

Add info #14



**MEMORANDUM**                      **Planning Division - CC Memo No. 14-057c**

**DATE:**            MAY 22, 2014

**TO:**                MAYOR AND COUNCIL

**THRU:**            RICH DLUGAS, CITY MANAGER <sup>RD</sup>  
MARSHA REED, ASSISTANT CITY MANAGER <sup>MR</sup>  
JEFF KURTZ, PLANNING ADMINISTRATOR  
KEVIN MAYO, PLANNING MANAGER

**FROM:**            ERIK SWANSON, SENIOR CITY PLANNER <sup>ES</sup>

**SUBJECT:**        APL14-0004 AIRPARK AREA PLAN AMENDMENT / DVR14-0004 / PPT14-0006 WILLIS GATED COMMUNITY  
Adoption of Resolution No. 4774  
Introduction and Tentative Adoption of Ordinance No. 4545

**Request:**            Area Plan Amendment to the Airpark Area Plan amending roughly 6 acres from High-Density Residential to Low-Medium Density Residential, along with Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) for detached single-family residential and Preliminary Development Plan (PDP) approval for subdivision layout and building architecture and Preliminary Plat (PPT) approval for a 35-lot single-family residential subdivision

**Location:**            East of the southeast corner of McQueen and Willis roads

**Applicant:**            Mike Curley; Earl, Curley and Lagarde

Planning Staff received the attached letter requesting withdrawal of opposition that was previously stated from the property owner north of Willis Road. The legal protest has been withdrawn.

**Attachments**

1. Letter requesting withdrawal of legal protest

**Withdrawal of Opposition**

Re: Willis Gated Community; Willis Road and McQueen Road  
Application Nos. APL14-0004 and DVR14-0004

I hereby withdraw my opposition to the above-mentioned matter and hereby withdraw my legal protest (3/4 vote). I have reached a compromise with the Applicant.

Jarrell Wood  
Jarrell Wood

5/22/14  
Date

**Additional Info #14**  
**May 22, 2014**



**Fw: WILLIS GATED COMMUNITY**  
**Marla Paddock** to: Erica Barba

05/22/2014 04:03 PM

Please include with the related item.

.----- Forwarded by Marla Paddock/COC on 05/22/2014 04:01 PM -----

From: Erik Swanson/COC  
To: Marla Paddock/COC@chandleraz.gov  
Date: 05/22/2014 04:01 PM  
Subject: Fw: WILLIS GATED COMMUNITY

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Please see below for an additional email in opposition to Willis Gated Community, and my response.

Erik Swanson, Senior City Planner  
Planning Division  
City of Chandler  
ph: 480.782.3063

----- Forwarded by Erik Swanson/COC on 05/22/2014 04:00 PM -----

From: Erik Swanson/COC  
To: MOMRAZZ@aol.com  
Cc: MAGM824@aol.com, thomasdgorey@aol.com  
Date: 05/22/2014 01:15 PM  
Subject: Re: WILLIS GATED COMMUNITY

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Mrs. Gorey:

Thank you for your email, I will forward it to the City Clerk.

In response to the questions you raise: 1) The homes are designed as typical single-family homes that have three bedrooms and three full bathrooms, 2) As is typical with other single-family homes, an owner has an option to rent the property to an individual or family, 3) The City currently does not have a restriction on the number of vehicles a person owns; however, the homes each have a two-car garage, provide two-car parking on the driveway (one of the home plans has a side-entry garage which allows for potentially three cars on the driveway), the community provides 22 guest parking stalls, and has been designed to allow for on-street parking on one side of the street.

I hope this clarifies some of your concerns. Please feel free to contact me if I can be of further assistance.

Sincerely,

Erik Swanson, Senior City Planner

Planning Division  
City of Chandler  
ph: 480.782.3063

From: MOMRAZZ@aol.com  
To: erik.swanson@chandleraz.gov  
Cc: momrazz@aol.com, thomasdgorey@aol.com, MAGM824@aol.com  
Date: 05/22/2014 12:53 PM  
Subject: WILLIS GATED COMMUNITY

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#### MAYOR AND COUNCIL MEMBERS

KAREN GOREY, DENIENE GOREY, THOMAS GOREY ALL RESIDE AT LAS CASITAS DEL SUR 1041 E HAWKEN WAY CHANDLER AZ 85286. WE ALL OPPOSE THIS PROJECT AND DO HOPE THE MEMBERS WILL TOO. I HAVE A FEW THINGS TO SAY BUT FIRST A FEW QUESTIONS. FIRST ARE THESE HOMES SINGLE DWELLINGS WITH NO POSSIBLE APPARTMENTS OR MOTHER DAUGHTER AREAS INCLUDED IN THESE HOMES? ARE ANY AREAS OF THE HOMES RENTABLE SPACES? IS THERE AN AUTO LIMIT PER HOME?

MORE CARS MORE TRAFFIC MORE ACCIDENTS. THE OTHER CONCERN IS THE 6.5 ACRE LOT NEXT DOOR IT STILL HAS THE APARTMENT COMPLEX PARCEL AVAILABLE FOR DEVELOPMENT. WE OBJECT TO THIS CONGESTION AND ALL THE PROBLEMS TO ARISE IN THE FUTURE

ONCE THE PROJECTS ARE BUILT AND INHABITED THERE IS NO UNDOING THE MESS YOU HAVE CREATED., PLEASE CONSIDER THE FUTURE BEFORE YOUR DECISIONS ARE MADE.

KAREN TOM AND DENIENE GOREY

**Add Info #14**  
**May 22, 2014**

**EARL, CURLEY & LAGARDE, P.C.**  
ATTORNEYS AT LAW

Telephone (602) 265-0094  
Fax (602) 265-2195  
www.ecllaw.com

3101 North Central Avenue  
Suite 1000  
Phoenix, Arizona 85012

May 19, 2014

**SENT VIA EMAIL**

Mayor and City Council  
City of Chandler  
Mail Stop 603  
P.O. Box 4008  
Chandler, AZ 85244-4008

Re: Willis Gated Community; Willis Road and McQueen Road  
Application Nos. APL14-0004 and DVR14-0004

Dear Mayor and City Council:

At Thursday's City Council meeting you will be reviewing the above-referenced case. I don't want to bother you particularly because there does not seem to be any major neighborhood concerns. Two individuals showed up at the Planning Commission meeting and both expressed concerns about traffic in general. To that end, this application seeks a density of approximately 6 dwelling units per acre as opposed to the previous application for this site which was for approximately 11 dwelling units per acre.

The City's Traffic Department and our traffic consultant have analyzed the Willis and McQueen intersection and have come to an agreement on modifications to the median in order to address the U-turn concerns which were expressed in connection with the past application.

If you have any questions or suggestions, please feel free to contact me.

Sincerely,



Michael J. Curley

MJC/sr



Add in 6 #14

MAY 22 2014  
Chandler



**MEMORANDUM**

**Planning Division - CC Memo No. 14-057b**

**DATE:** MAY 22, 2014

**TO:** MAYOR AND COUNCIL

**THRU:** RICH DLUGAS, CITY MANAGER *RD*  
MARSHA REED, ASSISTANT CITY MANAGER *MR*  
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*  
KEVIN MAYO, PLANNING MANAGER *KA*

**FROM:** ERIK SWANSON, SENIOR CITY PLANNER *ES*

**SUBJECT:** APL14-0004 AIRPARK AREA PLAN AMENDMENT / DVR14-0004 / PPT14-0006 WILLIS GATED COMMUNITY  
Adoption of Resolution No. 4774  
Introduction and Tentative Adoption of Ordinance No. 4545

**Request:** Area Plan Amendment to the Airpark Area Plan amending roughly 6 acres from High-Density Residential to Low-Medium Density Residential, along with Rezoning from Agricultural (AG-1) to Planned Area Development (PAD) for detached single-family residential and Preliminary Development Plan (PDP) approval for subdivision layout and building architecture and Preliminary Plat (PPT) approval for a 35-lot single-family residential subdivision

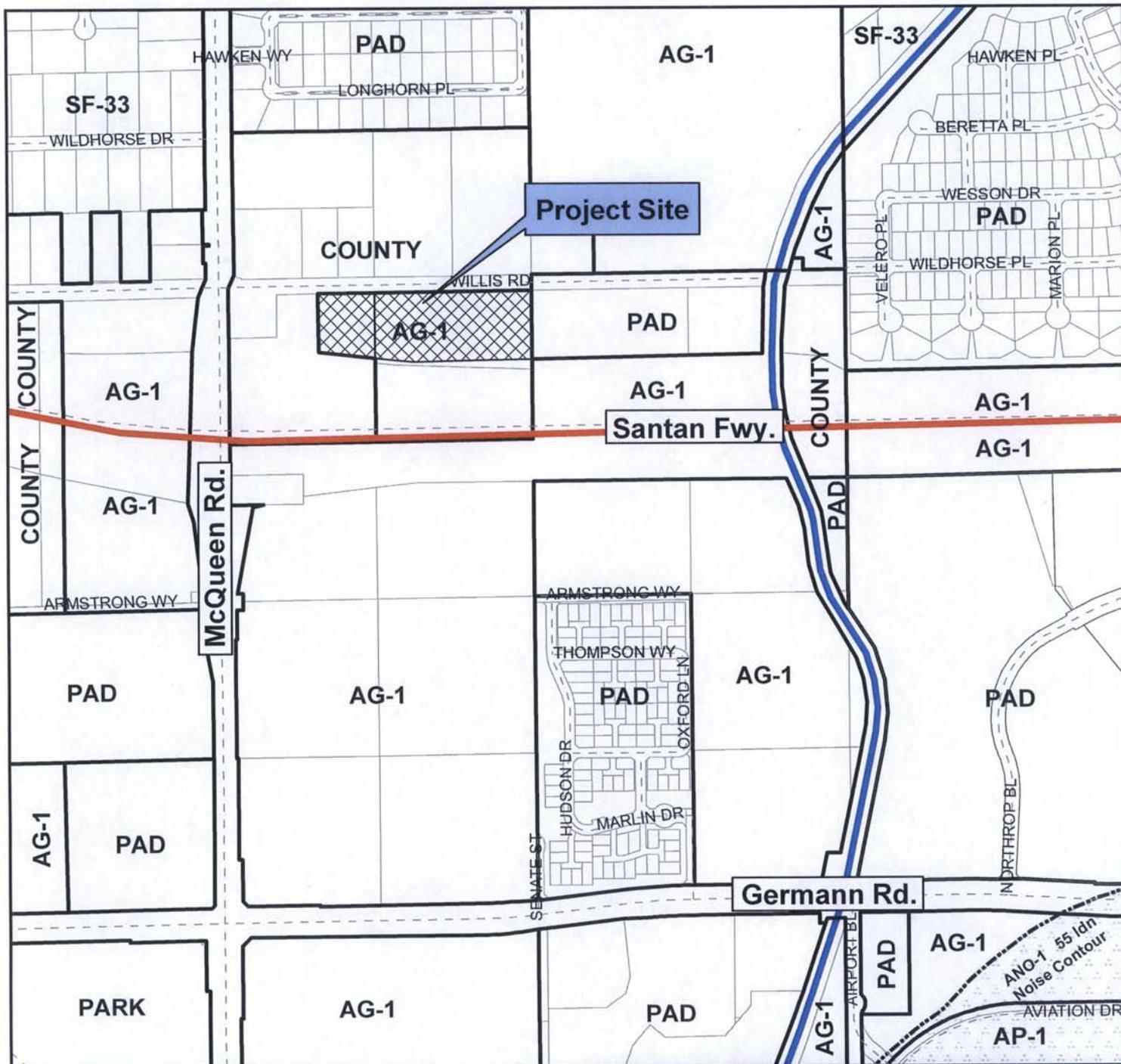
**Location:** East of the southeast corner of McQueen and Willis roads

**Applicant:** Mike Curley; Earl, Curley and Lagarde

Planning Staff received the attached opposition email from the property owner north of Willis Road, directly across the street from the subject site. The opposition triggers a legal protest, requiring a three-quarter vote by Council for approval.

