



**MEMORANDUM                      Transportation & Development – CC Memo No. 14-016**

**DATE:**            FEBRUARY 27, 2014

**TO:**                MAYOR AND COUNCIL

**THRU:**            RICH DLUGAS, CITY MANAGER *RD*  
MARSHA REED, ASSISTANT CITY MANAGER *MR*  
R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR *RJZ*  
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*  
KEVIN MAYO, PLANNING MANAGER *KM*

**FROM:**            SUSAN FIALA, CITY PLANNER *SF*

**SUBJECT:**        PDP13-0014 CALABRIA

- Request:            Preliminary Development Plan (PDP) approval of the housing product for a single-family residential subdivision
- Location:           Southwest corner of Brooks Farm Road and Cooper Road
- Applicant:           MBI Builder LLC/Blandford Homes, Christa Walker

**RECOMMENDATION**

Upon finding the request to be consistent with the Planned Area Development (PAD) zoning, Planning Commission and Planning Staff recommend approval subject to conditions.

**BACKGROUND**

The approximate 30-acre single-family subdivision for 97 lots is located at the southwest corner of Brooks Farm and Cooper roads. North Barrington and Symphony Estates II single-family subdivisions are located north and west of the site. The south boundary borders a recently approved rezoning for a custom single-family home and further south is a farm house and field and then Creekwood Ranch single-family subdivision.

The request is for Preliminary Development Plan (PDP) approval of the housing product for a single-family residential subdivision.

The PDP for site layout, landscape, and site amenities was approved in 2012. The Final Plat was also approved in 2012. The gated subdivision includes private streets with primary ingress and egress via Brooks Farm Road and exit-only/emergency access to Tower Avenue.

Lot sizes range from 7,590 to 14,785 square feet in size. Minimum setbacks are 20 ft. front yard, 20 ft. rear yard for one-story, 30 ft. rear yard for two-stories, and 5 ft. and 10 ft. (total 15 ft.) side yards. Side-entry garages and forward-set livable areas have a reduced minimum front yard setback of 15 ft. Porches can extend up to 10 ft. into the rear yard setback and 5 ft. into the front yard setback.

### **HOUSING PRODUCT**

Two single-story plans and one two-story plan with three elevations per floor plan are proposed. Architectural styles include Spanish, Country French, and Bungalow for each plan. Each home provides three car garages, front porches, and rear patios. The housing product is 45 ft. wide on 60 ft. wide lots. Floor area ranges from 2,454 sq. ft. up to 3,538 sq. ft.

The Residential Development Standards (RDS) for architectural diversity apply to the project and the housing product is in conformance. The homebuilder has addressed the nine required elements and optional elements including, but not limited to, four-sided architecture, garages setback behind the front livable space, gated courtyards on two styles of Plans 1 and 2, and nine color schemes with various stone types and roof tiles. The two-story plan provides a single story element on the front and rear sides. Window shapes, stone types, wrought iron details, garage door styles, and window grids are detailed to complement each architectural style.

Varied roof ridgelines, decorative windows, wrought iron accents, and decorative pipe vents, and decorative columns provide quality and distinguish the various elevations from one another. Building massing is modulated through the use of single-story elements, window pop-outs, extended roof overhangs, and varied roof forms.

### **DISCUSSION**

Planning Staff supports the requested housing product for Calabria. The architectural styles and design elements complement the neighborhood with a quality designed housing product.

### **PUBLIC / NEIGHBORHOOD NOTIFICATION**

- This request was noticed according to the provisions of the City of Chandler Zoning Code.
- A neighborhood meeting was held on January 9, 2014, at San Tan Junior High. Five neighbors attended the meeting. Questions to the homebuilder related to restrictions on two-story homes, lot sizes, traffic on Tower Avenue, and drainage.
- Planning Staff has received several phone calls inquiring about existing speeding traffic, additional traffic generated by this new subdivision, sidewalks, and lot sizes. One resident called and followed up with an email, see attached, stating their opposition to this request.

**PLANNING COMMISSION VOTE REPORT**

Motion to Approve.

