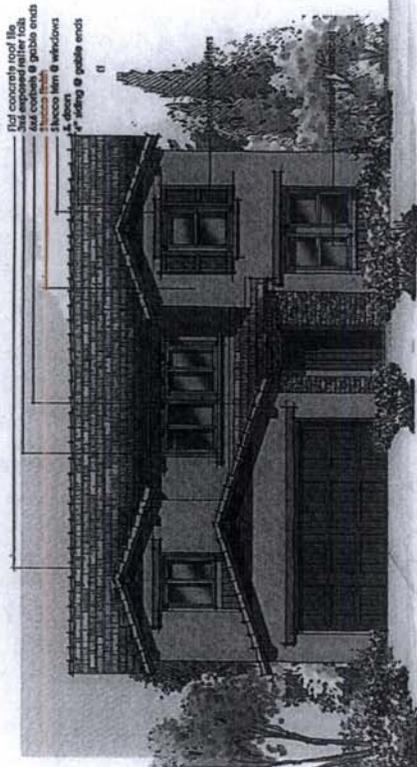
These conceptual elevations are conceptual and not intended for use for construction. They are for informational purposes only. Woodley Architectural Group, Inc. is not responsible for any errors or omissions in this document. All rights reserved. © Woodley Architectural Group, Inc. 2013.

woodleyarchitecturalgroup,inc

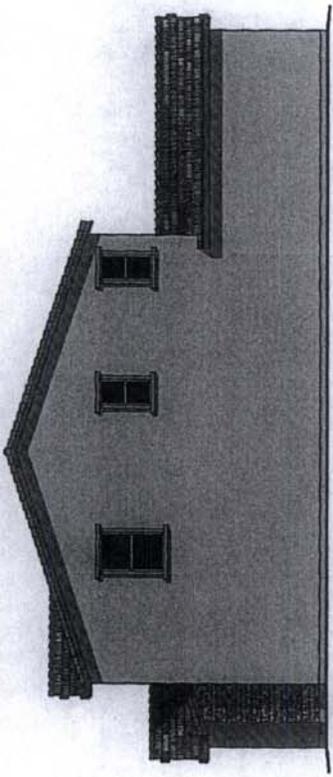
2013 Layton Lakes Drive • 10000 • San Diego, CA 92126 • 619.451.2222

www.woodleyarchitecturalgroup.com • 619.451.2222



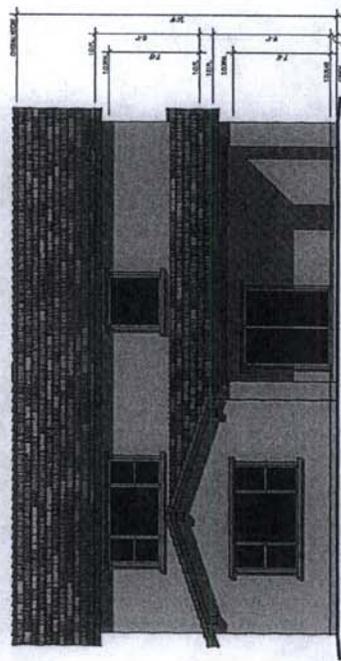


Not concrete roof tile
 Not exposed rafter tails
 No gables @ gable ends
 Shallow trim @ windows
 No down
 No gables @ gable ends



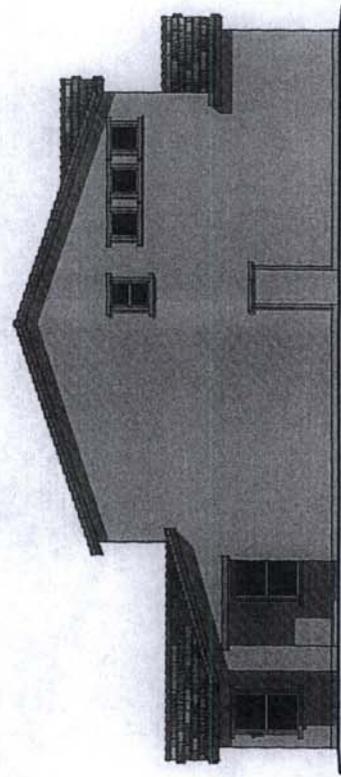
right ELEVATION

scale 1/8"=1'



rear ELEVATION

scale 1/8"=1'



left ELEVATION

scale 1/8"=1'