**Attachments**

- 1. Vicinity Maps
- 2. Opposition Email



## Vicinity Map

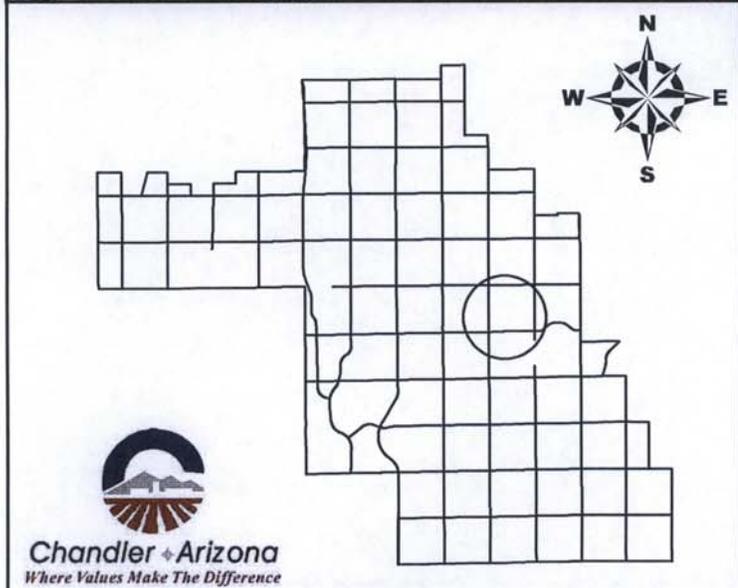
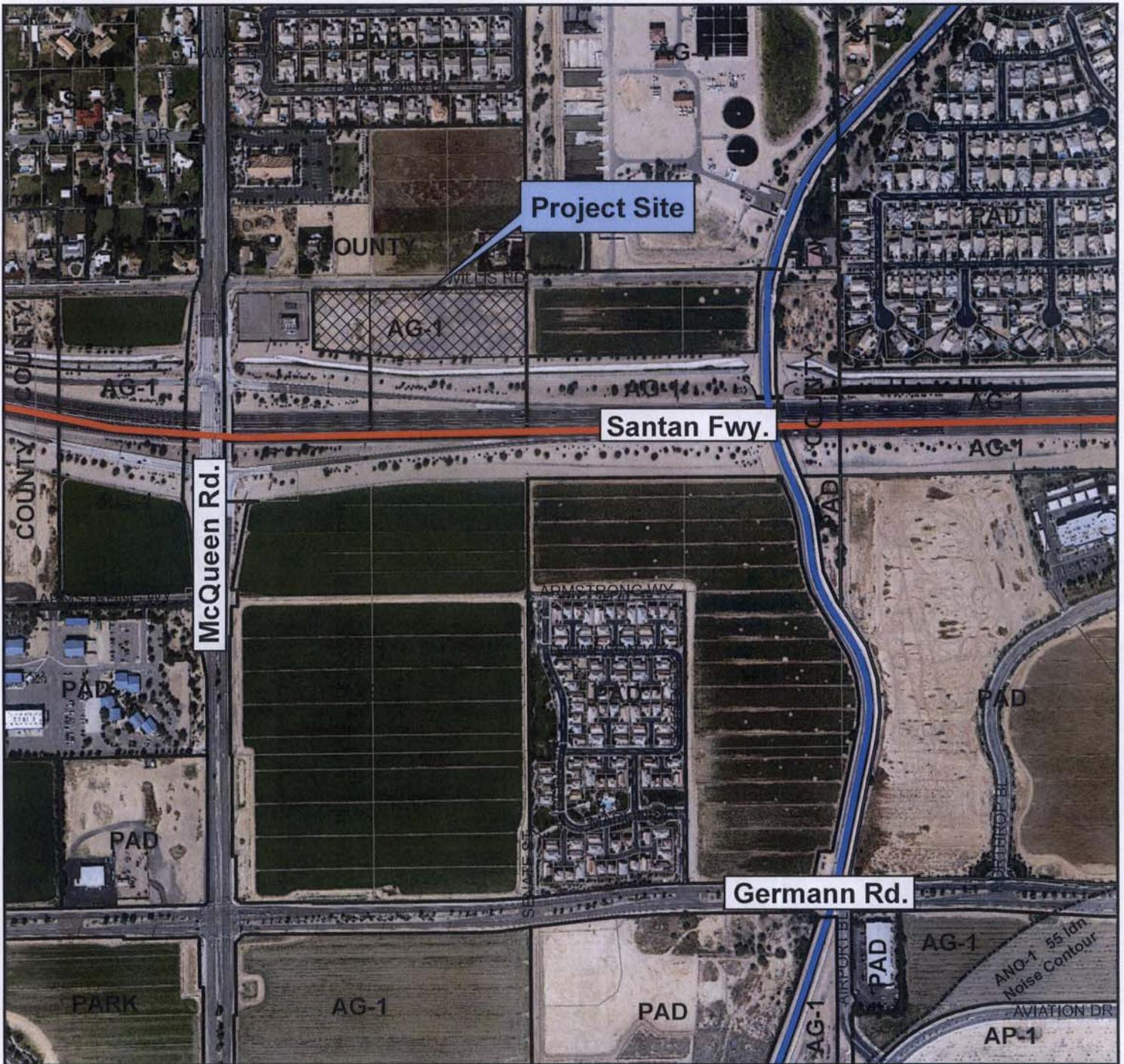


DVR14-0004

**Willis Gated Community**



**Chandler Arizona**  
Where Values Make The Difference



## Vicinity Map



DVR14-0004

**Willis Gated Community**



Willis Gated Community

Mark Farmer

to:

Erik.Swanson, Jeff.Kurtz

05/19/2014 10:58 AM

Cc:

"Mike Curley", "Ricardo Toris"

Hide Details

From: "Mark Farmer" <mark@mlfarmer.com>

To: <Erik.Swanson@chandleraz.gov>, <Jeff.Kurtz@chandleraz.gov>

Cc: "Mike Curley" <mcurley@ecllaw.com>, "Ricardo Toris" <rtoris@ecllaw.com>

Please respond to "Mark Farmer" <mark@mlfarmer.com>

Erik/Jeff,

*I would like my opposition to Willis Gated Community entered into the record as well as shared with the Mayor and City Council.*

*As the largest landholder impacted by proposed development, I have great concern in any approval, unless certain items are stipulated to correct the problems. The intersection on Willis and McQueen is extremely hazardous as it exists. Proposed area plan amendment compounds the problem when attempting to understand how my property transitions in the future into the airpark area plan and is not negatively impacted.*

After meeting with Mr. Curley, I believe he understands the issues and may be willing to stipulate items to move forward with a quality plan.

I have faith in the community, as well as our city council, to make wise decisions and would appreciate consideration of the following stipulations.

Thank you,  
Jarrell Wood

### **Stipulations**

\*City to annex ADOT intersection *prior* to development with intention to improve (minimum left turn out of Willis, marked crosswalk)

Fully exploring any possible alternatives, future signal if Willis Rd. shifts north.

\*Conceptual understanding of potential interface within the Area Plan, to be more responsive of transition and surrounding property

\*Full Street improvements with agreement

\*Consideration of Paseo and understanding Willis Rd.'s importance as a thoroughfare; Paseo access only

Possible turn around at Paseo entry for future

\*Screen Walls or other landscape barriers/buffers if needed

**From:** [Erik.Swanson@chandleraz.gov](mailto:Erik.Swanson@chandleraz.gov)  
**Sent:** Wednesday, May 07, 2014 1:20 PM  
**To:** [Mark Farmer](#)  
**Subject:** Re: Willis Gated Community

Mark:

Thank you for sharing your concerns. I agree with you about the poor altered design of McQueen and Willis roads, and as a result traffic circulation is problematic, leaving the City and adjacent property owners with a difficult situation. This point was also largely expressed by Council with the last development proposal. Based on this, I think everyone is aware that unique design alternatives will be required for the successful development of not only the subject site, but all parcels adjacent to this portion of Willis Road. While the concerns are founded, I believe that an adequate solution is in place that will not only benefit the subject site, but also the parcels on the north side of Willis Road.

As you aware, the last request was denied by Council citing strong reservations about traffic patterns. Following the Council meeting, the developer met with representatives of ADOT and the City's Transportation Department to explore access alternatives to the McQueen/Willis intersection. As a result of the meetings, ADOT has agreed that they would be willing to hand-over the intersection to Chandler so that an appropriate resolution could be designed. The developer has continued to work with our Transportation Department. The meetings have been fruitful and a design that would cut the existing median back to allow for a left turn from Willis Road has been proposed. While final approval of this design is contingent upon Council not only approving the current request, but also approving future annexation of the ADOT rights-of-way, both the City's Transportation Department and ADOT are satisfied with the design. Assuming Council approves the current request, the request for annexation of the site will be timely.

I understand that you have had discussions with Mike Curley's office, and if you would like to meet to further discuss any of my comments or your concerns, please feel free to contact me.

Sincerely,

Erik Swanson, Senior City Planner  
Planning Division  
City of Chandler  
ph: 480.782.3063

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From: "Mark Farmer" <[mark@mfarmer.com](mailto:mark@mfarmer.com)>  
To: <[Erik.Swanson@chandleraz.gov](mailto:Erik.Swanson@chandleraz.gov)>, <[Jeff.Kurtz@chandleraz.gov](mailto:Jeff.Kurtz@chandleraz.gov)>  
Date: 05/07/2014 10:52 AM  
Subject: Willis Gated Community

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Jeff/Erik,

*Below are some comments which were forwarded to Mike Curley and wanted to share the same concerns with staff and commission.*

Willis / Mc Queen was poorly altered from the beginning and remains the limiting factor for all involved. The exit from McQueen is extremely dangerous and continues to be problematic regarding any development by hindering ingress and egress.

Studies to improve the intersection and alternatives, hopefully, will be explored before continuing a tradition of reducing density on each and every project; which is counter intuitive to evolution of infill within the Chandler Airpark Plan.

Once intersection has been explored and fully vetted, changes to the area plan should bring a greater degree of integration transition for all. (HDR, ADOT facility, Chandler Water treatment plant, and your proposed development) We would like conceptual understanding of infill potential regarding highest and best use for property to the North of your proposed development.

Placing a small patch on a much larger problem seems to be an inadequate solution. Changing one piece of the puzzle (6.5 acres), other parcels don't fit. Thirty five homes next to the freeway doesn't behoove good planning.

Any approvals would only negatively impact all involved until accessibility has been improved. Please consider our concerns.

Thank you,  
Jarrell Wood  
Mark Farmer

#14

MAY 22 2014



**MEMORANDUM**                      **Planning Division - CC Memo No. 14-057**

**DATE:**            MAY 22, 2014

**TO:**                MAYOR AND COUNCIL

**THRU:**            RICH DLUGAS, CITY MANAGER *RD*  
MARSHA REED, ASSISTANT CITY MANAGER *MR*  
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*  
KEVIN MAYO, PLANNING MANAGER *KM*

**FROM:**            ERIK SWANSON, SENIOR CITY PLANNER *ES*

**SUBJECT:**        APL14-0004 AIRPARK AREA PLAN AMENDMENT / DVR14-0004 / PPT14-0006 WILLIS GATED COMMUNITY  
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**Location:**            East of the southeast corner of McQueen and Willis roads

**Applicant:**            Mike Curley; Earl, Curley and Lagarde

**RECOMMENDATION**

Planning Commission and Planning Staff, upon finding consistency with the General Plan, Chandler Airpark Area Plan and PAD zoning, recommend approval with conditions.