In Favor: 5    Opposed: 0    Absent: 2 (Pridemore, Ryan)

**RECOMMENDED ACTION**

Planning Commission and Planning Staff, upon finding consistency with the Planned Area Development (PAD) zoning, recommend approval of PDP13-0014 CALABRIA, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled “Calabria by Blandford Homes”, kept on file in the City of Chandler Planning Services Division, in File No. PDP13-0014, except as modified by condition herein.
2. Development shall be in substantial conformance with the Development Booklet, entitled “Calabria”, kept on file in the City of Chandler Planning Services Division, in File No. PDP10-0019, except as modified by condition herein.
3. Compliance with original conditions adopted by the City Council as Ordinance No. 3401 in case DVR02-0028 CALABRIA, except as modified by condition herein.
4. The same elevation shall not be built side-by-side or directly across the street from one another.
5. All homes built on corner lots within the residential subdivision shall be single-story.

**PROPOSED MOTION**

Move to approve PDP13-0014 CALABRIA, subject to the conditions recommended by Planning Commission and Planning Staff.

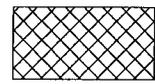
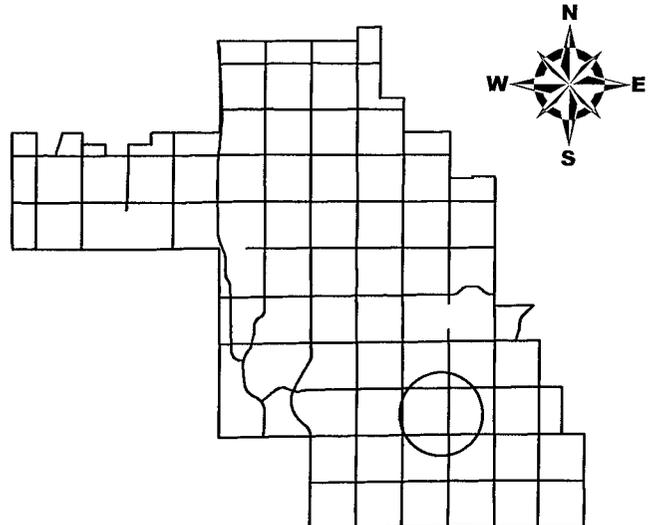
**Attachments**

