

2

JUN 26 2014

ORDINANCE NO. 4533

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED INDUSTRIAL DISTRICT (I-1)/PLANNED AREA DEVELOPMENT (PAD) TO PAD (MULTI-FAMILY RESIDENTIAL) IN CASE (DVR13-0050 RAY ROAD APARTMENT HOMES) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'

Said parcel is hereby rezoned from I-1/PAD to PAD (Multi-Family Residential), subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "Ray Road Apartment Homes", kept on file in the City of Chandler Planning Division, in File No. DVR13-0050, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for

development or take legislative action to cause the property to revert to its former zoning classification.

3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
7. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
8. Prior to the execution of any lease, prospective apartment tenants shall be given a written disclosure statement acknowledging that the apartments are located adjacent to or nearby existing and future industrial uses that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Lease/Purchase Contracts", CC&R's, and individual rental contracts shall state such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/apartment builder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
9. In the event the multi-family residential is platted to allow unit ownership, prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot/unit property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure

shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Maricopa County, Arizona, this ____ day of _____, 2014.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona this ____ day of _____, 2014.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4533 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2014, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY *GAB*

PUBLISHED:

ATTACHMENT 'A'

LAND TITLE SURVEY

OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 22,
TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT
RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

DESCRIPTION

PARCEL 1:

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE WEST 824 FEET; AND

EXCEPT THE EAST 456 FEET.

PARCEL 2:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD, A DISTANCE OF 879.02 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 658.90 FEET;
THENCE NORTH 89 DEGREES 43 MINUTES 25 SECONDS EAST, A DISTANCE OF 250.00 FEET;
THENCE SOUTH 00 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 658.92 FEET TO THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD;
THENCE SOUTH 89 DEGREES 43 MINUTES 40 SECONDS WEST, A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING;

EXCEPT THE SOUTH 33 FEET; AND

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE, NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD, A DISTANCE OF 879.02 FEET;
THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 32.00 FEET;
THENCE NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST, A DISTANCE OF 456.00 FEET;
THENCE SOUTH 00 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 32.00 FEET;
THENCE SOUTH 89 DEGREES 43 MINUTES 40 SECONDS WEST, A DISTANCE OF 456.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD, A DISTANCE OF 1129.02 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 658.92 FEET;
THENCE NORTH 89 DEGREES 43 MINUTES 25 SECONDS EAST, A DISTANCE OF 206.00 FEET;
THENCE SOUTH 00 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 658.93 FEET TO THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD;
THENCE SOUTH 89 DEGREES 43 MINUTES 40 SECONDS WEST, ALONG SAID LINE, A DISTANCE OF 206.00 FEET TO THE POINT OF BEGINNING;

EXCEPT THE SOUTH 33 FEET; AND

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SECTION 22, ALSO BEING THE MONUMENT LINE OF RAY ROAD, A DISTANCE OF 879.02 FEET;
THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 32.00 FEET;
THENCE NORTH 89 DEGREES 43 MINUTES 40 SECONDS EAST, A DISTANCE OF 456.00 FEET;
THENCE SOUTH 00 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 32.00 FEET;
THENCE SOUTH 89 DEGREES 43 MINUTES 40 SECONDS WEST, A DISTANCE OF 456.00 FEET TO THE POINT OF BEGINNING.

AREA:

305,218 SQ. FT. OR 7.007 ACRES (M) MORE OR LESS

PROJECT DATA

OWNER: PALM COMMUNITIES
 1700 N. ARIZONA AVENUE
 SUITE 1000
 CHANDLER, AZ 85224
 CONTACT: JIMMY GARDNER

ARCHITECTURAL: ARCHITECTURAL, INC.
 4000 N. GOSWELL ROAD
 SUITE 100
 CHANDLER, AZ 85226
 CONTACT: JIMMY GARDNER

CIVIL: CIVIL ENGINEERING COMPANY
 1000 W. GARDNER ROAD
 SUITE 100
 CHANDLER, AZ 85224
 CONTACT: JIMMY GARDNER

LANDSCAPE: LANDSCAPE ARCHITECTURE, P.C.
 1700 N. ARIZONA AVENUE
 SUITE 1000
 CHANDLER, AZ 85224
 CONTACT: JIMMY GARDNER

ADJACENT: RAY ROAD AND APPROX. 100' EAST OF ARIZONA AVE
 CHANDLER, AZ

APN NUMBERS: 302-40-0040, 302-40-0041, 302-40-0042

CROSS AREA TO CATERING'S: 7.3 ACRES (318,991 S.F.)
 7.3 ACRES (318,991 S.F.)
 APPROX. 16,000 SF PUBLIC OPEN SPACE REQUIRED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

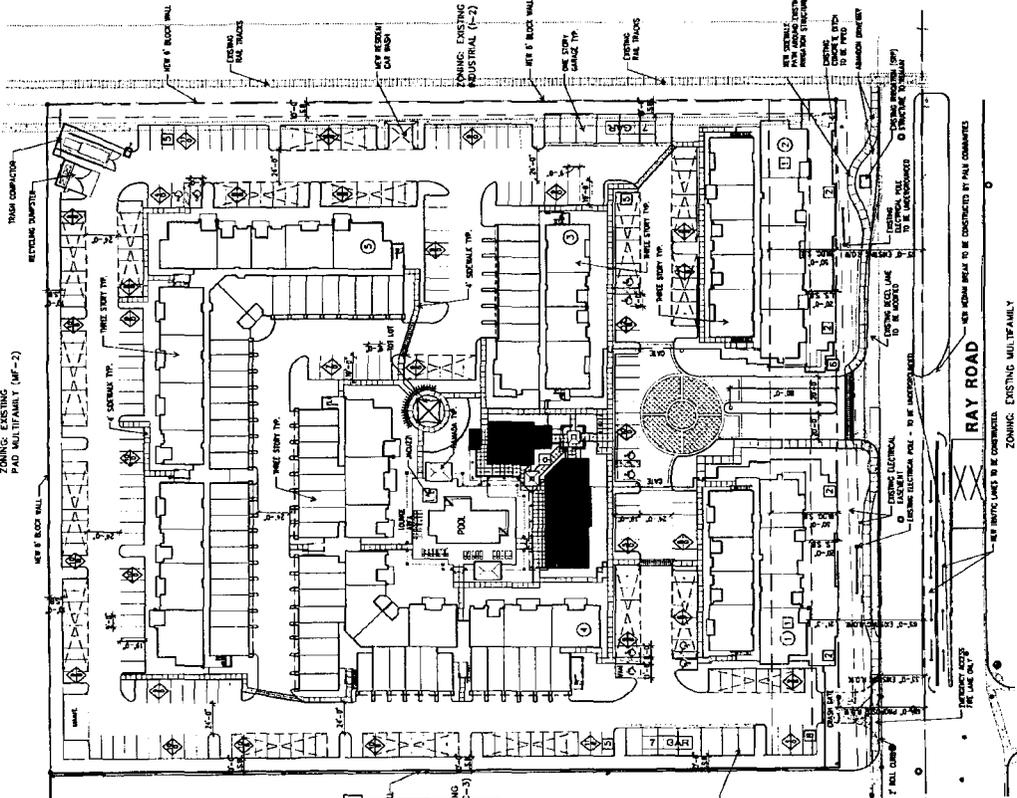
REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

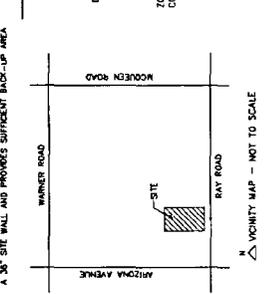
REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED

REQUIREMENTS: 100' X 300' - 48,000 SF PUBLIC OPEN SPACE REQUIRED
 APPROX. 16,000 SF PUBLIC OPEN SPACE PROVIDED



- ZONING REQUESTS:**
- 1. ZONING REQUEST TO ALLOW BUILDINGS 1 AND 2 TO EXTEND BEYOND THE 100' SETBACK ALONG RAY ROAD AND TO EXCEED THE 100' SETBACK HEIGHT AT THE REQUIRED BUILDING SETBACK LINE.
 - 2. ZONING REQUEST TO ALLOW THE IMPROVED WALKWAY AND THE REQUIRED 20' LANDSCAPE STRIP ALONG RAY ROAD AND TO SLIGHTLY EXCEED 30' IN HEIGHT WITHIN THIS SETBACK.
 - 3. ZONING REQUEST TO ALLOW THE MONUMENT SIGN TO EXCEED 7'-6" BY 10' ADDITIONAL 6'-0" (APPROX) IN THE 20'-0" LANDSCAPE STRIP.
 - 4. ZONING REQUEST TO ALLOW THE TOTAL COMMON PARKS OPEN SPACE TO BE APPROX. 20,000 SF, WHICH IS LESS THAN THE REQUIRED 48,000 SF.
 - 5. ZONING REQUEST TO ALLOW THE TOTAL COMMON PARKS OPEN SPACE TO BE APPROX. 20,000 SF, WHICH IS LESS THAN THE REQUIRED 48,000 SF.
 - 6. ZONING REQUEST TO ALLOW THE TOTAL COMMON PARKS OPEN SPACE TO BE APPROX. 20,000 SF, WHICH IS LESS THAN THE REQUIRED 48,000 SF.