**BACKGROUND**

The subject site is located east of the southeast corner of McQueen and Willis roads and is zoned AG-1. The site is located within the nine square-mile Chandler Airpark Area Plan (CAAP) and designated as supporting high-density residential, allowing for residential density up to 18 dwelling units per acre. West of the subject site is an existing Arizona Department of

Transportation (ADOT) facility located within the jurisdiction of the County. North are single-family homes with agricultural privileges also located within the County. East is vacant land zoned PAD for multi-family residential development with a proposed density of 18 dwelling units per acre. The subject site abuts the Loop 202 Santan Freeway, and is a remnant piece from the development of the Freeway.

### **AREA PLAN AMENDMENT**

The subject site is part of the CAAP that encompasses nine square miles bounded by Pecos Road on the north, Gilbert Road on the east, Ocotillo Road on the south, and Arizona Avenue on the west. The site is currently designated as High-Density residential allowing for a residential density range between 12-18 dwelling units per acre. The request is to amend the area plan to Low-Medium Density residential that has a density range between 3.6-8 dwelling units per acre; the proposed density is 5.83 dwelling units per acre. While the site is one of few areas within the area plan that is designated for high-density residential, based on the limited access to the site, Planning Commission and Planning Staff find that an amendment to a lower residential classification is appropriate.

### **SUBDIVISION LAYOUT**

The development is proposed as a 35-lot, gated single-family residential development, with an overall density of 5.83 dwelling units per acre. Due to the site limitations in depth and width, the layout presents a unique development opportunity. Typical lot dimensions are 55' x 71', for a lot size of 3,905 square feet. The primary entrance to the site is centrally located along Willis Road, with a secondary emergency access located at the site's east end. The entry terminates at the community center, which serves as the main amenity area and focal point of the community. The community center provides a large multi-purpose room, kitchen, fitness room, recreation room, and a pool area. Due to the subdivision being a gated community, the amenities are strictly for the residents of the community.

With the unique constraints of the site, efficient layout can be difficult. The subdivision is designed in a loop road fashion, with a majority of the homes backing up to the edges of the site. As development occurs in a more infill type nature, and private streets are elected as part of the design, ensuring that there is adequate parking is often a concern. Although the streets are private, they have been designed to allow parking along one side of the street. Additionally, 22 guest parking stalls are provided, with 16 at the site's west end and an additional six along the eastern end, this is in addition to the two-car garage and minimum two-car parking on each driveway.

Based on the limited depth of the site the homes present a more infill design. While the setbacks are relatively consistent with traditional large tract subdivisions with the front setback being ten feet for livable or side-entry, the rear setback is a modest 10-feet. Although the rear setback is 10-feet, the setback is consistent with the SF-8.5 zoning designation.

### **HOUSING PRODUCT**

Three floor plans are provided, with three elevations per floor plan. Two of the plans provide forward-facing garages, with the third plan providing a side-entry garage. Homes range in size

from 2,333 to 2,410 square feet. The homes all provide three bedrooms with three full bathrooms. Various elements are incorporated into the architectural design of the home to provide diversity including: window muntins throughout all elevations, shutter detailing, shading of windows through roof projections, and corbel elements. Brick veneer, stacked stone veneer, and siding elements are incorporated into the elevations to provide additional diversity.

### **DISCUSSION**

Planning Commission and Planning Staff support the amendment to the CAAP, citing that while high-density residential development can be an appropriate land-use adjacent to freeways, in this particular case that due to limited access on McQueen Road and the dead-end design of Willis Road, reducing the density to a lower category assists in addressing potential traffic concerns, and because of this a reduction in density is appropriate.

Additionally, Planning Commission and Planning Staff support the Rezone and PDP request citing that the design team has worked diligently in addressing a number of design constraints (site size, layout, parking, and traffic generation) successfully.

Prior to submitting the proposal, the developer met with ADOT representatives and City of Chandler Transportation employees to discuss potential solutions to the McQueen and Willis road intersection. As a result of the meetings, ADOT agreed that if the City of Chandler were to take control of the intersection (currently in ADOT's control) that a left-turn onto McQueen Road from Willis Road would be allowed, assuming proper design. Following the design, the developer also commissioned a traffic study to determine if the reduction in residential density would warrant the left turn in the event the left turn is not desired. While the left turn out is not warranted based on the traffic counts, it does present a solution to circulation concerns. If the request is approved by Council, annexation of the intersection will be required in order to proceed with the left turn out.

Transportation Staff and Planning Staff have reviewed the traffic impact study and examined both current traffic counts and expected traffic counts on McQueen Road. Based on the study it is anticipated that the site will generate 334 daily trips (includes coming and going) which is equivalent to just slightly more than one percent of the current traffic count at this portion of McQueen Road, and equivalent to just less than one percent for anticipated traffic counts in 2030 for this portion of McQueen Road.

As part of the review for single-family residential development, subdivisions requesting a designation of PAD have to meet a number of design elements as outlined in the Council adopted Residential Development Standards (RDS). Depending on the size of the residential lots, a certain number of points need to be obtained. In this case, since all of the lots are less than 7,000 square feet, all of the development standards for subdivision diversity need to be met (eight required), along with meeting all of the 21 optional subdivision diversity elements. Additionally, in the event that any lots are less than 7,000 square feet, the same number of lots shall be required to be at least 10,000 square feet. When the RDS were initially envisioned, the standards were designed more towards larger subdivision development where large amounts of land

allowed for design creativity. Provisions are provided in the RDS that allow for relief of the standards for infill type developments. The site represents an infill type development.

### **AIRPORT COMMISSION**

The Airport Commission found that there were no conflicts between airport operations and the proposed development, but wanted to ensure that disclosure statements would be provided to future residents that there may be aircraft noise. Staff has added condition no. 9 addressing disclosure of airport operations in the vicinity.

### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on Wednesday, April 2, 2014, at the Chandler Municipal Airport; seven neighbors attended. Planning Staff has received a number of phone calls and emails, primarily from residents within the Las Casitas Del Sur residential subdivision located roughly a quarter-mile north of the subject site. Initially, the residents primarily wanted to know what was being proposed and to express their concerns about traffic; however, as of late the residents have expressed stronger concern over the potential traffic, resulting in stated opposition to the request.

### **PLANNING COMMISSION VOTE REPORT**

Motion to Approve:

In Favor: 7    Opposed: 0

The item was pulled for a full presentation due to two neighbors wanting to express their concerns. Both neighbors did not express opposition to the proposal but rather continued to stress traffic concerns related to the McQueen and Willis roads intersection. The first neighbor lives west of McQueen Road and north of the site and stated concerns with u-turns that currently occur on Wildhorse Drive. The resident was aware of the proposed modification to the median but wondered if there was a solution that would also remedy the u-turn issue. Planning Staff stated that the way the median is currently designed that there is not sufficient room to locate a designated left turn bay, which would resolve the u-turn issue. The second resident that spoke lives on the north side of Willis Road, and had reservations about the generated traffic and while the left turn out may help, it posed a safety concern for traffic going across the three lanes, and suggested that a signalized intersection may be a better solution. Planning Staff has discussed the option of a signalized intersection with the traffic division resulting in a strong recommendation to not signalize the intersection as the traffic counts do not warrant the signal, and that additional safety issues arise when signals are too close to each other.

### **RECOMMENDED ACTIONS**

#### **Area Plan**

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of APL14-0004 AIRPARK AREA PLAN AMENDMENT, Area Plan amendment from High-Density Residential to Low-Medium Density Residential.

**Rezoning**

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of DVR14-0004 WILLIS GATED COMMUNITY, Rezoning from AG-1 to PAD for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "WILLIS GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR14-0004, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to

agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

9. The following stipulations shall be the responsibility of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.

- a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and over flight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.
- b) The subdivide/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and over flight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
- c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
- d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from

an aircraft. A registered engineer shall certify that the project is in conformance with this condition.

- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and over flight activity, and is encumbered by an avigational easement to the City of Chandler.”

### **Preliminary Development Plan**

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of DVR14-0004 WILLIS GATED COMMUNITY, Preliminary Development Plan approval for a subdivision layout and building architecture, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled “WILLIS GATED COMMUNITY”, kept on file in the City of Chandler Planning Services Division, in File No. DVR14-0004, except as modified by condition herein.
2. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
3. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
4. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

### **Preliminary Plat**

Planning Commission and Planning Staff recommend approval of the Preliminary Plat PPT14-0006 WILLIS GATED COMMUNITY, subject to the following condition.

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

## **PROPOSED MOTIONS**

### **Area Plan**

Move to adopt Resolution No. 4774 approving APL14-0004 AIRPARK AREA PLAN AMENDMENT, Area Plan amendment from High-Density Residential to Low-Medium Density Residential as recommended by Planning Commission and Planning Staff.

**Rezoning**

Move to introduce and tentatively adopt Ordinance No. 4545 approving DVR14-0004 WILLIS GATED COMMUNITY, Rezoning from AG-1 to PAD for single-family residential, subject to the conditions as recommended by Planning Commission and Planning Staff.