1. Vicinity Maps
2. Site/Landscape Plan
3. Elevations and Floor Plans
4. Citizen correspondence
5. Development Booklet



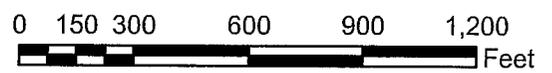
**Project Site**

## Vicinity Map

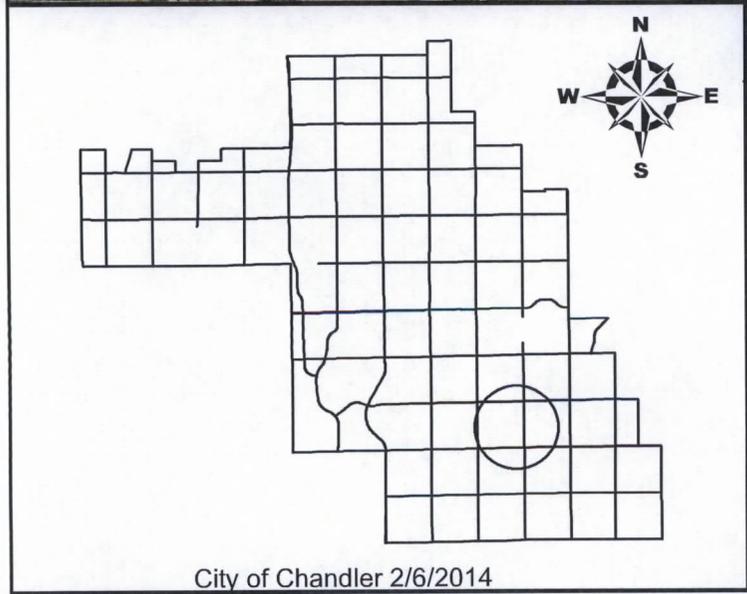
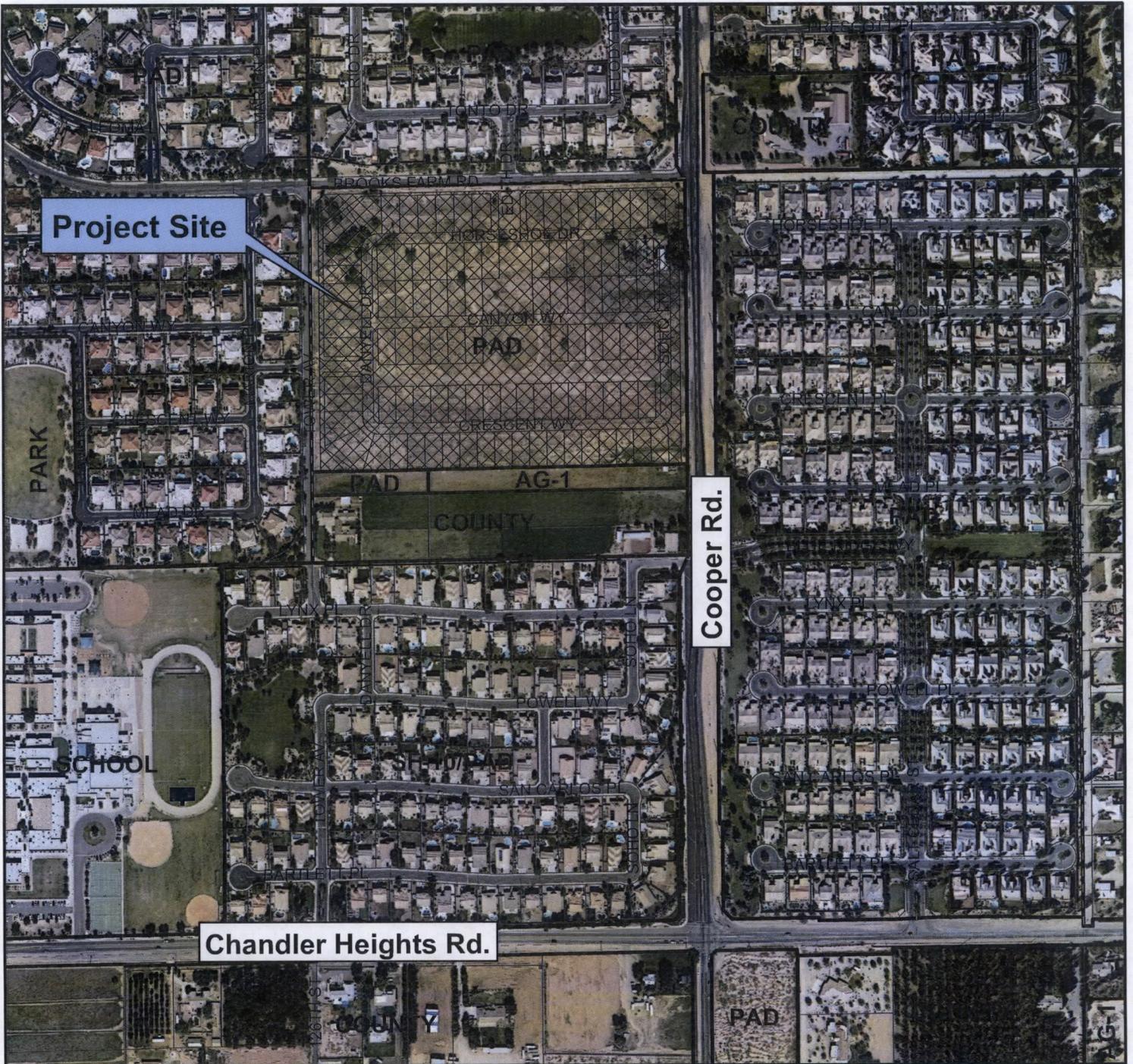