- LEGEND:**
- 1. BUILDING NUMBER AND TYPE
 - 2. PARKING SPACES IN ROW
 - 3. COVERED PARKING SPACES IN ROW
 - 4. DEVIATION NUMBER



PRELIMINARY SITE PLAN

NEW PAD STANDARDS:	MF-2 STANDARDS:	NEW PAD STANDARDS:
REQUIRED BUILDING SETBACKS:	REQUIRED BUILDING SETBACKS:	REQUIRED BUILDING SETBACKS:
50'-0" SETBACK	50'-0" SETBACK	50'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK

NEW PAD STANDARDS:	MF-2 STANDARDS:	NEW PAD STANDARDS:
REQUIRED BUILDING SETBACKS:	REQUIRED BUILDING SETBACKS:	REQUIRED BUILDING SETBACKS:
50'-0" SETBACK	50'-0" SETBACK	50'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK
10'-0" SETBACK	10'-0" SETBACK	10'-0" SETBACK



RAY RD. APARTMENT HOMES
 CHANDLER, ARIZONA



WHITNEYBELL PERRY INC
 1702 East Mesquite Avenue
 Phoenix, Arizona 85044-7184
 35 Red Douglas Avenue, Suite 203
 Chandler, Arizona 85225-7432
 (602) 985-1191



ARCHITECTURE AND PLANNING

DATE: 11/11/2014

PROJECT: RAY RD. APARTMENT HOMES

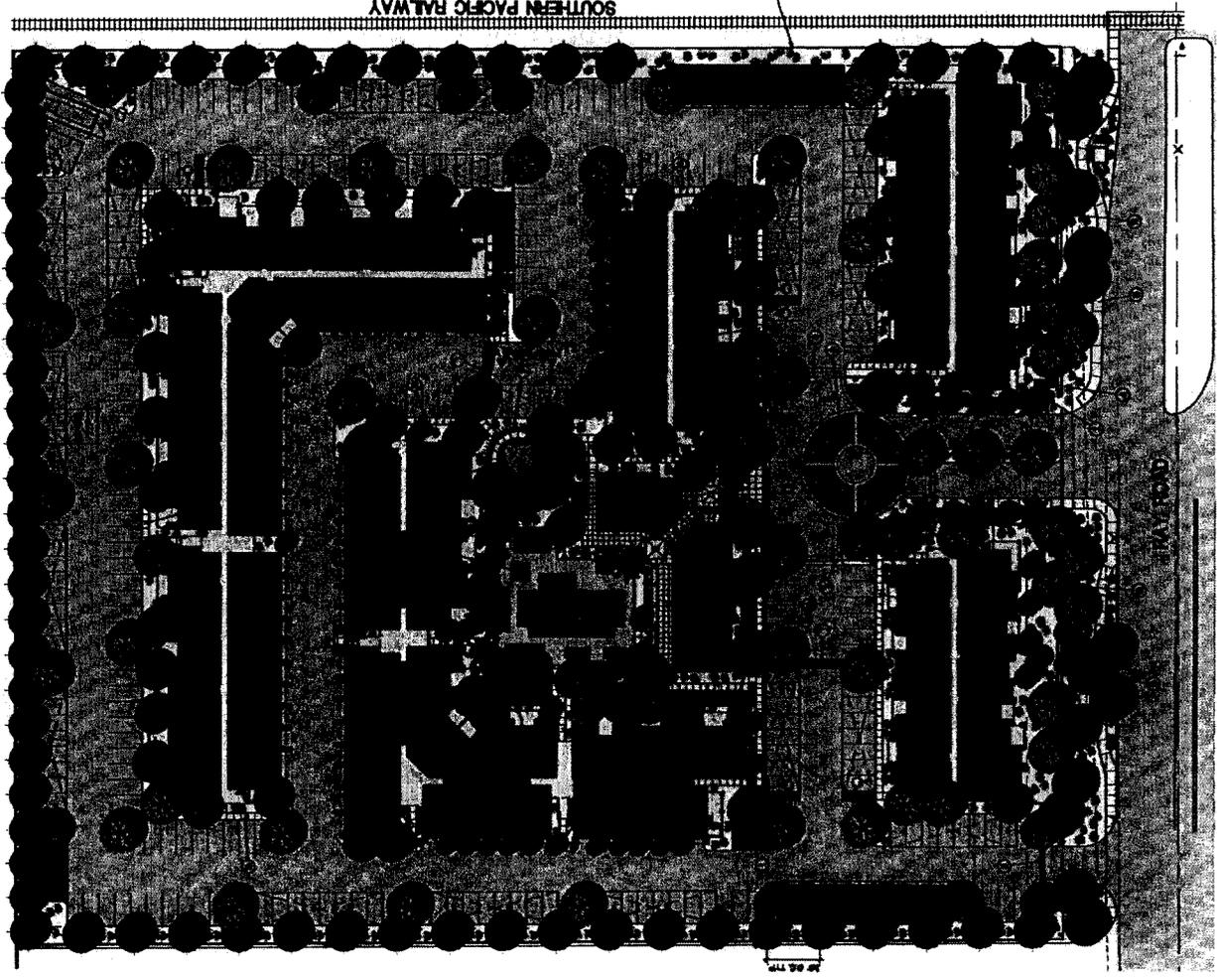
PRELIMINARY SITE PLAN

PLANT SCHEDULE:

- 1" TREE, 10' HIGHER
- 2" TREE, 8' HIGHER
- 3" TREE, 6' HIGHER
- 4" TREE, 4' HIGHER
- 5" TREE, 3' HIGHER
- 6" TREE, 2' HIGHER
- 7" TREE, 1' HIGHER
- 8" TREE, 1' HIGHER
- 9" TREE, 1' HIGHER
- 10" TREE, 1' HIGHER
- 11" TREE, 1' HIGHER
- 12" TREE, 1' HIGHER
- 13" TREE, 1' HIGHER
- 14" TREE, 1' HIGHER
- 15" TREE, 1' HIGHER
- 16" TREE, 1' HIGHER
- 17" TREE, 1' HIGHER
- 18" TREE, 1' HIGHER
- 19" TREE, 1' HIGHER
- 20" TREE, 1' HIGHER
- 21" TREE, 1' HIGHER
- 22" TREE, 1' HIGHER
- 23" TREE, 1' HIGHER
- 24" TREE, 1' HIGHER
- 25" TREE, 1' HIGHER
- 26" TREE, 1' HIGHER
- 27" TREE, 1' HIGHER
- 28" TREE, 1' HIGHER
- 29" TREE, 1' HIGHER
- 30" TREE, 1' HIGHER
- 31" TREE, 1' HIGHER
- 32" TREE, 1' HIGHER
- 33" TREE, 1' HIGHER
- 34" TREE, 1' HIGHER
- 35" TREE, 1' HIGHER
- 36" TREE, 1' HIGHER
- 37" TREE, 1' HIGHER
- 38" TREE, 1' HIGHER
- 39" TREE, 1' HIGHER
- 40" TREE, 1' HIGHER
- 41" TREE, 1' HIGHER
- 42" TREE, 1' HIGHER
- 43" TREE, 1' HIGHER
- 44" TREE, 1' HIGHER
- 45" TREE, 1' HIGHER
- 46" TREE, 1' HIGHER
- 47" TREE, 1' HIGHER
- 48" TREE, 1' HIGHER
- 49" TREE, 1' HIGHER
- 50" TREE, 1' HIGHER
- 51" TREE, 1' HIGHER
- 52" TREE, 1' HIGHER
- 53" TREE, 1' HIGHER
- 54" TREE, 1' HIGHER
- 55" TREE, 1' HIGHER
- 56" TREE, 1' HIGHER
- 57" TREE, 1' HIGHER
- 58" TREE, 1' HIGHER
- 59" TREE, 1' HIGHER
- 60" TREE, 1' HIGHER
- 61" TREE, 1' HIGHER
- 62" TREE, 1' HIGHER
- 63" TREE, 1' HIGHER
- 64" TREE, 1' HIGHER
- 65" TREE, 1' HIGHER
- 66" TREE, 1' HIGHER
- 67" TREE, 1' HIGHER
- 68" TREE, 1' HIGHER
- 69" TREE, 1' HIGHER
- 70" TREE, 1' HIGHER
- 71" TREE, 1' HIGHER
- 72" TREE, 1' HIGHER
- 73" TREE, 1' HIGHER
- 74" TREE, 1' HIGHER
- 75" TREE, 1' HIGHER
- 76" TREE, 1' HIGHER
- 77" TREE, 1' HIGHER
- 78" TREE, 1' HIGHER
- 79" TREE, 1' HIGHER
- 80" TREE, 1' HIGHER
- 81" TREE, 1' HIGHER
- 82" TREE, 1' HIGHER
- 83" TREE, 1' HIGHER
- 84" TREE, 1' HIGHER
- 85" TREE, 1' HIGHER
- 86" TREE, 1' HIGHER
- 87" TREE, 1' HIGHER
- 88" TREE, 1' HIGHER
- 89" TREE, 1' HIGHER
- 90" TREE, 1' HIGHER
- 91" TREE, 1' HIGHER
- 92" TREE, 1' HIGHER
- 93" TREE, 1' HIGHER
- 94" TREE, 1' HIGHER
- 95" TREE, 1' HIGHER
- 96" TREE, 1' HIGHER
- 97" TREE, 1' HIGHER
- 98" TREE, 1' HIGHER
- 99" TREE, 1' HIGHER
- 100" TREE, 1' HIGHER

PLAN KEY NOTES:

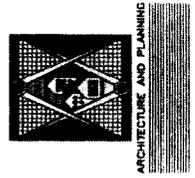
- 1 ACCENT LIGHT
- 2 FLOORING FINISHES BY DESIGN
- 3 JACKET
- 4 MIN. HOLDUP (SEE SHEET 'B')
- 5 PAINTING
- 6 DECORATIVE PAINTING (SEE PLAN)
- 7 PAINTED CROWNMOULD
- 8 1/2" HIGH METAL TIE RODS, FINISH
- 9 GATED BRACKETS (SEE SHEET 'B')
- 10 MAJOR FINISHES
- 11 1/2" BRICK
- 12 1/2" BRICK
- 13 1/2" BRICK
- 14 1/2" BRICK
- 15 1/2" BRICK
- 16 1/2" BRICK
- 17 1/2" BRICK
- 18 1/2" BRICK
- 19 1/2" BRICK
- 20 1/2" BRICK
- 21 1/2" BRICK
- 22 1/2" BRICK
- 23 1/2" BRICK
- 24 1/2" BRICK
- 25 1/2" BRICK
- 26 1/2" BRICK
- 27 1/2" BRICK
- 28 1/2" BRICK
- 29 1/2" BRICK
- 30 1/2" BRICK
- 31 1/2" BRICK
- 32 1/2" BRICK
- 33 1/2" BRICK
- 34 1/2" BRICK
- 35 1/2" BRICK
- 36 1/2" BRICK
- 37 1/2" BRICK
- 38 1/2" BRICK
- 39 1/2" BRICK
- 40 1/2" BRICK
- 41 1/2" BRICK
- 42 1/2" BRICK
- 43 1/2" BRICK
- 44 1/2" BRICK
- 45 1/2" BRICK
- 46 1/2" BRICK
- 47 1/2" BRICK
- 48 1/2" BRICK
- 49 1/2" BRICK
- 50 1/2" BRICK
- 51 1/2" BRICK
- 52 1/2" BRICK
- 53 1/2" BRICK
- 54 1/2" BRICK
- 55 1/2" BRICK
- 56 1/2" BRICK
- 57 1/2" BRICK
- 58 1/2" BRICK
- 59 1/2" BRICK
- 60 1/2" BRICK
- 61 1/2" BRICK
- 62 1/2" BRICK
- 63 1/2" BRICK
- 64 1/2" BRICK
- 65 1/2" BRICK
- 66 1/2" BRICK
- 67 1/2" BRICK
- 68 1/2" BRICK
- 69 1/2" BRICK
- 70 1/2" BRICK
- 71 1/2" BRICK
- 72 1/2" BRICK
- 73 1/2" BRICK
- 74 1/2" BRICK
- 75 1/2" BRICK
- 76 1/2" BRICK
- 77 1/2" BRICK
- 78 1/2" BRICK
- 79 1/2" BRICK
- 80 1/2" BRICK
- 81 1/2" BRICK
- 82 1/2" BRICK
- 83 1/2" BRICK
- 84 1/2" BRICK
- 85 1/2" BRICK
- 86 1/2" BRICK
- 87 1/2" BRICK
- 88 1/2" BRICK
- 89 1/2" BRICK
- 90 1/2" BRICK
- 91 1/2" BRICK
- 92 1/2" BRICK
- 93 1/2" BRICK
- 94 1/2" BRICK
- 95 1/2" BRICK
- 96 1/2" BRICK
- 97 1/2" BRICK
- 98 1/2" BRICK
- 99 1/2" BRICK
- 100 1/2" BRICK



Preliminary
Landscape Plan
Scale 1:50
0 10 20 30
GRAPHIC SCALE



EXHIBIT 'A'
© 2008
COPYRIGHT BY HENRIK ARCHITECTS INC.
LANDSCAPE PLAN
PRELIMINARY



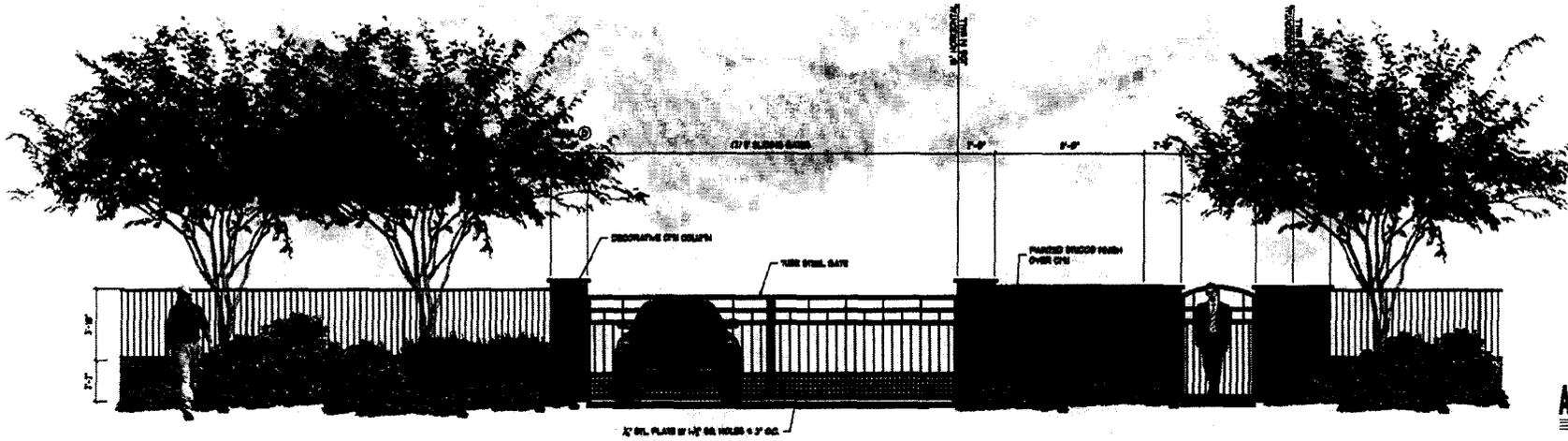
WHITNEYBELL PERRY INC.
102 East Mission Street
Phoenix, Arizona 85014-2794
50 West Underwood Street
Denver, Arizona 80202-7142
(602) 357-8181