**Preliminary Development Plan**

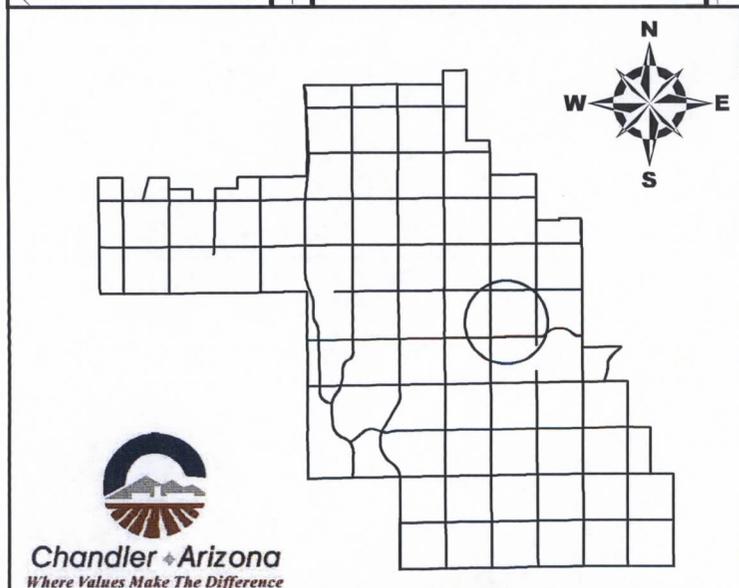
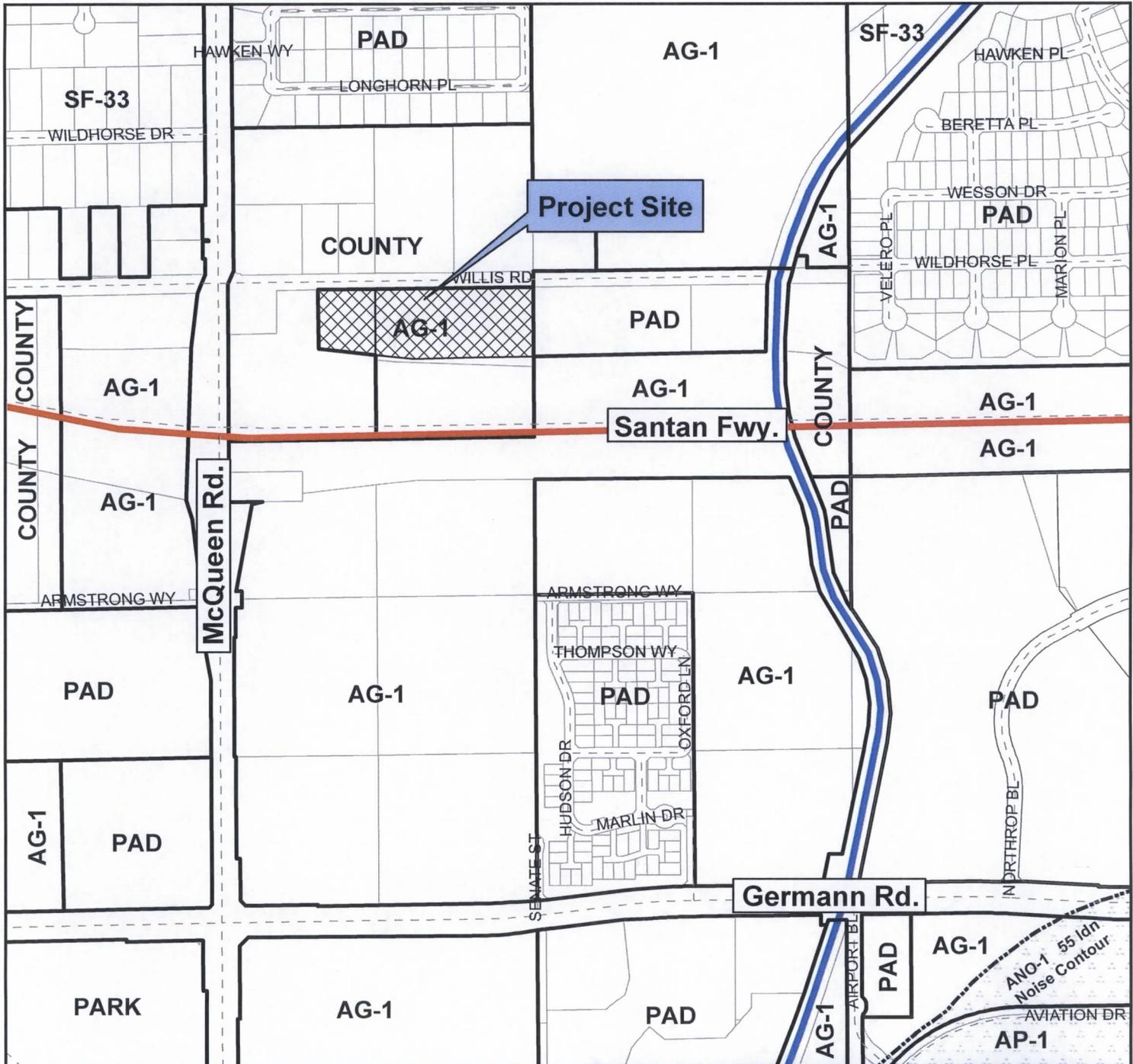
Move to approve DVR14-0004 WILLIS GATED COMMUNITY, Preliminary Development Plan for subdivision layout and building architecture, subject to the conditions recommended by Planning Commission and Planning Staff.

**Preliminary Plat**

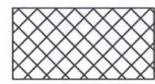
Motion to approve PPT14-0006 WILLIS GATED COMMUNITY, Preliminary Plat for a 35-lot single-family residential subdivision, subject to the condition recommended by Planning Commission and Planning Staff.

**Attachments**

1. Vicinity Maps
2. Site Plan
3. Elevations
4. Preliminary Plat
5. Resolution No. 4774
6. Ordinance No. 4545
7. Development Booklet

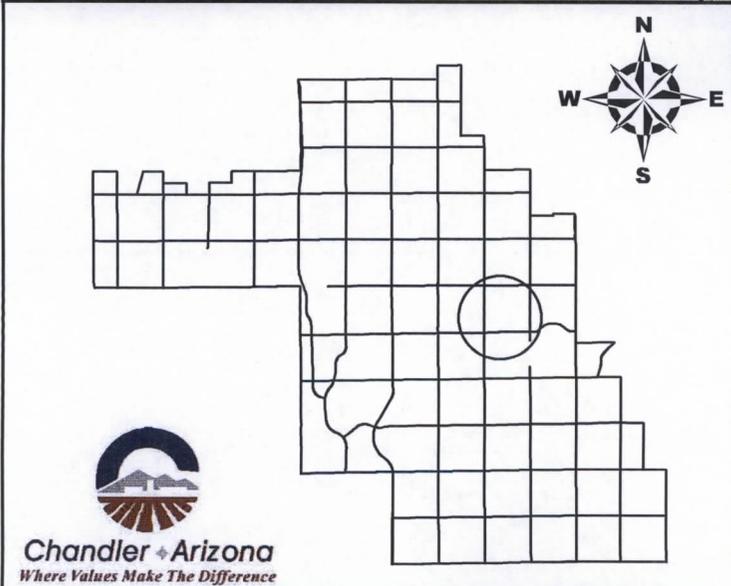


## Vicinity Map



DVR14-0004

**Willis Gated Community**



## Vicinity Map



DVR14-0004

**Willis Gated Community**





**EXTERIOR COLOR SCHEME "A"**

MARKS	COLORS	COLOR NUMBER/NAME	SURFACES
A	[Color swatch]	WARNING PEACH SW 6338 SHERWIN-WILLIAMS	STUCCO SYSTEM ON WALL
B	[Color swatch]	TOASTY SW 6595 SHERWIN-WILLIAMS	COLUMNS, FRAMINGS, CROWN MOULDINGS, POP-OUTS, FASCHA, ENTRY DOOR
C	[Color swatch]	WARNING PEACH SHERWIN-WILLIAMS	GARAGE DOOR
D	[Color swatch]	US TILE OR WRESTLE OR EQUAL	BRICK VENEER
E	[Color swatch]	CONCRETE TILE US TILE OR WRESTLE OR EQUAL	ROOF TILE



**OWNER'S GENERAL CONTRACTOR**  
 STAR TECH U.S.A. LLC  
 P.O. BOX 12706  
 CHANDLER, AZ 85248

**WILLIS GATED COMMUNITY**  
 South- East corner of McQueen Rd.  
 Chandler, Arizona



NOT FOR CONSTRUCTION  
 PRELIMINARY

CITY REVIEW SET  
 PROJECT NO. 100-2012  
 DATE: 03-20-2014

DRAWING TITLE  
**ELEVATIONS  
 STYLE A**  
 RESIDENCE TYPE 1

SHEET NO.  
**A2.1.2-A.1**

C.O.C. LOG NO. PRE-13-0074-PPT14-0008





**GENERAL CONTRACTOR**  
 STAR TECH U.S.A. LLC  
 401 BOYD ST. SUITE 200  
 CHANDLER, AZ 85248

**WILLIS GATED COMMUNITY**  
 South- East corner of McQueen Rd.  
 and Willis Rd.  
 Chandler, Arizona



NOT FOR CONSTRUCTION  
 PRELIMINARY  
 ADDITION-1 - 02-14-2014

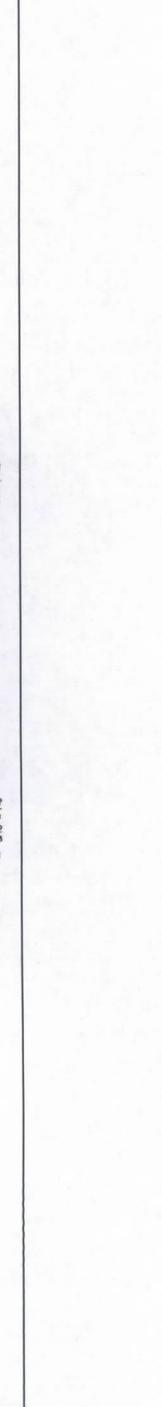
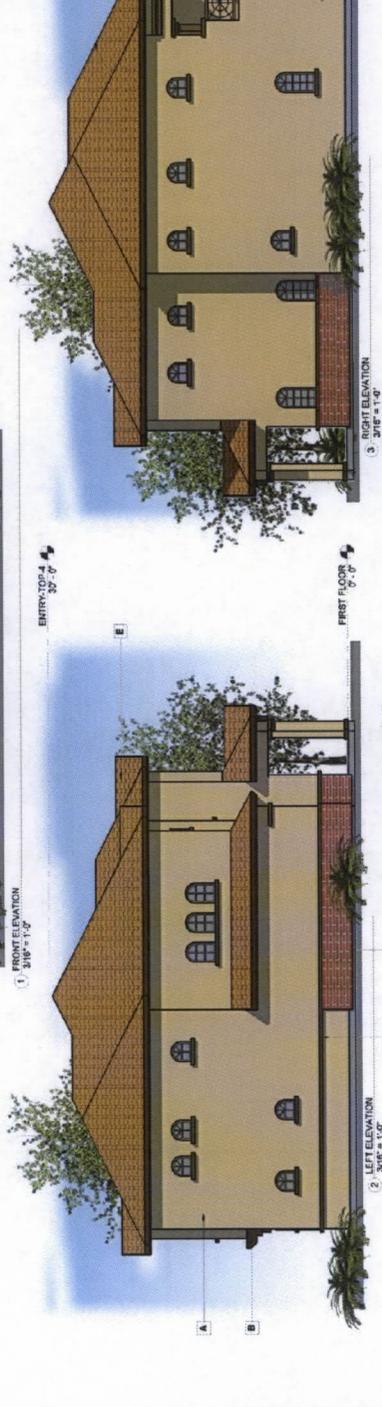
CITY REVIEW SET  
 PROJECT NO. 103-2012  
 DATE: 03 -20-2014

DRAWING TITLE  
**ELEVATIONS**  
**STYLE G**  
 RESIDENCE TYPE 3

SHEET NO.  
**A2.3.2-G.1**  
 (ADDITION -1)

C.O.C. LOG NO. PRE13-0074-PRT14-0008

EXTERIOR COLOR SCHEME "G"	
MARKED COLOR	COLOR NAME/NAME SURFACE
D	CAMEL BACK STUCCO SHUTTERS ON MAIL
B	TOASTY SHERWIN-WILLIAMS SW 6795
A	COLUMNS, BALUNCS, HEADS, CROWN MOLDINGS, PODOUS PACIA, CORBELS, ACCENTS, SHUTTERS
C	CAMEL BACK SHUTTERS SHERWIN-WILLIAMS
E	BRICK OR WET TILE OR SQUA
F	MANUFACTURER: US TILE OR WETILE
G	ROOF TILE









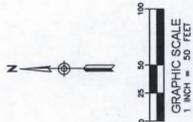
**PRELIMINARY PLAT**  
 WILLIS GATED COMMUNITY  
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD  
 CHANDLER, ARIZONA