**PDP13-0014**

**Calabria**



**Exhibit A**



**Vicinity Map**

**PDP13-0014**

**Calabria**

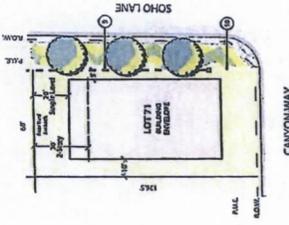
0 150 300 600 900 1,200  
Feet

**Exhibit A**

North Barrigian Subdivision



Symphony II Subdivision



TYPICAL LOT DETAIL  
PLAN ENLARGEMENT  
5/8" SCALE

**SITE DEVELOPMENT TABLE**

ITEM	DESCRIPTION	QUANTITY	UNIT
1	LOT 77	1	LOT
2	LOT 78	1	LOT
3	LOT 79	1	LOT
4	LOT 80	1	LOT
5	LOT 81	1	LOT
6	LOT 82	1	LOT
7	LOT 83	1	LOT
8	LOT 84	1	LOT
9	LOT 85	1	LOT
10	LOT 86	1	LOT
11	LOT 87	1	LOT
12	LOT 88	1	LOT
13	LOT 89	1	LOT
14	LOT 90	1	LOT
15	LOT 91	1	LOT
16	LOT 92	1	LOT
17	LOT 93	1	LOT
18	LOT 94	1	LOT
19	LOT 95	1	LOT
20	LOT 96	1	LOT
21	LOT 97	1	LOT
22	LOT 98	1	LOT
23	LOT 99	1	LOT
24	LOT 100	1	LOT

**KEY NOTES**

- 1. ADJACENT TO LOT 77
- 2. ADJACENT TO LOT 78
- 3. ADJACENT TO LOT 79
- 4. ADJACENT TO LOT 80
- 5. ADJACENT TO LOT 81
- 6. ADJACENT TO LOT 82
- 7. ADJACENT TO LOT 83
- 8. ADJACENT TO LOT 84
- 9. ADJACENT TO LOT 85
- 10. ADJACENT TO LOT 86
- 11. ADJACENT TO LOT 87
- 12. ADJACENT TO LOT 88
- 13. ADJACENT TO LOT 89
- 14. ADJACENT TO LOT 90
- 15. ADJACENT TO LOT 91
- 16. ADJACENT TO LOT 92
- 17. ADJACENT TO LOT 93
- 18. ADJACENT TO LOT 94
- 19. ADJACENT TO LOT 95
- 20. ADJACENT TO LOT 96
- 21. ADJACENT TO LOT 97
- 22. ADJACENT TO LOT 98
- 23. ADJACENT TO LOT 99
- 24. ADJACENT TO LOT 100

Unsubdivided



PDSA DESIGN GROUP  
10000  
10000  
10000



ILLUSTRATIVE MASTER PLAN

CALABRIA

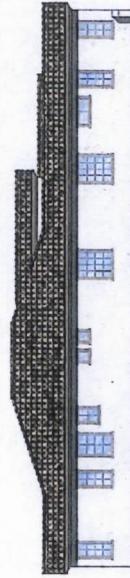
PINNACLE RIDGE HOLDINGS

February 10, 2012



Front Elevation

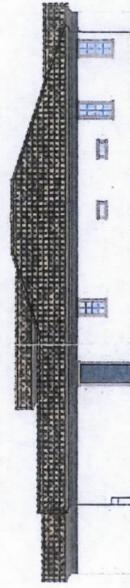
Stucco over foam trim/pop-outs  
 Wrought iron detail  
 Concrete S-tile roof  
 Stucco exterior  
 Roll-up garage doors



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 1 - Elevations (Spanish)

Calabria

Chandler, Arizona

BLANDFORD HOMES  
 321 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-8885  
 Fax: 480-892-8885

BLANDFORD  
 PLANNING  
 PH: 949.230.4537

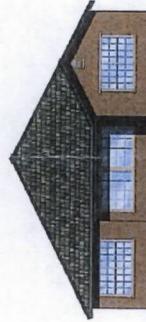
PROJECT NO. 20130047  
 11-13-2013



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 1 - Elevations (Country French)

Calabria

Chandler, Arizona

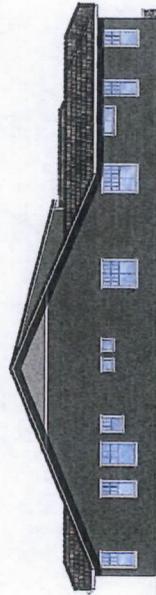
BLANDFORD HOMES  
 3321 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-4492  
 Fax: 480-892-3885



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 11-13-2013



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 1 - Elevations (Bungalow)