**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA

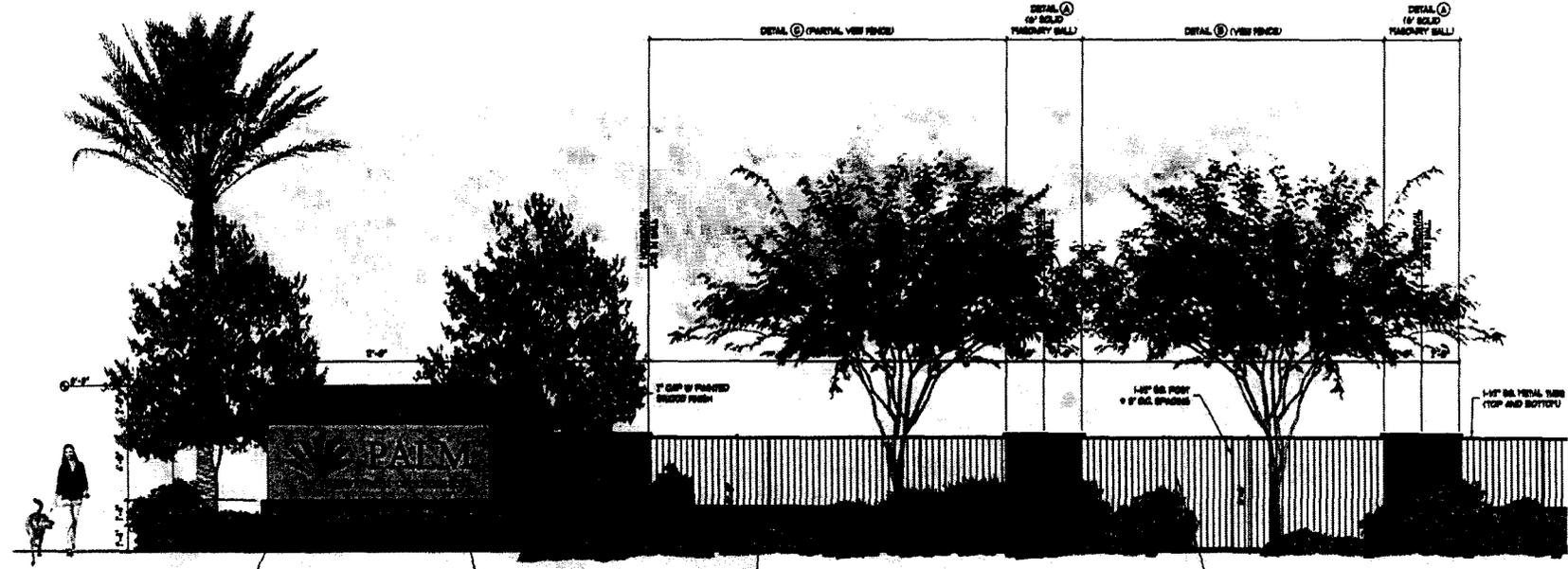


Philip T. Ryan
Landscape Architect P.E.
1000 North Central Expressway
Suite 100
Chandler, Arizona 85225
(480) 948-1111



1
B ENTRY GATE ELEVATION

SCALE 3/8" = 1'-0"



2
B SIGN MONUMENT AND THEME WALL

SCALE 3/8" = 1'-0"

phillip r. ryan
landscape architect p.c.
landscape architecture & planning
375 W. Chandler Ave., Suite 220
Chandler, Arizona 85225
480-948-9252 fax 480-948-9244

PALM
COMMUNITIES

RAY RD.
APARTMENT HOMES

CHANDLER, ARIZONA

PRELIMINARY

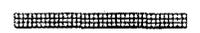
WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



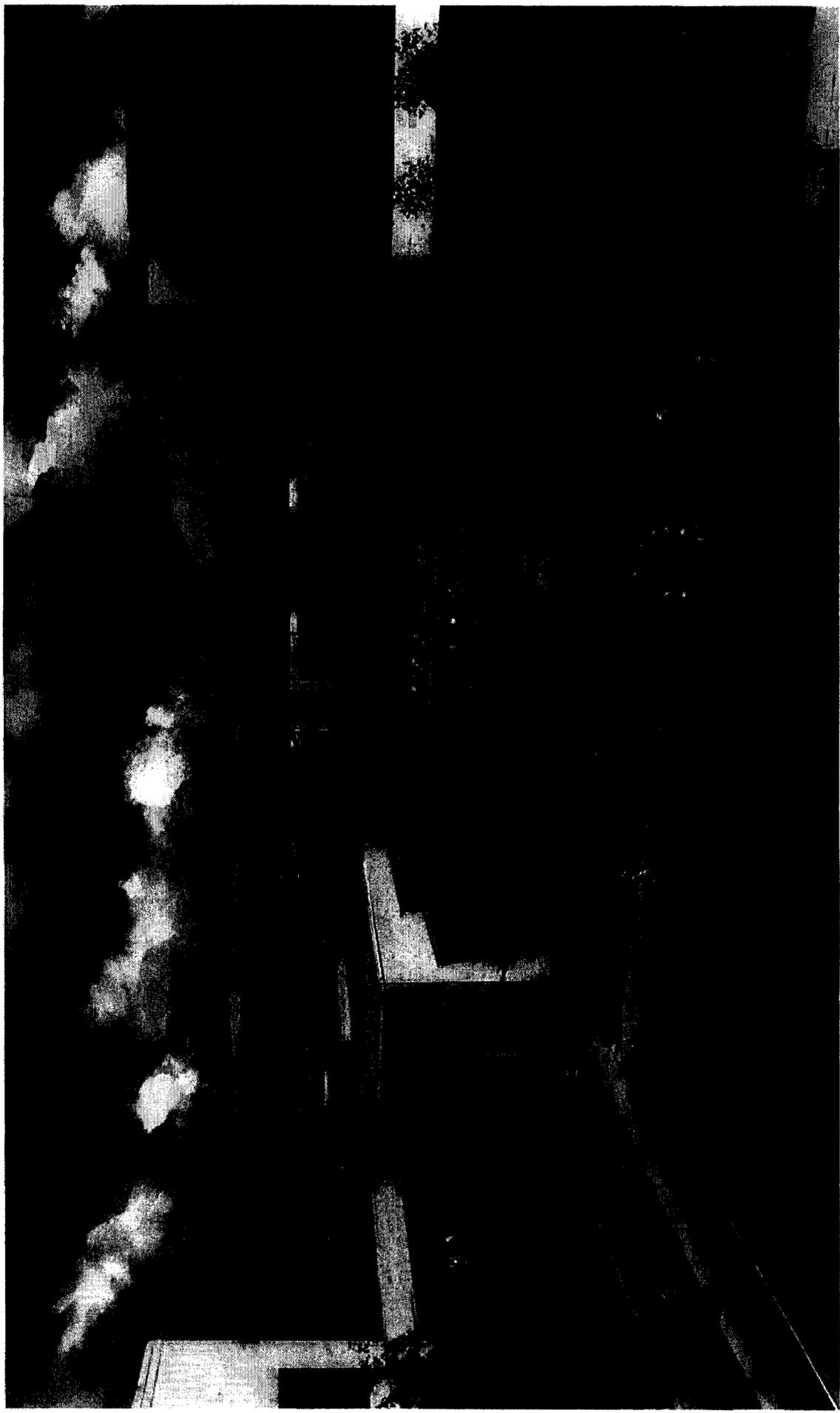
ARCHITECTURE AND PLANNING

EXHIBIT 'B'

©©©©
COPYRIGHT WHITNEYBELL ARCHITECTS INC



WALL DETAILS



NOTES

* THESE ARE PRELIMINARY ELEVATIONS SUBJECT TO CHANGE

PLEASE SEE MATERIAL AND COLOR SCHEDULE SHEETS FOR DETAILED INFORMATION.

ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

ALL EXPOSED MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND SAVERS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

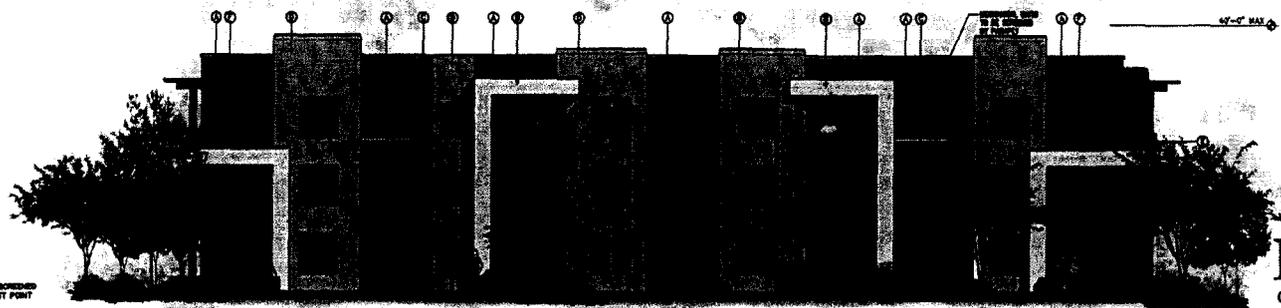
ALL EXTERNAL LIGHTING SHALL BE LOCATED AND SCREENED TO PREVENT GLARE FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.

ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE EXTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL INSULATION SECOND PARTY ACCESS.

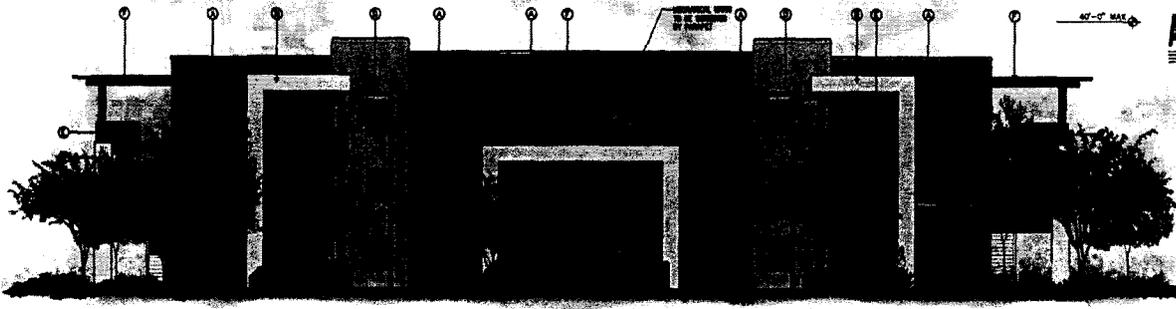
ALL ROOF ACCESS LADDERS WILL NEED TO BE INTERNAL TO THE BUILDING. EXTERIOR BUILDING SHALL BE STUCCO FINISH WITH METAL PANELS AT GUARDRAIL WALLS.

COLOR SCHEDULE

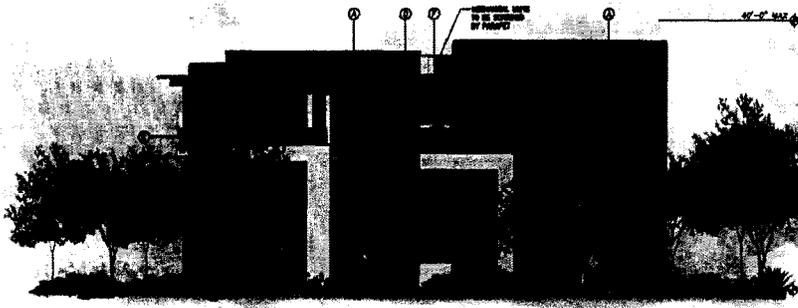
- A MAIN EXTERIOR WALLS
DARK EXTERIOR SOFT LEANER (00000)
- B ACCENT BODY COLORS
DARK EXTERIOR LIGHT BONE (00001)
- C ACCENT BODY COLORS
DARK EXTERIOR BROWN PLANE (00010)
- D MAIN EXTERIOR WALLS
DARK EXTERIOR FLAORIAN PEARLER (00010)
- E ACCENT 1
DARK EXTERIOR BARNEL STONE (00000)
- F ACCENT 2
DARK EXTERIOR CHINA GREY (00010)



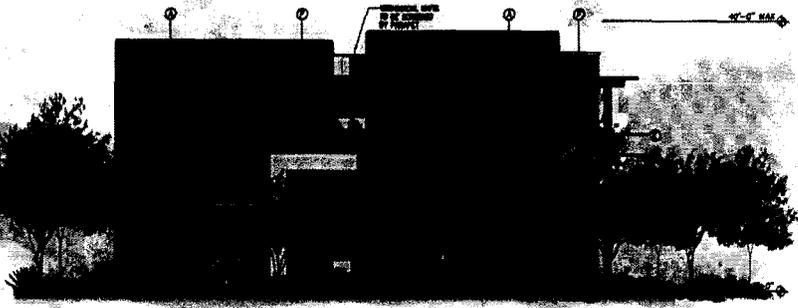
PRELIMINARY FRONT ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY BACK ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY LEFT ELEVATION
SCALE: 1/8" = 1'-0"



**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA

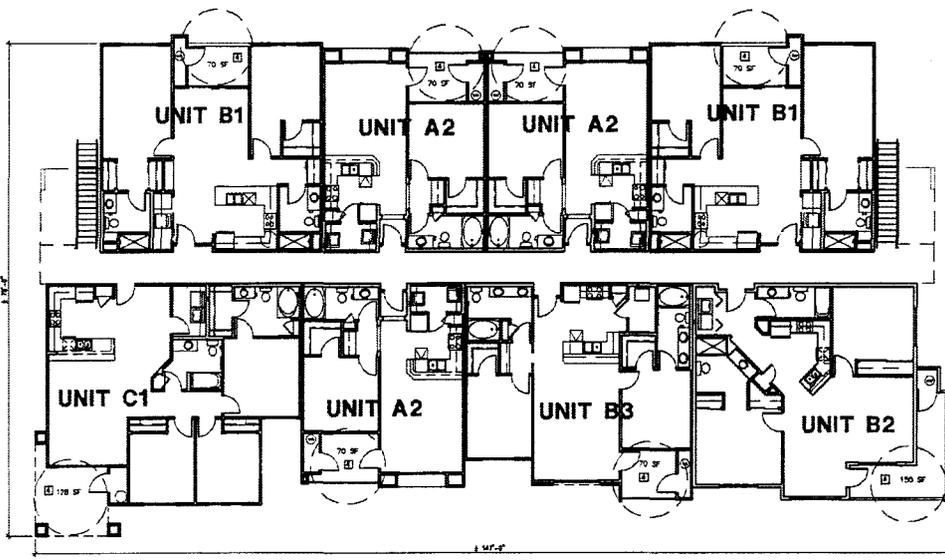


WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85226-7632
(602)265-1881



COPYRIGHT WHITNEYBELL PERRY INC
17 Dec 2013
**PRELIMINARY
BLDG 1 ELEVATION**

Contractor shall verify all dimensions of project before proceeding with the work. It is the contractor's responsibility to verify all dimensions and conditions of the project. The architect is not responsible for any errors or omissions in the drawings. The architect is not responsible for any conditions of the project that are not shown on the drawings. The architect is not responsible for any conditions of the project that are not shown on the drawings. © Copyright Whitley Bell Perry Inc. 2013



PRELIMINARY FIRST FLOOR PLAN
BUILDING TYPE 1 SCALE: 1/8" = 1'-0"

PROGRAM SQUARE FOOTAGE:	
ONE BEDROOM UNITS	
UNIT A2	±700 LIVEABLE SF
TWO BEDROOM UNITS	
UNIT B1	±1,096 LIVEABLE SF
UNIT B2	±1,130 LIVEABLE SF
UNIT B3	±1045 LIVEABLE SF
THREE BEDROOM UNIT	
UNIT C1	±1,286 LIVEABLE SF

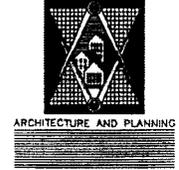
UNIT TOTALS - FIRST FLOOR:
ONE BEDROOM UNITS = 3 UNITS
TWO BEDROOM UNITS = 4 UNITS
THREE BEDROOM UNITS = 1 UNIT
TOTAL UNITS = 8 UNITS

ZONING REQUESTS
ZONING REQUEST TO ALLOW THE PRIVATE OPEN SPACES SUCH AS THE BALCONIES AND PATIOS TO NOT MEET THE 12' DIAMETER CIRCLE NOR THE 8' DIAMETER CIRCLE.
ALL ROOF ACCESS LADDERS WILL NEED TO BE INTERNAL TO THE BUILDING.