SCALE: N/A  
 DATE: 4/28/14  
 REVISIONS:  
 A  
 A  
 A

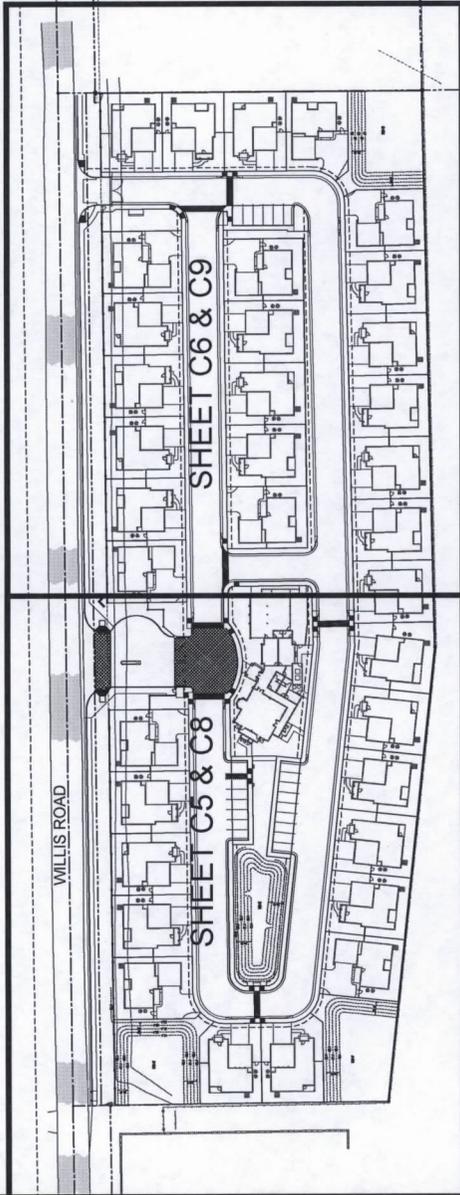
PROJECT NO.:  
 1221

**PRELIMINARY  
 PLAT  
 KEY MAP  
 & LEGEND**

SHEET:  
 3 OF 9  
**C3**



- SHEET INDEX**
- 1 PRELIMINARY PLAT COVER
  - 2 PRELIMINARY PLAT KEY MAP & LEGEND
  - 3 KEY MAP & LEGEND
  - 4 PRELIMINARY PLAT UTILITIES
  - 5 PRELIMINARY PLAT UTILITIES
  - 6 PRELIMINARY PLAT UTILITIES
  - 7 PRELIMINARY PLAT UTILITIES
  - 8 PRELIMINARY PLAT GRADING & DRAINAGE
  - 9 PRELIMINARY PLAT GRADING & DRAINAGE



**ABBREVIATIONS**

APN	ASSESSORS PARCEL NUMBER	MCR	MARICOPA COUNTY RECORDER
BC	BACK OF CURB	M	MEASURED DATA
BK	BOOK	NG	NATURAL GROUND
BW	BACK OF WALL	OHE	OVERHEAD ELECTRIC
BTM	BOTTOM (OF BASIN)	P	PAVEMENT
CB	CATCH BASIN	PG	PAGE
C	CONCRETE	PL	PROPERTY LINE
CC	COX CABLE	PP	POWER POLE
EMT	EASEMENT	R	RECORD DATA
E	ELECTRIC	RM	TOP OF RM
EG	EXISTING GROUND	RB	RETENTION BASIN
FC	FACE OF CURB	R-D-W	RIGHT-OF-WAY
FF	FINISHED FLOOR	S	SANITARY SEWER
FG	FINISHED GRADE	SD	SIDEWALK
FP	FINISHED PAD	SD	STORM DRAIN
FL	FLOW LINE	T	TELEPHONE
FW	FACE OF WALL	TC	TOP OF CURB
G	GAS	TF	TOP OF FOOTING
G	GUTTER	TRANS	TRANSFORMER
GB	GRADE BREAK (ROD)	TW	TOP OF WALL
GR	GRATE	TRW	TOP OF RETAINING WALL
HWE	HIGH WATER ELEVATION	TP	TYPICAL
I	INVERT ELEVATION	UE	UNDERGROUND ELECTRIC
MH	MANHOLE	W	WATER

**LEGEND**

- PROPERTY LINE
- FOUND 400T ALUMINUM CAP FLUSH
- FOUND 1/2" REBAR CAPPED 4224
- EXISTING SPOT ELEVATION
- PROPOSED ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WALL
- FENCE
- CURB AND GUTTER
- CONCRETE SURFACES
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- SON
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- GAS VALVE
- GAS METERS
- WATER BACKFLOW PREVENTION ASSEMBLY
- TRANSFORMER
- STREET LIGHT
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- LIGHT POLE
- TELEPHONE RISER
- DOWN GUY
- ELECTRIC BOX
- ELECTRIC CABINET
- WATER MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING STORM DRAIN
- PROPOSED UTILITY PER CONSTRUCTION NOTE CALLOUT

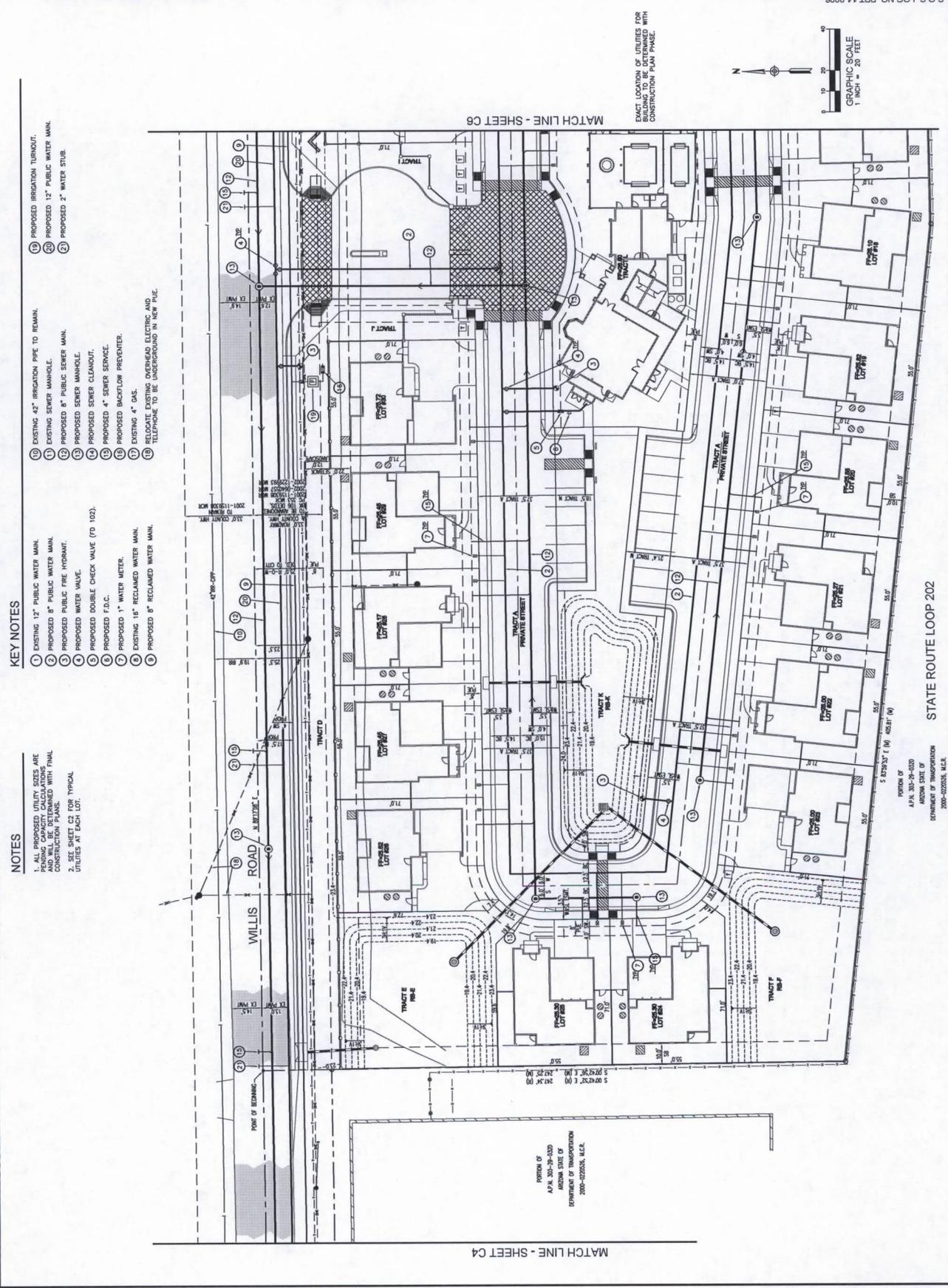




**PRELIMINARY PLAT**  
WILLIS GATED COMMUNITY  
S.E.C. OF McQUEEN ROAD & WILLIS ROAD  
CHANDLER, ARIZONA

SCALE: 1"=20'  
DATE: 4/28/14  
REVISIONS:  
PROJECT NO.: 1221

PRELIMINARY PLAT UTILITIES  
SHEET: 5 OF 9  
C5

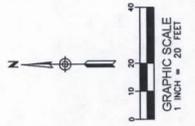


**NOTES**  
1. ALL PROPOSED UTILITY SIZES ARE PENDING CAPACITY CALCULATIONS BASED ON TYPICAL CONSTRUCTION PLANS.  
2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.

**KEY NOTES**  
1. EXISTING 12" PUBLIC WATER MAIN.  
2. PROPOSED 8" PUBLIC WATER MAIN.  
3. PROPOSED 12" PUBLIC WATER MAIN.  
4. EXISTING 16" PUBLIC SEWER MAIN.  
5. PROPOSED 8" PUBLIC SEWER MAIN.  
6. PROPOSED 12" PUBLIC SEWER MAIN.  
7. PROPOSED 4" GAS.  
8. EXISTING 16" RECLAIMED WATER MAIN.  
9. PROPOSED 15" RECLAIMED WATER MAIN.

10. EXISTING 42" IRRIGATION PIPE TO REMAIN.  
11. EXISTING SEWER MANHOLE.  
12. PROPOSED 8" PUBLIC SEWER MAIN.  
13. PROPOSED SEWER MANHOLE.  
14. PROPOSED SEWER CLEANOUT.  
15. PROPOSED 4" SEWER SERVICE.  
16. PROPOSED BACKFLOW PREVENTER.  
17. EXISTING 4" GAS.  
18. RELOCATE EXISTING OVERHEAD ELECTRIC AND TELEPHONE TO BE SUBGRADED TO NEW PILE.