Calabria

Chandler, Arizona

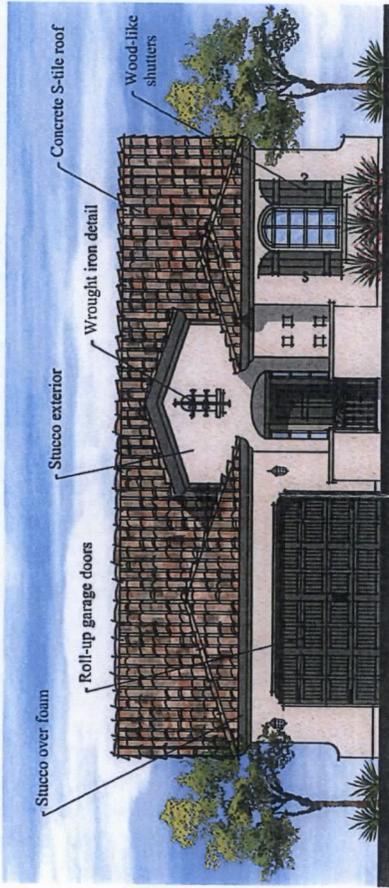
BLANDFORD HOMES  
 3321 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-4492  
 Fax: 480-892-8885



PH: 949 230 4553

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 11-13-2013





Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 2 - Elevations (Spanish)

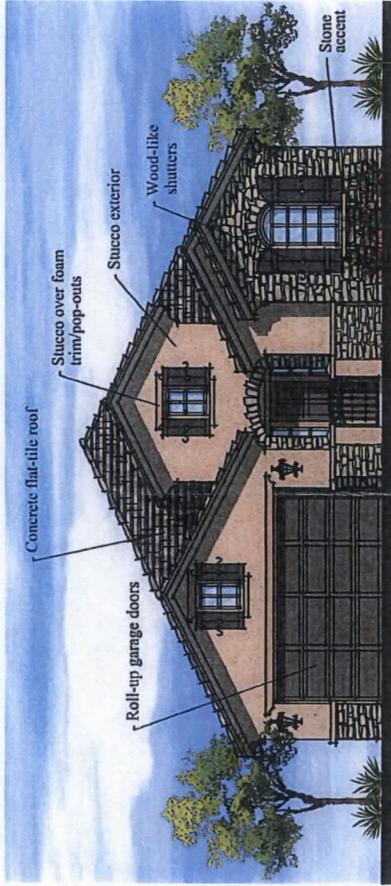
Calabria

Chandler, Arizona

BLANDFORD HOMES  
 1711 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-4492  
 Fax: 480-892-8855

0 4 8 16  
**DRS**  
 P L A N N I N G  
 PH: 949.250.4537

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 11-13-2013



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 2 - Elevations (Country French)

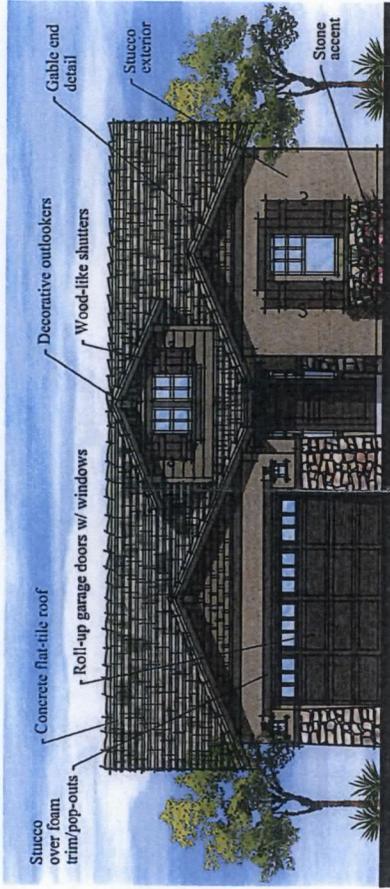
Calabria

Chandler, Arizona

BLANDFORD HOMES  
 3321 E. ...  
 Gilbert, Arizona 85234  
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 Fax: 480-892-8885  
 949.250.4537



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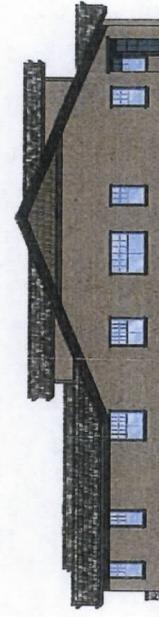
Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 2 - Elevations (Bungalow)