PALM COMMUNITIES
RAY RD. APARTMENTS
CHANDLER, ARIZONA

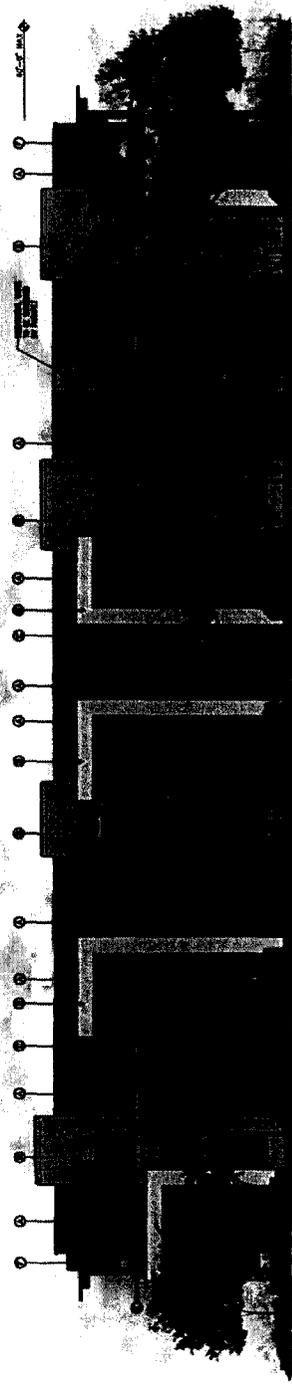
PRELIMINARY
DATE: 12/31/2013

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)285-1881



COPYRIGHT WHITNEYBELL PERRY INC
20 Dec 2013
PRELIMINARY
BLOG 1 FLOOR PLAN

A:\Projects\13-0000\13-0000-01\13-0000-01-01\13-0000-01-01-01\13-0000-01-01-01-01.dwg 12/31/2013 10:10:10 AM



PRELIMINARY SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NOTES

1. THESE ARE PRELIMINARY ELEVATIONS. SUBJECT TO CHANGE.
2. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL DETAILS.
3. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
4. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL OTHERS SHOWN SHALL BE LOCATED AND DIMENSIONS TO BE DETERMINED BY THE ARCHITECT.
6. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.

COLOR SCHEDULE

1. LIGHT BROWN STONE
2. LIGHT BROWN STONE
3. LIGHT BROWN STONE
4. LIGHT BROWN STONE
5. LIGHT BROWN STONE
6. LIGHT BROWN STONE
7. LIGHT BROWN STONE
8. LIGHT BROWN STONE
9. LIGHT BROWN STONE
10. LIGHT BROWN STONE



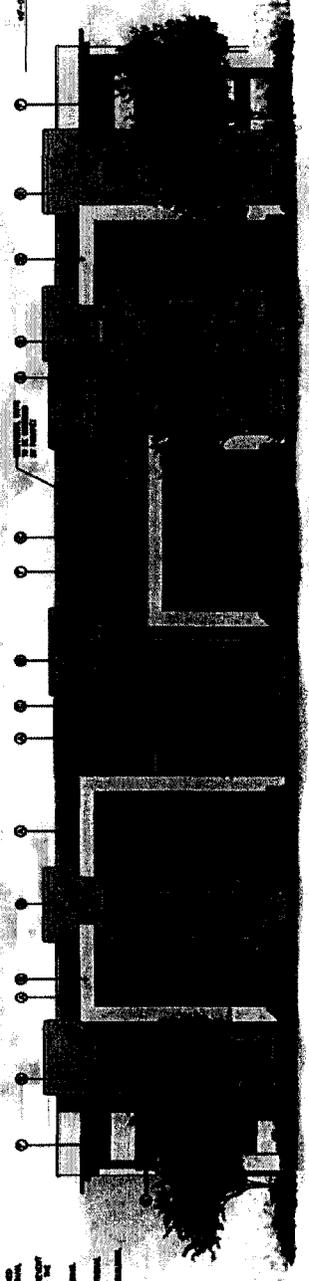
**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA



WINTERBELL PERRY INC
100 East Missouri Avenue
Phoenix, Arizona 85014-7784
55 West Chandler Avenue, Suite 101
Chandler, Arizona 85225-7532
(480) 982-1881



COPYRIGHT WINTERBELL PERRY INC
17 Dec 2013
PRELIMINARY
BLDG 2 ELEVATION



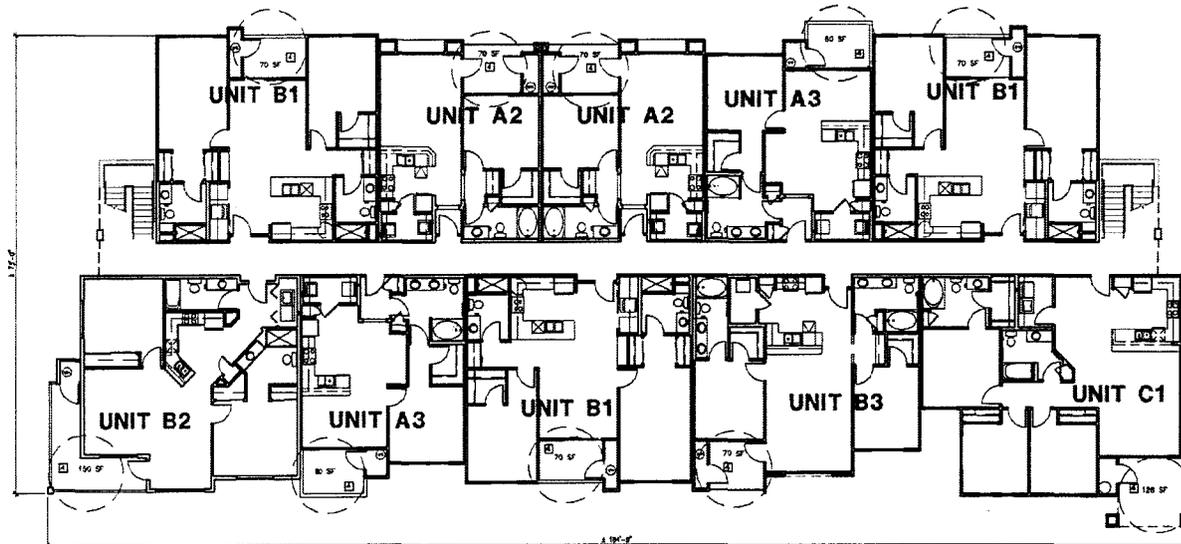
PRELIMINARY NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY EAST ELEVATION
SCALE: 1/8" = 1'-0"

Contractor shall verify all dimensions of project before proceeding with this plan. It is not intended that this plan be used for construction of any building. It is intended for use only for the purpose of obtaining a permit for the project. It is not intended to be used for any other purpose. It is not intended to be used for any other purpose. It is not intended to be used for any other purpose.