19. PROPOSED IRRIGATION TURNOUT.  
20. PROPOSED 12" PUBLIC WATER MAIN.  
21. PROPOSED 2" WATER STUB.





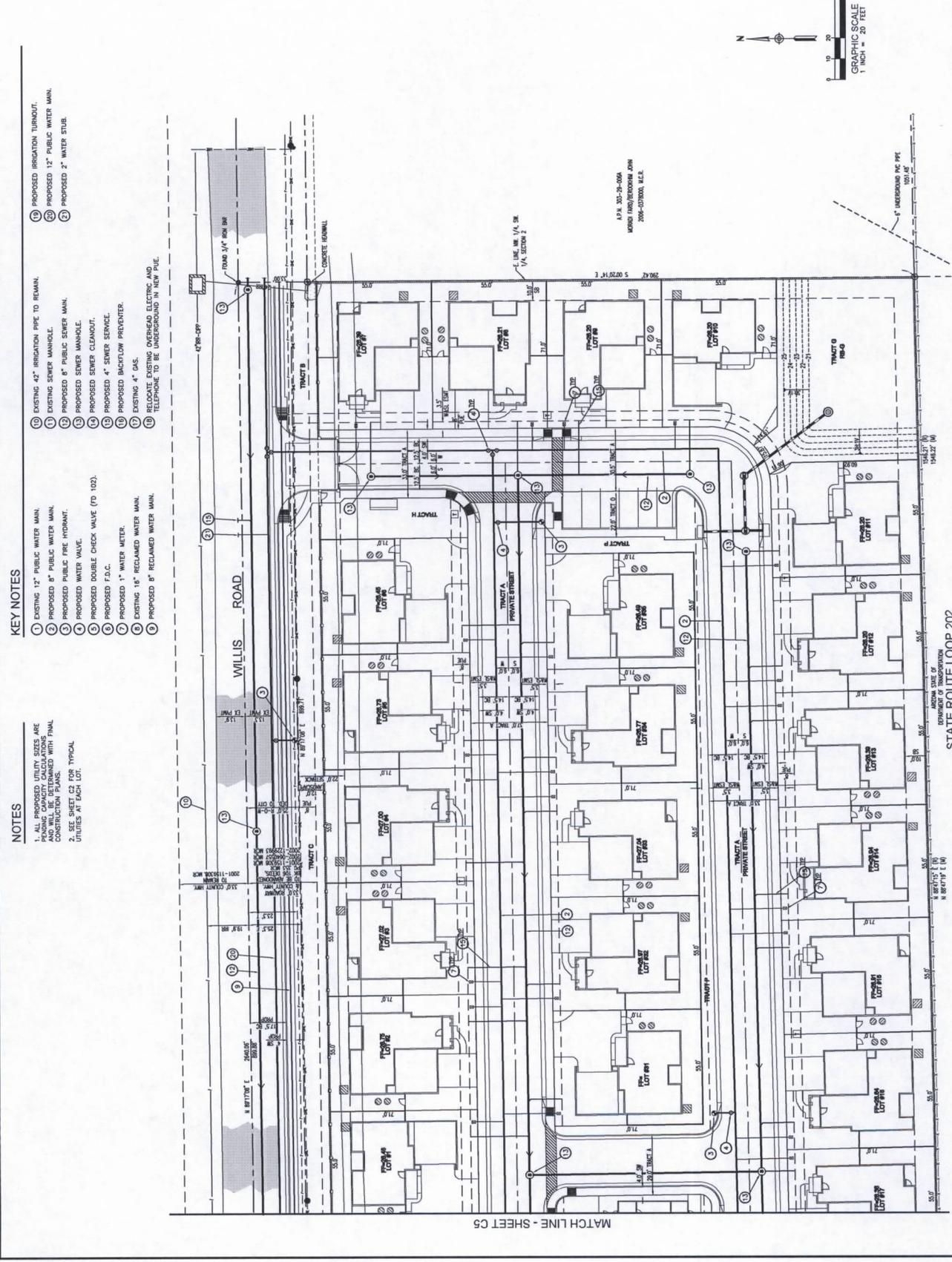
**PRELIMINARY PLAT**  
 WILLIS GATED COMMUNITY  
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD  
 CHANDLER, ARIZONA

SCALE: 1"=20'  
 DATE: 4/28/14  
 REVISIONS:  
 PROJECT NO.: 1221

**PRELIMINARY PLAT UTILITIES**

SHEET: 6 OF 9  
 C6

C.O.C. LOG NO. PPT 14-0006



- KEY NOTES**
1. ALL PROPOSED UTILITY SIZES ARE FRONING CAPACITY CALCULATIONS BASED ON THE LATEST AVAILABLE CONSTRUCTION PLANS.
  2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.
1. EXISTING 42" IRRIGATION PIPE TO REMAIN.
  2. EXISTING SEWER MANHOLE.
  3. EXISTING 8" PUBLIC SEWER MAIN.
  4. EXISTING 8" PUBLIC FIRE HYDRANT.
  5. EXISTING WATER VALVE.
  6. EXISTING DOUBLE CHECK VALVE (FD 102).
  7. EXISTING F.D.C.
  8. EXISTING 1" WATER METER.
  9. EXISTING 16" RECLAIMED WATER MAIN.
  10. EXISTING 8" RECLAIMED WATER MAIN.
  11. PROPOSED 42" IRRIGATION PIPE TO REMAIN.
  12. PROPOSED 12" PUBLIC WATER MAIN.
  13. PROPOSED 8" PUBLIC SEWER MAIN.
  14. PROPOSED 8" PUBLIC FIRE HYDRANT.
  15. PROPOSED WATER VALVE.
  16. PROPOSED DOUBLE CHECK VALVE (FD 102).
  17. PROPOSED F.D.C.
  18. PROPOSED 1" WATER METER.
  19. PROPOSED 16" RECLAIMED WATER MAIN.
  20. PROPOSED 8" RECLAIMED WATER MAIN.
  21. PROPOSED 2" WATER STOP.
- RELOCATE EXISTING OVERHEAD ELECTRIC AND TELEPHONE TO BE UNDERGROUND IN NEW PIPE.

- NOTES**
1. ALL PROPOSED UTILITY SIZES ARE FRONING CAPACITY CALCULATIONS BASED ON THE LATEST AVAILABLE CONSTRUCTION PLANS.
  2. SEE SHEET C2 FOR TYPICAL UTILITIES AT EACH LOT.

ARIZONA STATE DEPARTMENT OF TRANSPORTATION  
 STAT-ROUTE LOOP 202

MATCH LINE - SHEET C5



DATE: 1/20/2014

**PRELIMINARY PLAT**  
WILLIS GATED COMMUNITY  
S.E.C. OF MCGUEN ROAD & WILLIS ROAD  
CHANDLER, ARIZONA

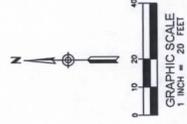
SCALE: 1"=20'  
DATE: 4/28/14  
REVISIONS:  
A  
A  
A  
PROJECT NO.:  
1221

PRELIMINARY  
PLAT  
GRADING  
AND  
DRAINAGE

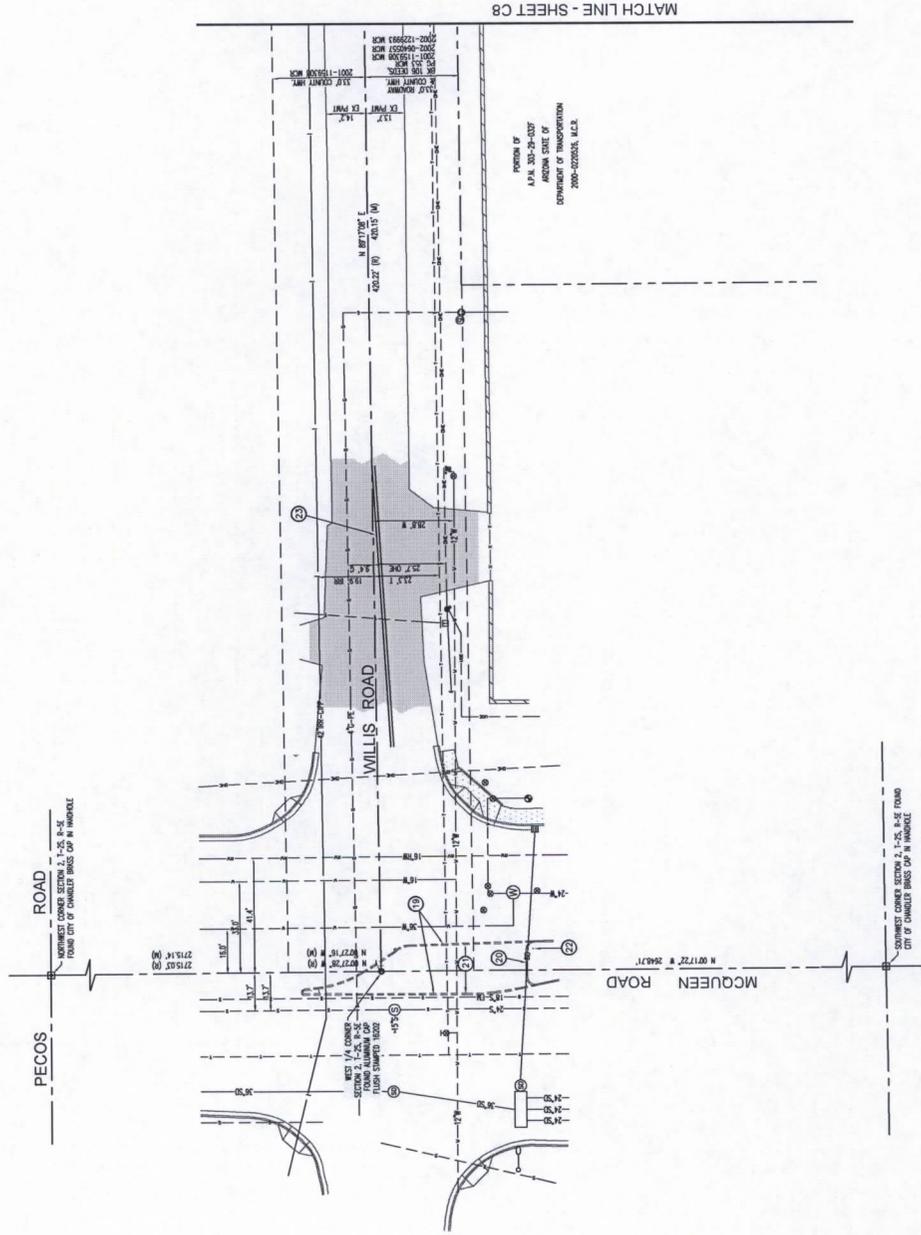
SHEET:  
7 OF 9

C7

C.C. LOG NO. PPT 14-006



- KEY NOTES**
- (19) REMOVE CURB.
  - (20) NEW CURB.
  - (21) REMOVE ISLAND AND INSTALL NEW PAVEMENT.
  - (22) INSTALL "NO LEFT TURN" SIGN.
  - (23) PROPOSED DOUBLE YELLOW STRIPING.



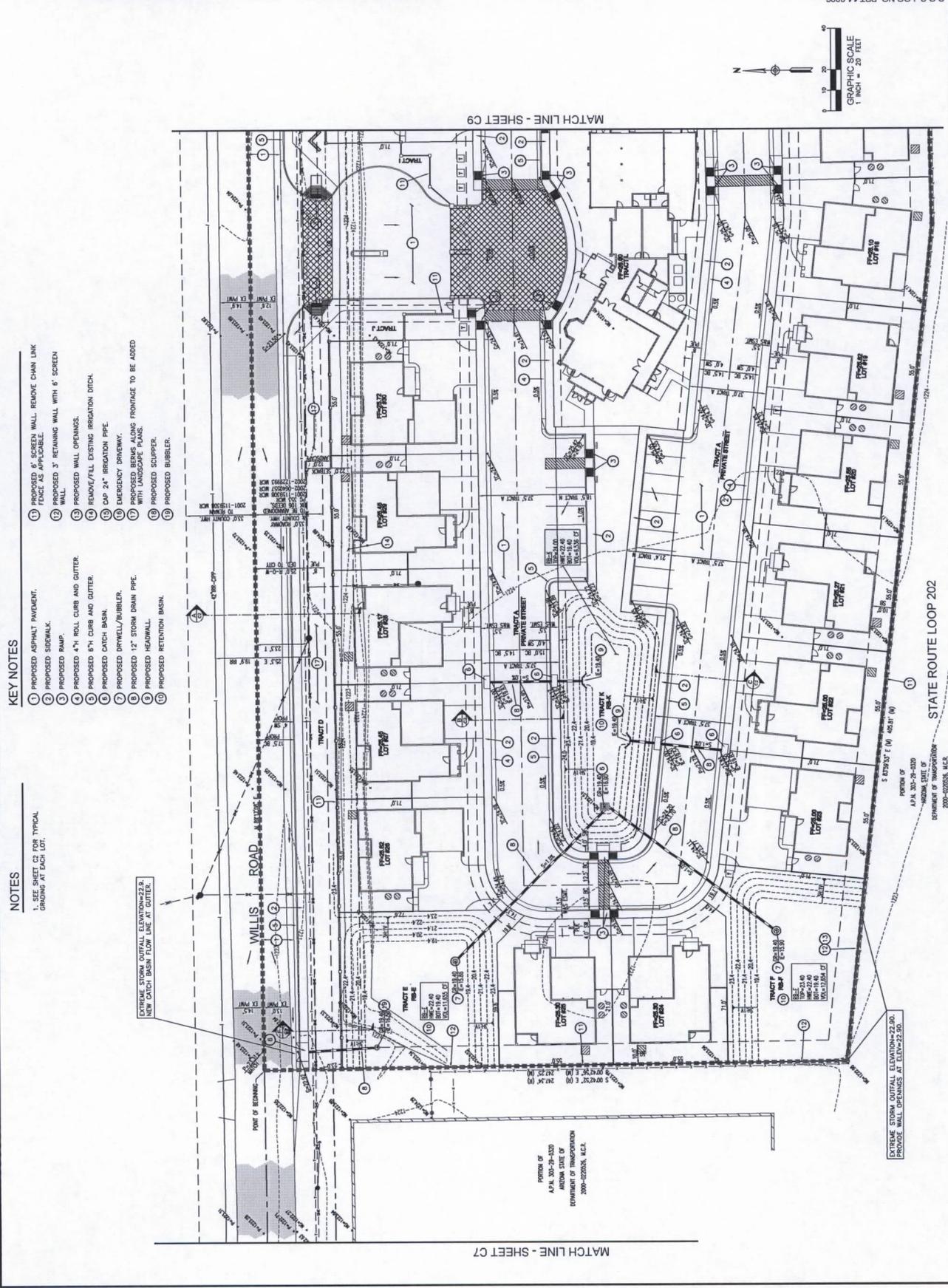
ROAD  
NORTHWEST CORNER SECTION 2, 1'-25" R-12  
FOUND CITY OF CHANDLER BASIS OF 1/4 INCH SCALE