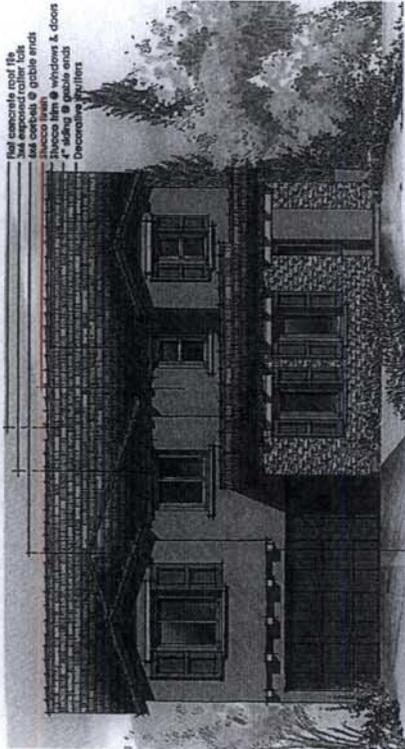
plan4002
ELEVATION B
 w/ optional brick
concept ELEVATIONS

LAYTON LAKES
 woodside homes

07 • 25 • 2013

W woodleyarchitecturalgroup,inc
 23130 26th St, Suite 110, Hillsdale, CA 94022-2528 (415) 721-7211 / 23130 26th St, Suite 110, Hillsdale, CA 94022-2528 (415) 721-7211
 23130 26th St, Suite 110, Hillsdale, CA 94022-2528 (415) 721-7211

These elevations are conceptual and are not intended to be used for construction. They are provided for informational purposes only. The actual construction of the project shall be governed by the approved building permit and the applicable building code. © 2013 Woodley Architectural Group, Inc. All rights reserved. Woodley Architectural Group, Inc. is a registered professional architectural firm in the state of California.

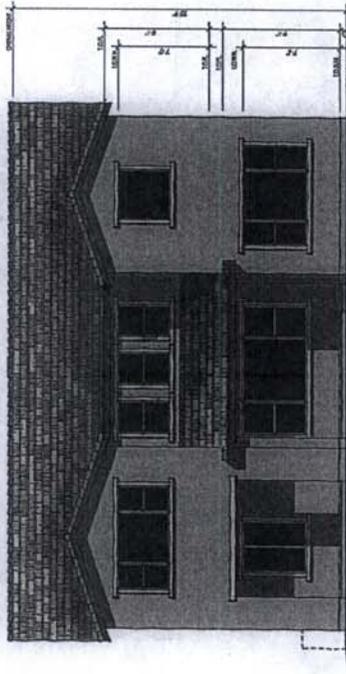


High exposure roof life
 Use exposed rafter tails
 Use copper @ gable ends
 Stucco finish @ windows & doors
 2" siding @ gable ends
 Decorative shutters

6x6 stucco corbels

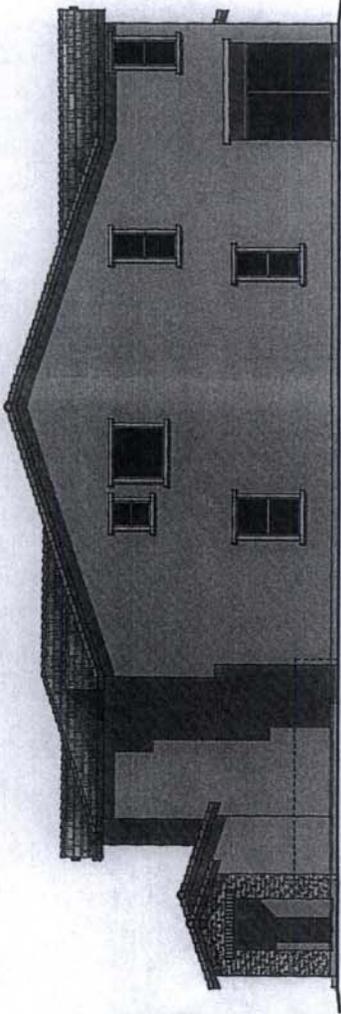
rear ELEVATION

8/25/13 1/4" = 1'-0"