PRELIMINARY FIRST FLOOR PLAN
 BUILDING TYPE 2 SCALE: 1/4" = 1'-0"

PROGRAM SQUARE FOOTAGE:	
ONE BEDROOM UNITS	
UNIT A2	±700 LIVEABLE SF
UNIT A3	±766 LIVEABLE SF
TWO BEDROOM UNITS	
UNIT B1	±1,096 LIVEABLE SF
UNIT B2	±1,130 LIVEABLE SF
UNIT B3	±1,045 LIVEABLE SF
THREE BEDROOM UNIT	
UNIT C1	±1,286 LIVEABLE SF

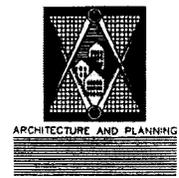
UNIT TOTALS - FIRST FLOOR:
ONE BEDROOM UNITS = 4 UNITS
TWO BEDROOM UNITS = 5 UNITS
THREE BEDROOM UNITS = 1 UNIT
TOTAL UNITS = 10 UNITS

ZONING REQUESTS
 ZONING REQUEST TO ALLOW THE PRIVATE OPEN SPACES BELOW AS THE BALCONIES AND PATIOS TO NOT MEET THE 12' DIAMETER CIRCLE NOR THE 8' DIAMETER CIRCLE.
 ALL ROOF ACCESS LADDERS WILL NEED TO BE INTERNAL TO THE BUILDING.

PALM COMMUNITIES
RAY RD. APARTMENTS
 CHANDLER, ARIZONA

PRELIMINARY
 LAYOUT 12/21/2013

WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602)265-1881



COPYRIGHT WHITNEYBELL PERRY INC
 20 Dec 2013
PRELIMINARY BLDG 2 FLOOR PLAN

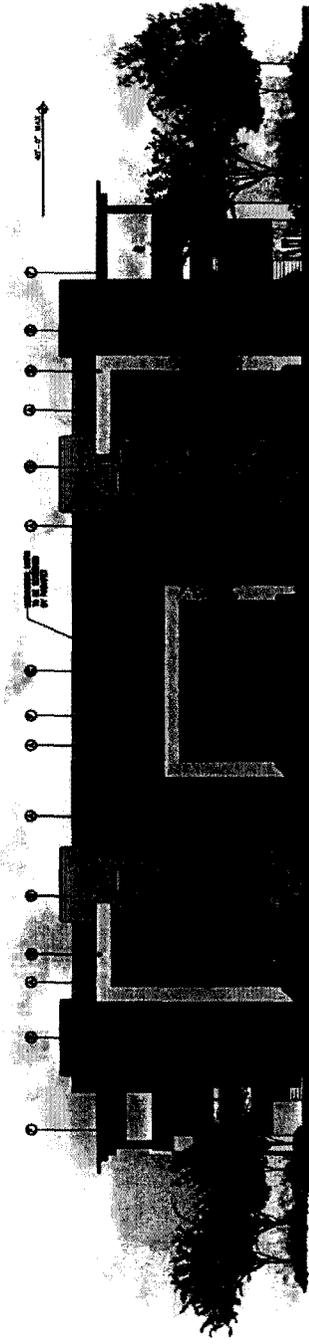
12/21/13 - Ray Rd. Apt. Bldg. 2 - 1st Floor - Preliminary - 10 Units - 10/21/13

NOTES

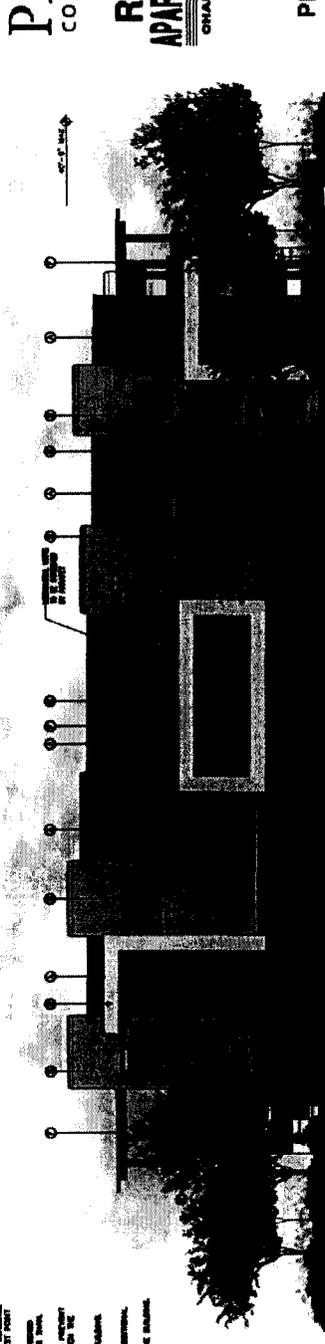
- 1. THESE ARE PRELIMINARY ELEVATIONS SUBJECT TO CHANGE FOR PERMITS, CONTRACTS, AND OWNER'S REQUIREMENTS.
- 2. MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT AT THE TIME OF PERMITS AND CONTRACTING.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

COLOR SCHEDULE

- A. EXTERIOR WALLS (SEE SCHEDULE)
- B. EXTERIOR WALLS (SEE SCHEDULE)
- C. EXTERIOR WALLS (SEE SCHEDULE)
- D. EXTERIOR WALLS (SEE SCHEDULE)
- E. EXTERIOR WALLS (SEE SCHEDULE)
- F. EXTERIOR WALLS (SEE SCHEDULE)
- G. EXTERIOR WALLS (SEE SCHEDULE)
- H. EXTERIOR WALLS (SEE SCHEDULE)
- I. EXTERIOR WALLS (SEE SCHEDULE)
- J. EXTERIOR WALLS (SEE SCHEDULE)



PRELIMINARY SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY EAST ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY WEST ELEVATION
SCALE: 1/8" = 1'-0"



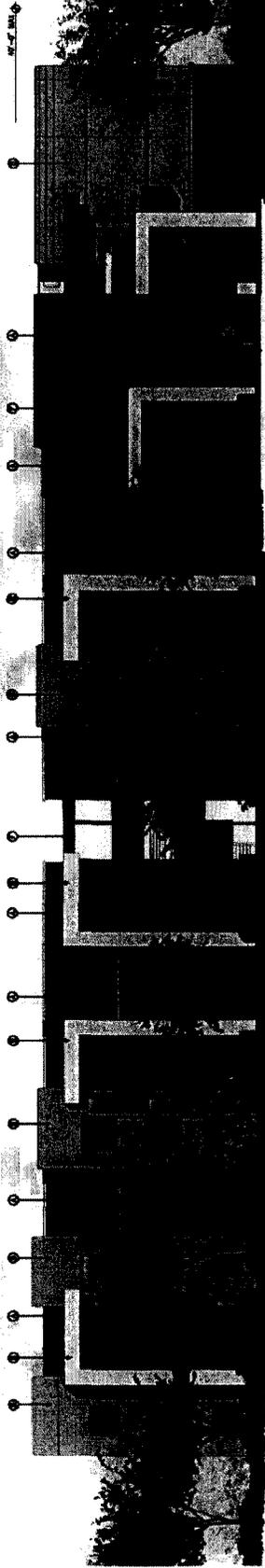
**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA



WHITWELL PERRY INC.
1102 East McDowell
Phoenix, Arizona 85014-2704
93 West Chandler Avenue, Suite 100
Chandler, Arizona 85225-7332
(480) 798-1891



ARCHITECTURE AND PLANNING
17 West 8th Street
Phoenix, Arizona 85001
PRELIMINARY
BLDG 3 ELEVATIONS



PRELIMINARY EAST ELEVATION
SCALE 1/4\"/>

PALM COMMUNITIES RAY RD. APARTMENT HOMES

PHOENIX, ARIZONA

COLOR SCHEDULE

- 1. LIGHT GRAY
- 2. DARK GRAY
- 3. WHITE
- 4. DARK BROWN
- 5. LIGHT BROWN
- 6. DARK GREEN
- 7. LIGHT GREEN
- 8. DARK BLUE
- 9. LIGHT BLUE
- 10. DARK RED
- 11. LIGHT RED
- 12. DARK PURPLE
- 13. LIGHT PURPLE
- 14. DARK YELLOW
- 15. LIGHT YELLOW