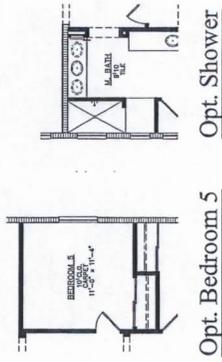
Calabria

Chandler, Arizona

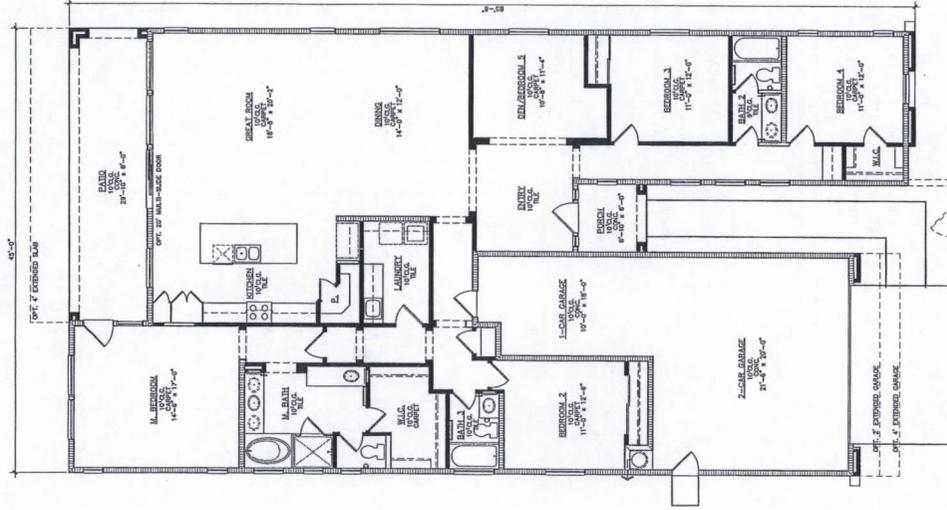
BLANDFORD HOMES  
 3321 East Baseline Road  
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Opt. Bedroom 5

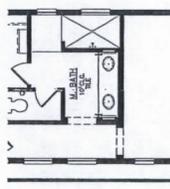


Opt. 3' Ext. (+47 Sq. Ft.)

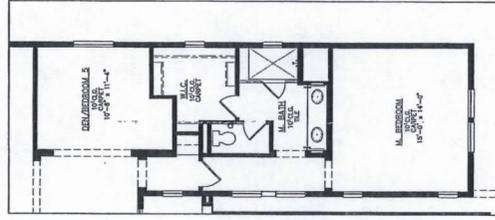
Plan 2 - 2,586 SQ. FT.

# Calabria

Chandler, Arizona



Opt. Shower at  
Opt. Master Bdrm



Opt. Master Bdrm

Scale: 3/16" = 1'-0"

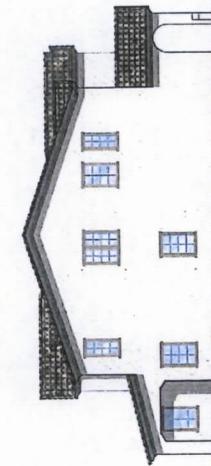
**BLANDFORD HOMES**  
3321 East Baseline Road  
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PROJECT NO. 20130047  
08-23-2013



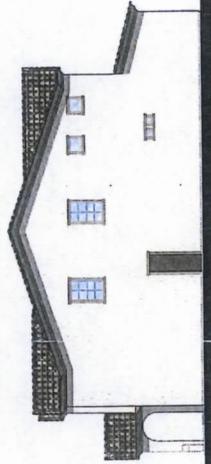
Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 3 - Elevations (Spanish)