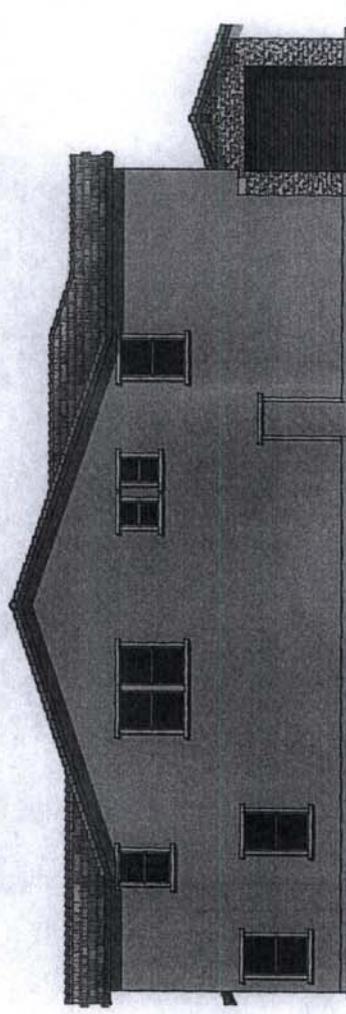
rear ELEVATION

W woodleyarchitecturalgroup,inc
 3333 Lakewood Dr., Suite 107, Houston, TX 77057-3333 • 281.453.3181 / 281.453.3272 Fax
 Copyright © 2013 Woodley Architectural Group, Inc. All rights reserved. CAG 13010001, CAG 13010002, CAG 13010003, CAG 13010004



8/25/13 1/4" = 1'-0"

right ELEVATION



8/25/13 1/4" = 1'-0"

left ELEVATION

plan4005
 ELEVATION B
 w/ optional brick
 concept ELEVATIONS

LAYTON LAKES
 woodside homes

07 • 25 • 2013
 This rendering is intended to show the design, materials and features of the proposed project. It is not to be used for construction or as a contract document. All dimensions and materials are subject to change without notice. © 2013 Woodley Architectural Group, Inc.

PRELIMINARY PLAT FOR LAYTON LAKES PARCEL 17

A PORTION OF LAND LOCATED IN THE NORTHEAST CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

PROPERTY OWNER:
LA FARMAL WATER PARTNERSHIP
14000 N. 10TH AVENUE
SUITE 200
PHOENIX, ARIZONA 85021

PREPARED BY:
CRAIG A. VAIL, LICENSED SURVEYOR
10000 N. 10TH AVENUE, SUITE 200
PHOENIX, ARIZONA 85021

LEGAL DESCRIPTION:
A PORTION OF LAND LOCATED IN THE NORTHEAST CORNER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

BENCH MARK:
A 1/4" DIA. IRON NAIL SET IN CONCRETE AT THE INTERSECTION OF THE CENTER LINE OF QUINN CREEK ROAD AND THE CENTER LINE OF QUINN CREEK ROAD

FLOOD ZONE CERTIFICATION:
THE FLOOD ZONE CERTIFICATION AREA IS IN ACCORDANCE WITH THE FLOOD ZONE CERTIFICATION ACT, ARIZONA STATUTES TITLE 17, CHAPTER 10, ARTICLE 1, SECTION 17-1001