ROAD  
NORTHWEST CORNER SECTION 2, 1'-25" R-12  
FOUND CITY OF CHANDLER BASIS OF 1/4 INCH SCALE



**PRELIMINARY PLAT**  
 S.E.C. OF McQUEEN ROAD & WILLIS ROAD  
 CHANDLER, ARIZONA

SCALE: 1"=20'
DATE: 4/28/14
REVISIONS:
PROJECT NO.: 1221
<b>PRELIMINARY PLAT GRADING AND DRAINAGE</b>
SHEET: 8 OF 9
<b>C8</b>



**NOTES**  
 1. SEE SHEET C7 FOR TYPICAL GRADING AT EACH LOT.

**KEY NOTES**

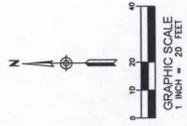
- 1 PROPOSED ASPHALT PAVEMENT.
- 2 PROPOSED SIDEWALK.
- 3 PROPOSED RAMP.
- 4 PROPOSED 4" HOLL CURB AND GUTTER.
- 5 PROPOSED 6" HOLL CURB AND GUTTER.
- 6 PROPOSED CATCH BASIN.
- 7 PROPOSED DRYWELL/BUBBLER.
- 8 PROPOSED 12" STORM DRAIN PIPE.
- 9 PROPOSED HEADWALL.
- 10 PROPOSED RETENTION BASIN.
- 11 PROPOSED 6" SCREEN WALL REMOVE CHAIN LINK FENCE AS APPLICABLE.
- 12 PROPOSED 3" RETAINING WALL WITH 6" SCREEN WALL.
- 13 PROPOSED WALL OPENINGS.
- 14 REMOVE/FILL EXISTING IRRIGATION DITCH.
- 15 CAP 24" IRRIGATION PIPE.
- 16 EMERGENCY DRIVEWAY.
- 17 PROPOSED BERMS ALONG FRONTAGE TO BE ADDED WITH LANDSCAPE PLANS.
- 18 PROPOSED SCUPPER.
- 19 PROPOSED BUBBLER.

EXTREME STORM OUTFALL ELEVATION=22.80.  
 NEW CATCH BASIN FLOW LINE AT GUTTER.

EXTREME STORM OUTFALL ELEVATION=22.80.  
 PROVIDE WALL OPENINGS AT ELEV=22.30.

MATCH LINE - SHEET C7

MATCH LINE - SHEET C9



PORTION OF  
 A.P.M. 300-76-020  
 ARIZONA STATE OF  
 DEPARTMENT OF TRANSPORTATION  
 2000-02000A, M.C.S.

PORTION OF  
 A.P.M. 300-76-020  
 ARIZONA STATE OF  
 DEPARTMENT OF TRANSPORTATION  
 2000-02000A, M.C.S.

STATE ROUTE LOOP 202



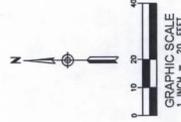
**PRELIMINARY PLAT**  
WILLIS GATED COMMUNITY  
S.E.C. OF McQUEEN ROAD & WILLIS ROAD  
CHANDLER, ARIZONA

SCALE: 1"=20'  
DATE: 4/28/14  
REVISIONS:  
PROJECT NO.: 1221

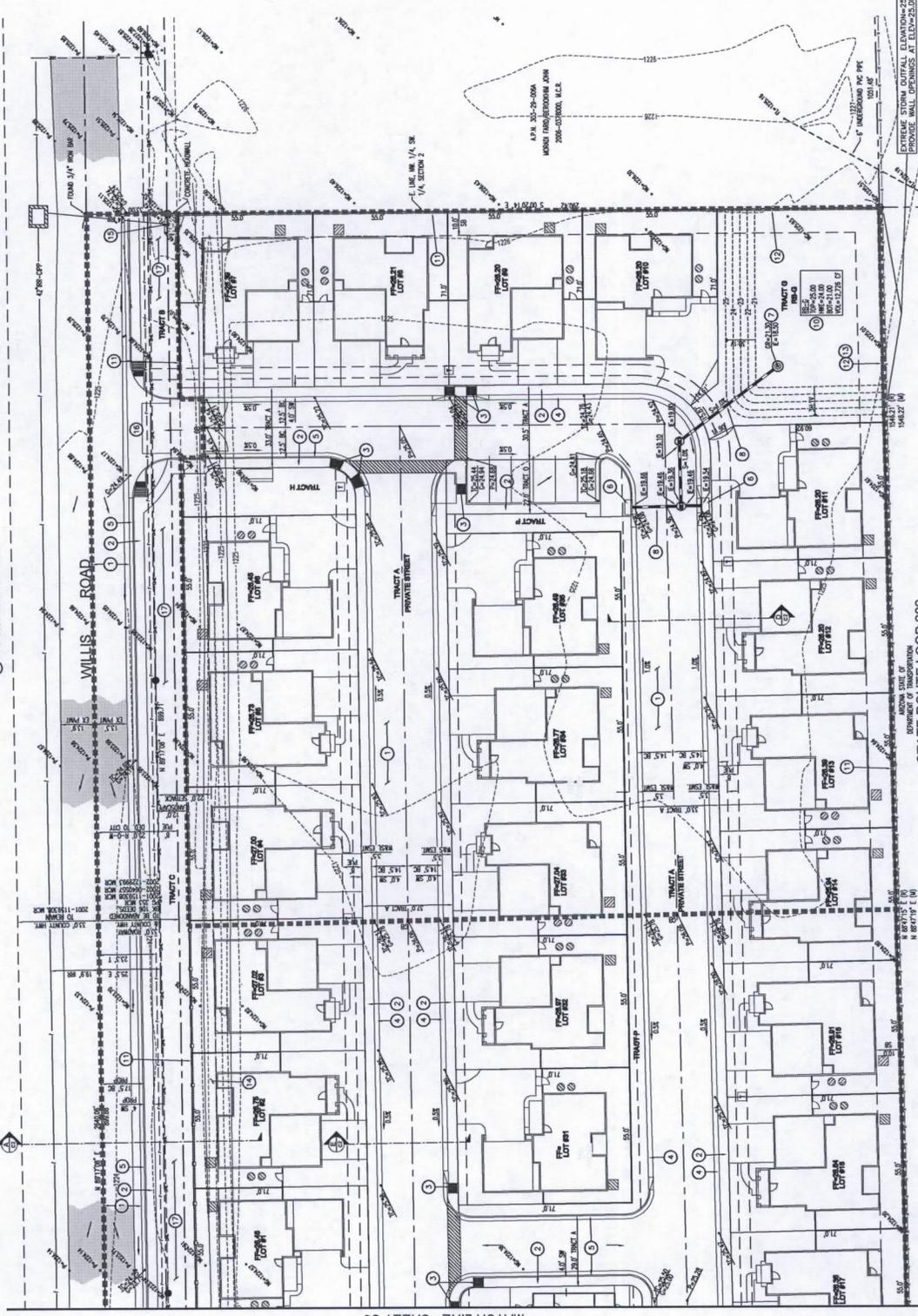
**PRELIMINARY  
PLAT  
GRADING  
AND  
DRAINAGE**

SHEET:  
9 OF 9  
C9

C.C. LOG NO. PPT 14-0008



- NOTES**
- SEE SHEET C2 FOR TYPICAL GRADING AT EACH LOT.
- KEY NOTES**
- PROPOSED ASPHALT PAVEMENT.
  - PROPOSED SEWALK.
  - PROPOSED RAMP.
  - PROPOSED 4" ROLL CURB AND GUTTER.
  - PROPOSED 6" ROLL CURB AND GUTTER.
  - PROPOSED CATCH BASIN.
  - PROPOSED DRYWELL/BUBBLER.
  - PROPOSED 12" STORM DRAIN PIPE.
  - PROPOSED HEADWALL.
  - PROPOSED RETENTION BASIN.
  - PROPOSED 6" SCREEN WALL.
  - PROPOSED 3" RETAINING WALL WITH 6" SCREEN WALL.
  - PROPOSED WALL OPENINGS.
  - REMOVE/FILL EXISTING IRRIGATION DITCH.
  - 24" 24" IRRIGATION PIPE.
  - EMERGENCY DRAINWAY.
  - PROPOSED CURB ALONG FRONTAGE TO BE ADDED AS SHOWN ON THIS PLAN.
  - PROPOSED SCUPPER.



EXTREME STORM OUTFALL ELEVATION=23.00.  
PROVIDE WALL OPENINGS AT ELEV=25.00.

STATE ROUTE LOOP 202

MATCH LINE - SHEET C8

RESOLUTION NO. 4774

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, ADOPTING AN AMENDMENT TO THE "CHANDLER AIRPARK AREA PLAN" FROM HIGH-DENSITY RESIDENTIAL TO LOW-MEDIUM DENSITY RESIDENTIAL ON PROPERTY LOCATED EAST OF THE SOUTHEAST CORNER OF MCQUEEN AND WILLIS ROADS

WHEREAS, an interest has been expressed in seeking approval of a rezoning request, pending approval of an Area Plan amendment, for a particular development proposal located east of the southeast corner of McQueen and Willis roads; and

WHEREAS, the Land Use and Neighborhood Planning Elements of the Chandler General Plan adopted by the City Council on June 26, 2008 encourage the preparation of neighborhood plans/Area Plans that address distinct characteristics and support unique land use planning for each area; and

WHEREAS, an existing area plan, the "Chandler Airpark Area Plan", has been adopted for the area bounded by Pecos Road, Gilbert Road, Ocotillo Road, and Arizona Avenue;

WHEREAS, the applicant prepared this amendment to the existing "Chandler Airpark Area Plan"; and

WHEREAS, such an amendment, covering a portion of the adopted Area Plan including a map has been prepared by the applicant for consideration by the City Council after having received public input from the Planning and Zoning Commission and property owners at a previous public hearing;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. That the attached map exhibit, an Amendment to the Chandler Airpark Area Plan, as presented to the Planning and Zoning Commission and approved at their public hearing held on May 7, 2014, is hereby adopted as the guideline for future rezoning and development for the area described within it.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 4754 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting was held on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, and that a quorum was present thereat.