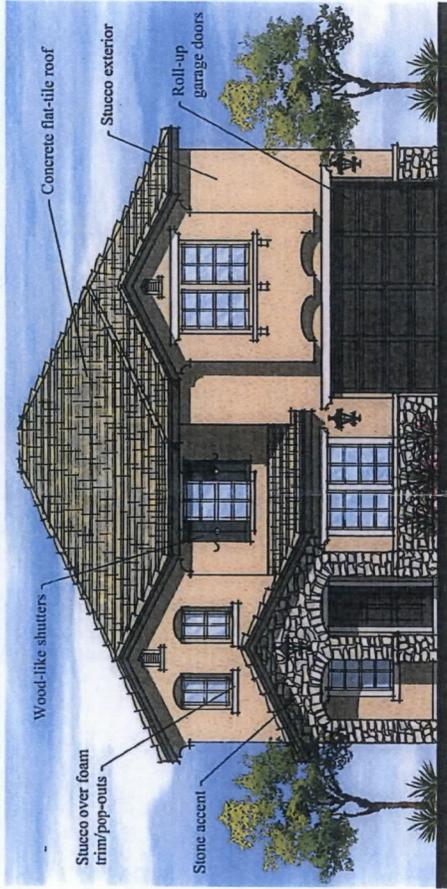
Calabria

Chandler, Arizona

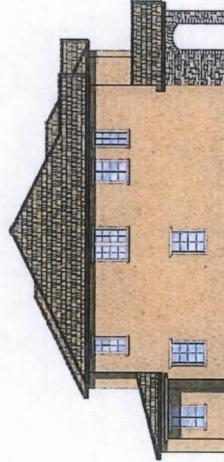
BLANDFORD HOMES  
 3321 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-4492  
 Fax: 480-892-8885



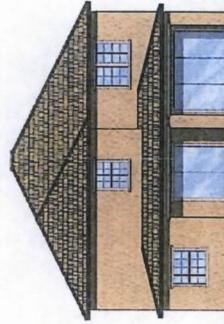
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 11-13-2013



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation



Plan 3 - Elevations (Country French)

Calabria

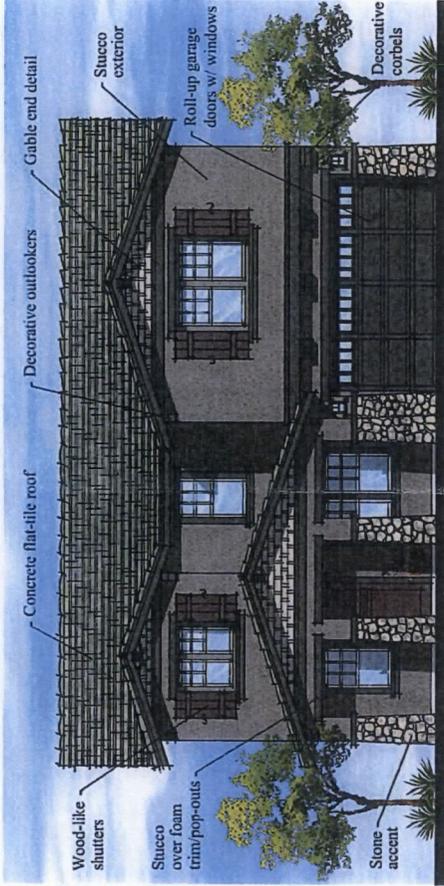
Chandler, Arizona

BLANDFORD HOMES  
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 Gilbert, Arizona 85234  
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PH: 949.250.15.57

PROJECT NO. 20130047  
 11-13-2013



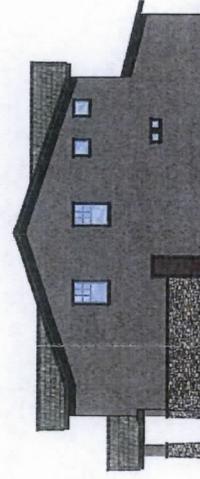
Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation

Plan 3 - Elevations (Bungalow)