LEGEND:
PROPOSED LOT LINE
PROPOSED RIGHT-OF-WAY LINE
PROPOSED EASEMENT LINE
PROPOSED PUBLIC UTILITY
EXISTING WATER
EXISTING WATER MAIN
PROPOSED WATER MAIN
PROPOSED SEWER MAIN
PROPOSED GAS MAIN
PROPOSED FIBER OPTIC
PROPOSED POWER LINE
PROPOSED TELEPHONE LINE
PROPOSED CABLE TV LINE
PROPOSED SLOPE
PROPOSED ELEVATION
PROPOSED RETENTION BASIN
PROPOSED RETENTION MOUND
PROPOSED RETENTION WALL
PROPOSED RETENTION CURB
PROPOSED RETENTION DRAINAGE
PROPOSED RETENTION PUMP
PROPOSED RETENTION VALVE
PROPOSED RETENTION CHECK
PROPOSED RETENTION GATE
PROPOSED RETENTION SLUICE
PROPOSED RETENTION WEIR
PROPOSED RETENTION BARRAGE
PROPOSED RETENTION DAM
PROPOSED RETENTION STRUCTURE

UTILITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

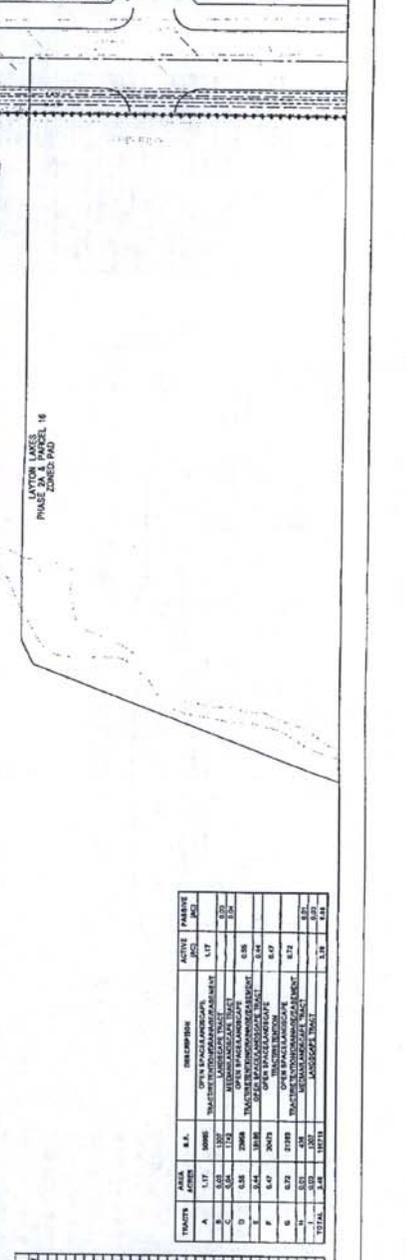
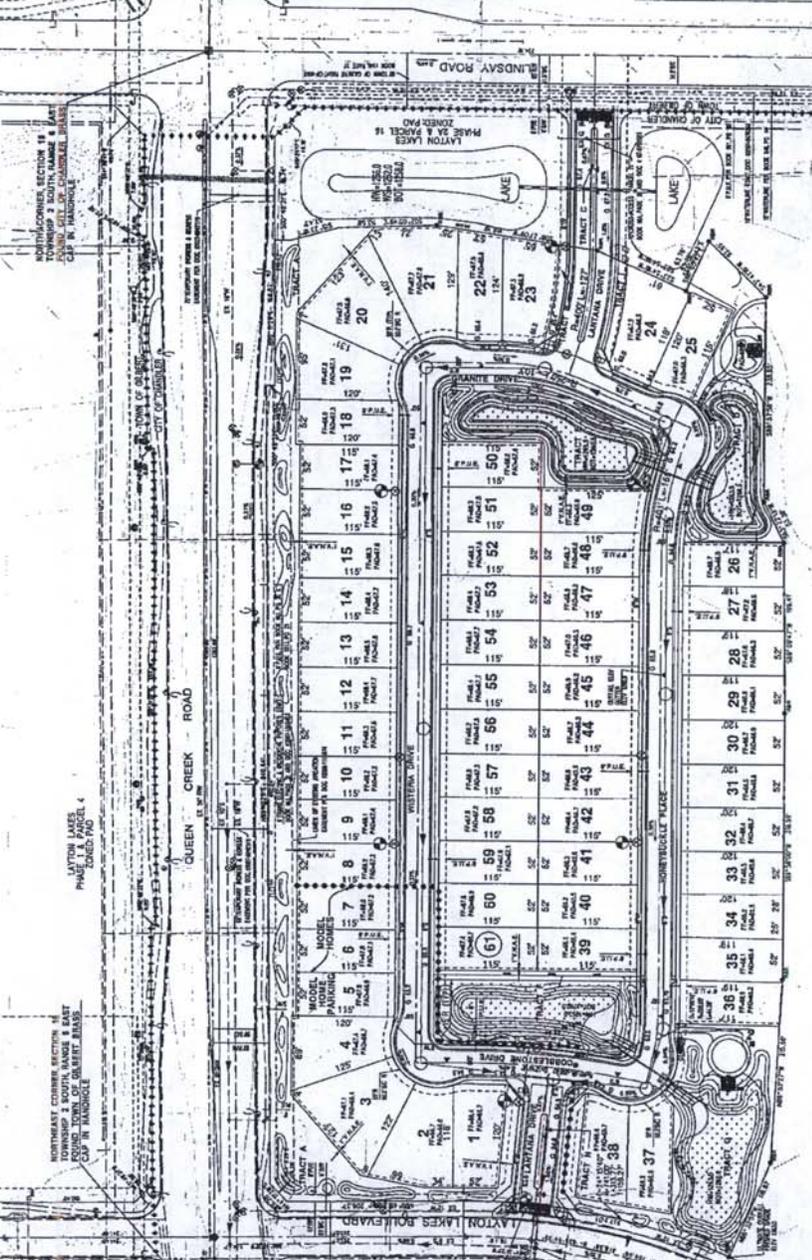
UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV



LOT AREA TABLE

LOT #	AREA (SQ FT)	AREA (SQ M)
1	10,000	0.929
2	10,000	0.929
3	10,000	0.929
4	10,000	0.929
5	10,000	0.929
6	10,000	0.929
7	10,000	0.929
8	10,000	0.929
9	10,000	0.929
10	10,000	0.929
11	10,000	0.929
12	10,000	0.929
13	10,000	0.929
14	10,000	0.929
15	10,000	0.929
16	10,000	0.929
17	10,000	0.929
18	10,000	0.929
19	10,000	0.929
20	10,000	0.929
21	10,000	0.929
22	10,000	0.929
23	10,000	0.929
24	10,000	0.929
25	10,000	0.929
26	10,000	0.929
27	10,000	0.929
28	10,000	0.929
29	10,000	0.929
30	10,000	0.929
31	10,000	0.929
32	10,000	0.929
33	10,000	0.929
34	10,000	0.929
35	10,000	0.929
36	10,000	0.929
37	10,000	0.929
38	10,000	0.929
39	10,000	0.929
40	10,000	0.929
41	10,000	0.929
42	10,000	0.929
43	10,000	0.929
44	10,000	0.929
45	10,000	0.929
46	10,000	0.929
47	10,000	0.929
48	10,000	0.929
49	10,000	0.929
50	10,000	0.929
TOTAL	500,000	46,451

TRACT	AREA (SQ FT)	AREA (SQ M)	DEVELOPER	ACTIVE	PASIVE
A	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
B	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
C	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
D	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
E	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
F	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
G	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
H	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
I	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
J	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
K	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
L	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
M	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
N	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
O	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
P	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
Q	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
R	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
S	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
T	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
U	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
V	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
W	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
X	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
Y	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
Z	10,000	0.929	LA FARMAL WATER PARTNERSHIP	100	0
TOTAL	500,000	46,451		5,000	0

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV

UTLITIES:
WATER
SEWER
GAS
FIBER OPTIC
POWER
TELEPHONE
CABLE TV