\_\_\_\_\_  
CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY GAB

# CHANDLER AIRPARK AREA PLAN



OWNER & GENERAL CONTRACTOR  
 STAR TECH U.S.A., LLC  
 P.O. BOX 12703  
 CHANDLER, AZ 85246

WILLIS GATED COMMUNITY  
 South-East corner of McQueen Rd.  
 and Willis Rd.  
 Chandler, Arizona



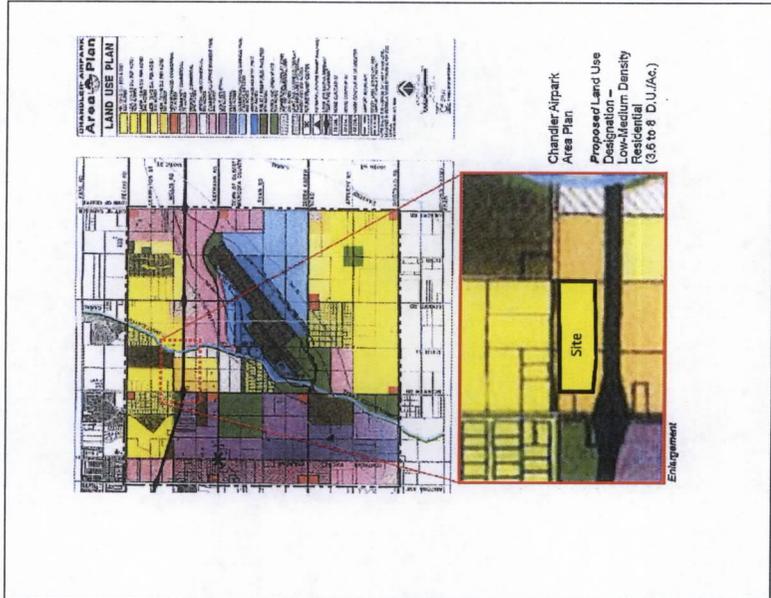
NOT FOR CONSTRUCTION  
 PRELIMINARY

CITY REVIEW SET  
 PROJECT NO. 100-2012  
 DATE: 04-28-2014

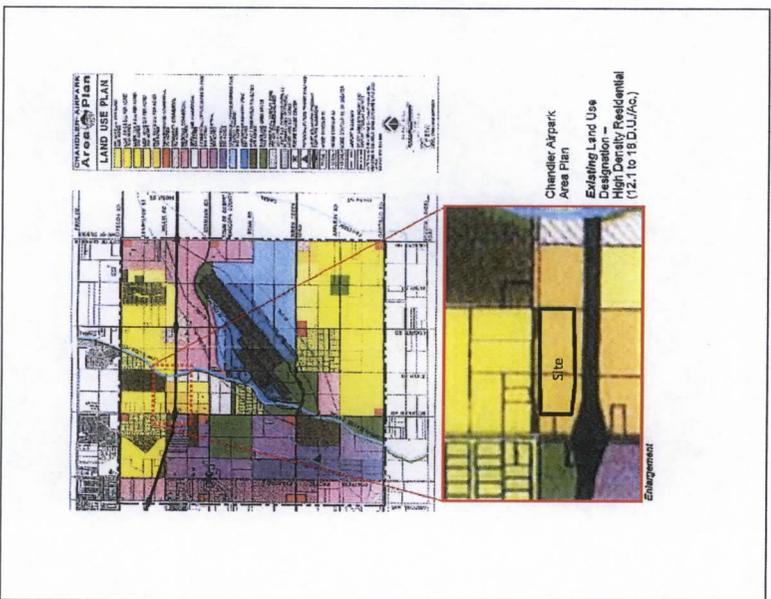
DRAWING TITLE  
 CHANDLER AIRPARK AREA PLAN

SHEET NO.  
 A0.1

C:\C:\LOGS NO. PRE13-0074\PT14-0006



PROPOSED LAND USE



EXISTING LAND USE

RESOLUTION NO. 4774

**ORDINANCE NO. 4545**

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL (AG-1) TO PLANNED AREA DEVELOPMENT (PAD) FOR SINGLE-FAMILY RESIDENTIAL IN CASE (DVR14-0004 WILLIS GATED COMMUNITY) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

SEE ATTACHMENT 'A'

Said parcel is hereby rezoned from AG-1 to PAD for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "WILLIS GATED COMMUNITY" and kept on file in the City of Chandler Planning Division, in File No. DVR14-0004, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners' association.

3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
8. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
9. The following stipulations shall be the responsibility of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:

- a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and over flight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.
- b) The subdivide/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and over flight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
- c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
- d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event



**CERTIFICATION**

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4545 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, and that a quorum was present thereat.

\_\_\_\_\_  
CITY CLERK

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY *GAB*

PUBLISHED:

# **EXHIBIT "A"**

**LEGAL DESCRIPTION  
OF PROPERTY AT  
MCQUEEN ROAD & WILLIS ROAD  
CHANDLER, AZ**

*That portion of the Southwest quarter of Section 2, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:*

*COMMENCING at an Aluminum Cap Flush stamped 16202 marking the West quarter corner of said Section 2, from which a City of Chandler Brass Cap in Handhole marking the Southwest corner of said Section 2 bears South 00 degrees 17 minutes 22 seconds East, 2648.71 feet, said line being the basis of bearing for this description;*

*THENCE North 89 degrees 17 minutes 08 seconds East 420.15 feet along the North line of said Southwest quarter, also being the Monument Line of Willis Road, to the POINT OF BEGINNING;*

*THENCE continuing North 89 degrees 17 minutes 08 seconds East 899.88 feet to the East line of the Northwest quarter of the Southwest quarter of said Section 2;*

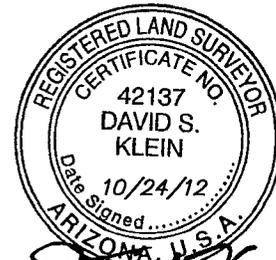
*THENCE South 00 degrees 20 minutes 14 seconds East 323.43 feet along said East line;*

*THENCE South 88 degrees 47 minutes 19 seconds West 494.74 feet;*

*THENCE North 83 degrees 59 minutes 53 seconds West 405.81 feet;*

*THENCE North 00 degrees 42 minutes 56 seconds West 280.25 feet to the POINT OF BEGINNING.*

*COMPRISING 6.518 acres or 283,918 square feet more or less, subject to all easements of record.*



*David S. Klein*

EXPIRES 3/31/14



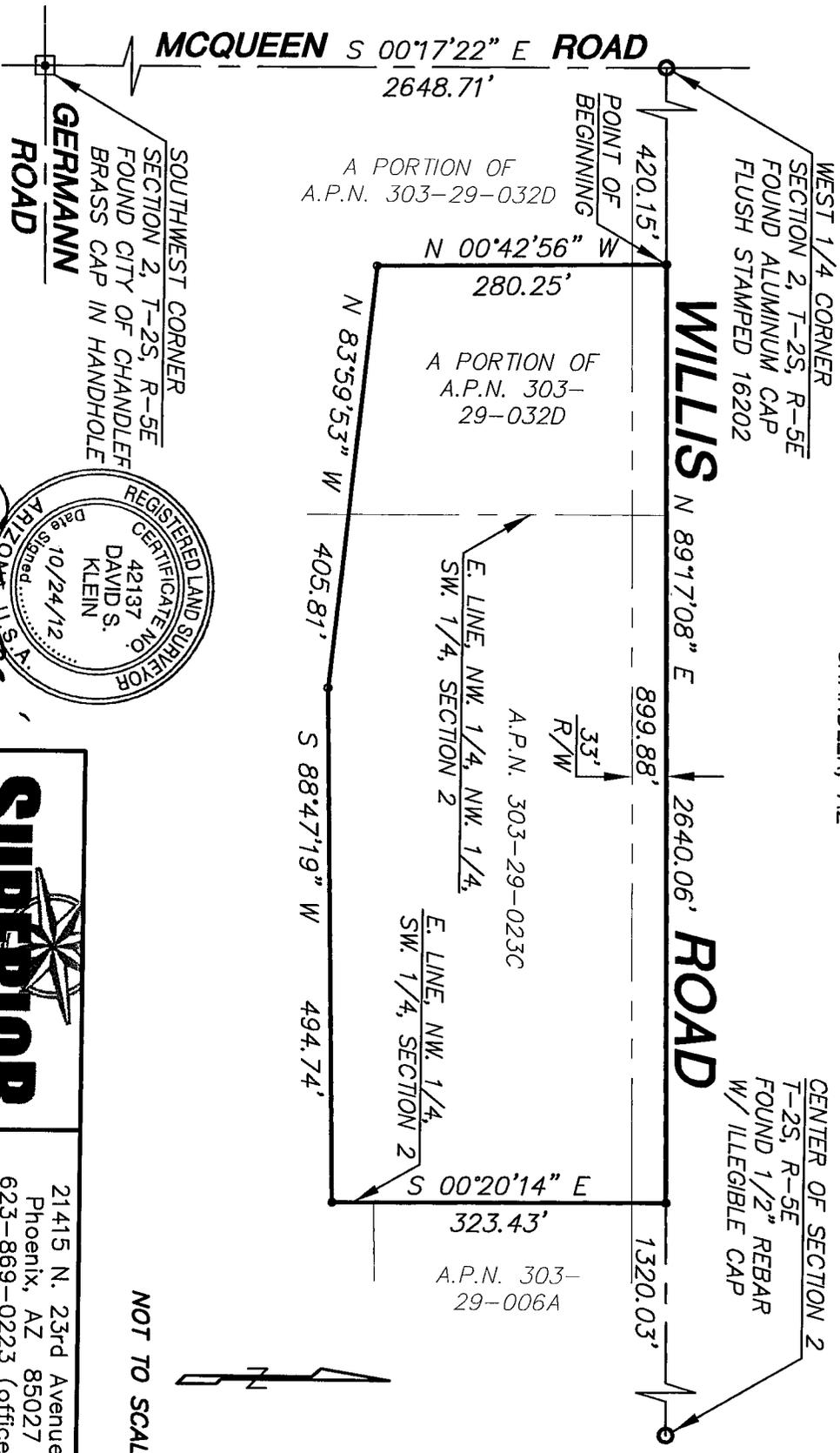
21415 N. 23rd Avenue  
Phoenix, AZ 85027  
623-869-0223 (office)  
623-869-0726 (fax)  
www.superiorsurveying.com  
info@superiorsurveying.com

DATE: 10/24/12

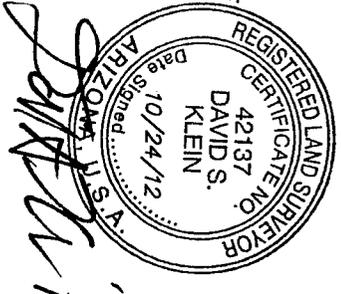
JOB NO.: 120919

# EXHIBIT "B"

DEPICTION OF PROPERTY AT  
MCQUEEN ROAD & WILLIS ROAD  
CHANDLER, AZ



NOT TO SCALE



EXPIRES 3/31/14



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DATE: 10/24/12

JOB NO.: 120919