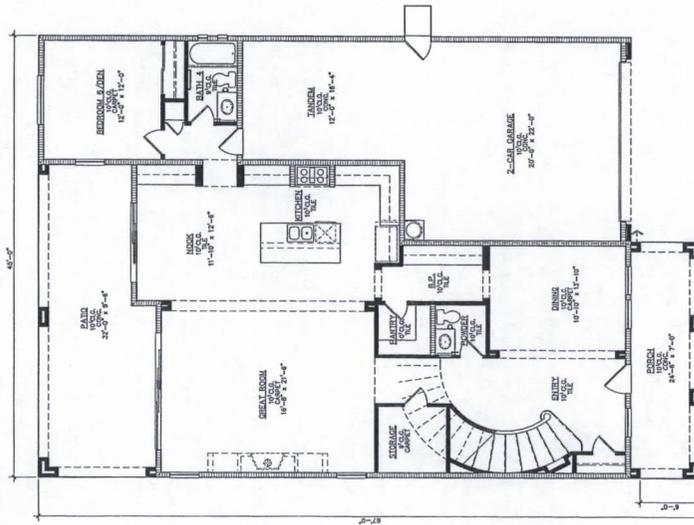
Calabria

Chandler, Arizona

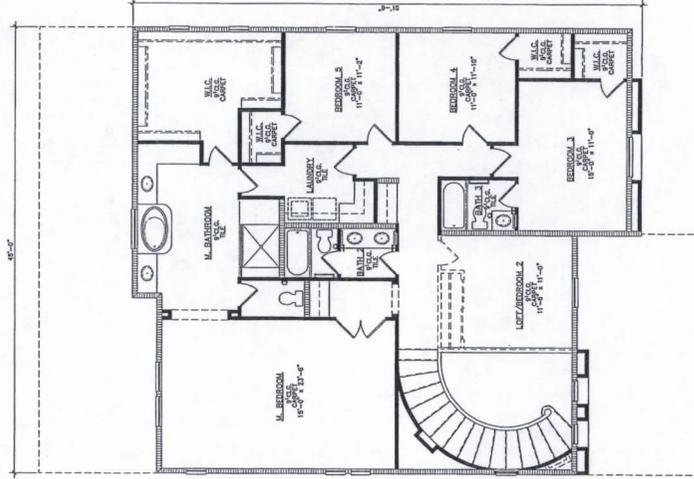
BLANDFORD HOMES  
 321 East Baseline Road  
 Gilbert, Arizona 85224  
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 Fax: 480-892-8885

DESIGN &  
**DRB**  
 PLANNING  
 Tel: 949.230.4537

PROJECT NO. 20130047  
 11-13-2013



First Floor



Second Floor

Scale: 3/16" = 1'-0"

**BLANDFORD HOMES**  
 3321 East Baseline Road  
 Gilbert, Arizona 85234  
 Tel: 480-892-4492  
 Fax: 480-892-8885

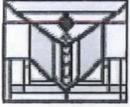
**D E S I G N & P L A N I N G**  
**DBB**  
 PH: 949.230.4537

Plan 3 - 3,538 SQ. FT.

Calabria

Chandler, Arizona

PROJECT NO. 20130047  
 08-23-2013



Fw: PDP13-0014 Calabria Housing Product Email 1 of 4

Susan Fiala

to:

Susan Fiala

01/29/2014 02:58 PM

Hide Details

From: Susan Fiala/COC

To: Susan Fiala/COC@Chandleraz.gov

From: "Jon Beydler, Candidate" <jonbeydler@aol.com>

To: Susan.Fiala@chandleraz.gov

Date: 01/28/2014 12:25 PM

Subject: Re: PDP13-0014 Calabria Housing Product Email 1 of 4

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Susan...after reviewing the attachments in addition to the information you provided per our recent telecon, as well as, reflecting upon my 10-year residency in the adjoining community of **Chandler Heights Estates 3** where I have been the President for the past 5 years, it is my opinion that the lot sizes and livable square footage of the proposed **Blandford** models are no consistent with adjoining properties which are minimally sited on 10,000sf+ lots with the smallest floor plans being approximately 2,700sf+ going as high as 4,600sf+. Also, as a 11-year Arizona Real Estate Broker and business-owner located in south Chandler, I believe that the proposed **Blandford Calabria** housing product would have a negative impact on neighboring property values. We have always looked forward to this piece of land as being home to a higher-end product than the one being proposed. Please submit the remarks from this email to those concerned.

Regards,

**Jon Beydler, President**  
**CHANDLER HEIGHTS ESTATES 3 HOA**  
1330 East Lynx Way  
Chandler, Arizona 85224  
480.600.6001 - Cell  
1.866.689.9386 - E-Fax  
**JonBeydler@aol.com - Email**