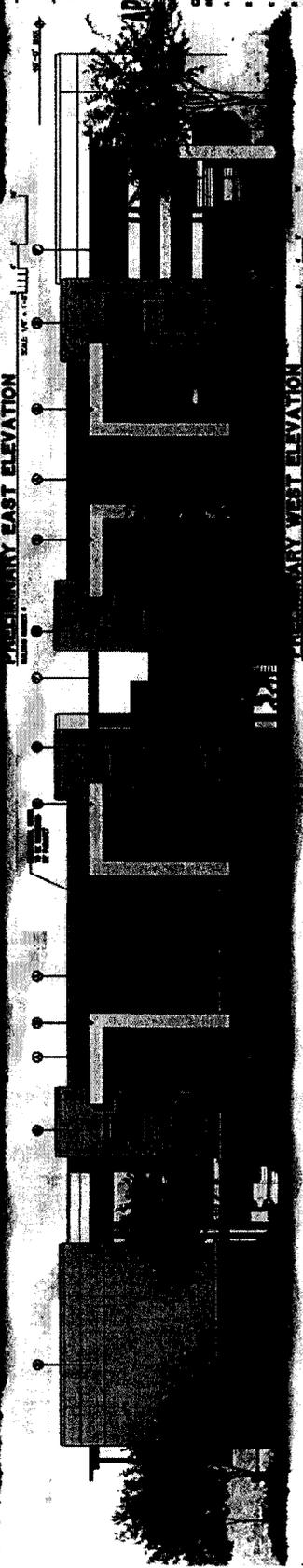
STIMMELL PERRY INC
1102 East Belmont Avenue
Phoenix, Arizona 85014-7091
20 West Camelback Road, Suite 100
Phoenix, Arizona 85017-7522
PHOENIX, ARIZONA



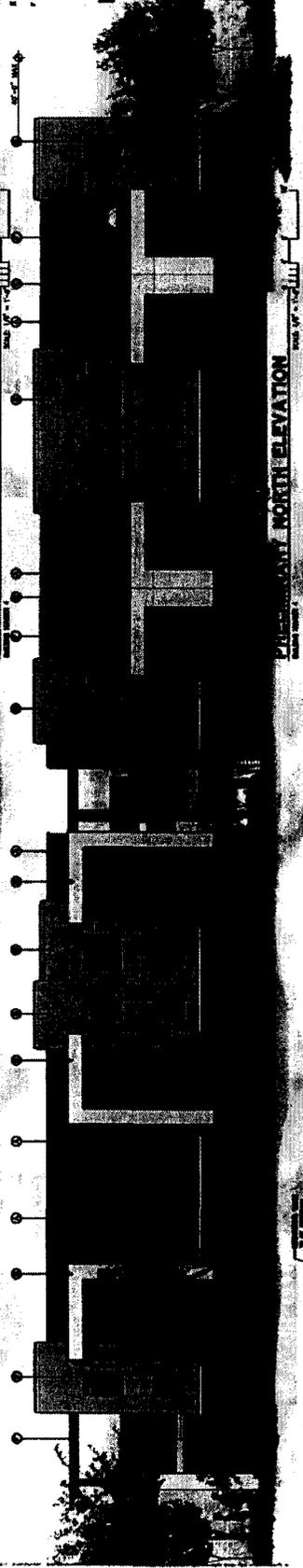
ARCHITECTURE AND PLANNING

STIMMELL PERRY INC
17th Ave. SW
PHOENIX, ARIZONA

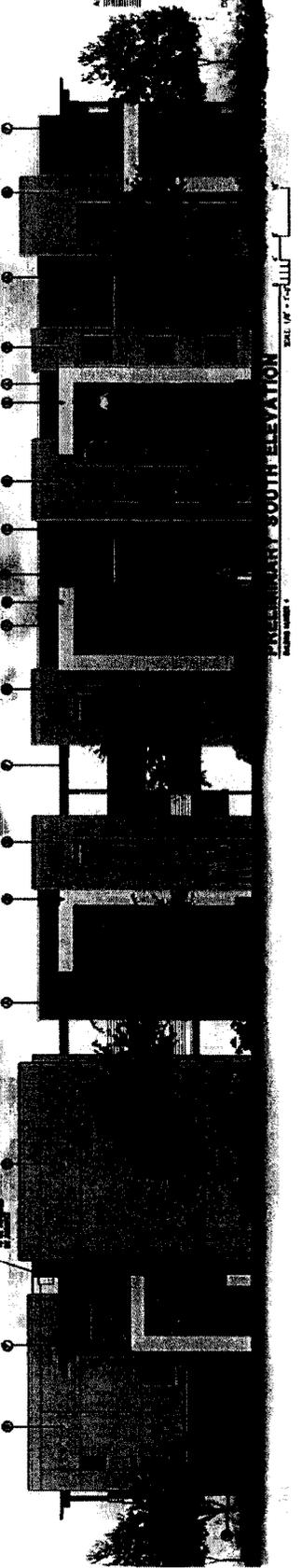
BLDG 4 ELEVATIONS



PRELIMINARY WEST ELEVATION
SCALE 1/4\"/>



PRELIMINARY NORTH ELEVATION
SCALE 1/4\"/>



PRELIMINARY SOUTH ELEVATION
SCALE 1/4\"/>



RAY RD. APARTMENT HOMES

CHANDLER, ARIZONA

OWNER: SCHEDULE

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

SCALE: 1/8" = 1'-0"

DATE: 10/1/03

PROJECT: RAY RD. APARTMENT HOMES

ARCHITECT: WHITEWELL PERRY INC.

WHITEWELL PERRY INC.
1102 East McDowell Avenue
Phoenix, Arizona 85014-7704
US 944 Duane Road, Ste 103
Chandler, Arizona 85225-7230
(602)995-1881

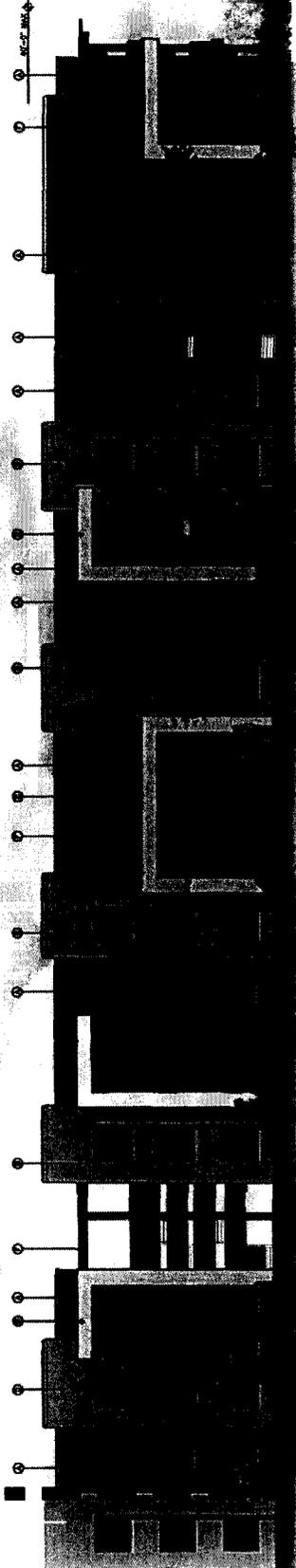


ARCHITECTURE AND PLANNING

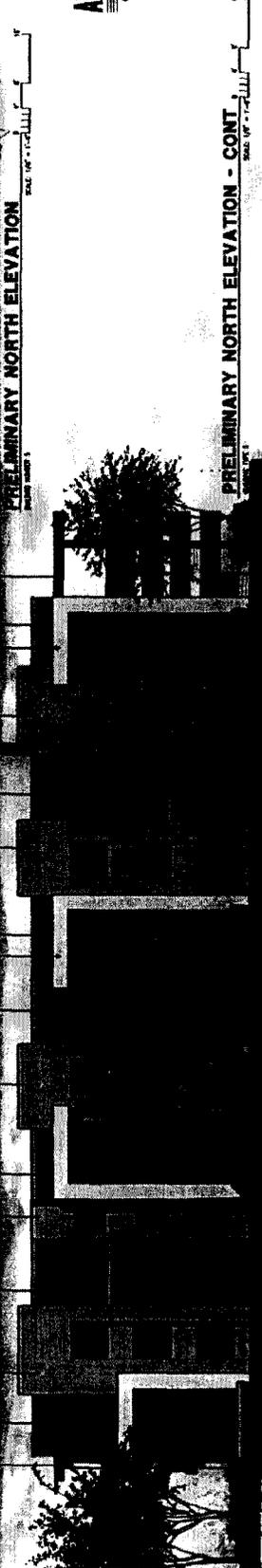
COPYRIGHT WHITEWELL PERRY INC.
20 044 2013

PRELIMINARY

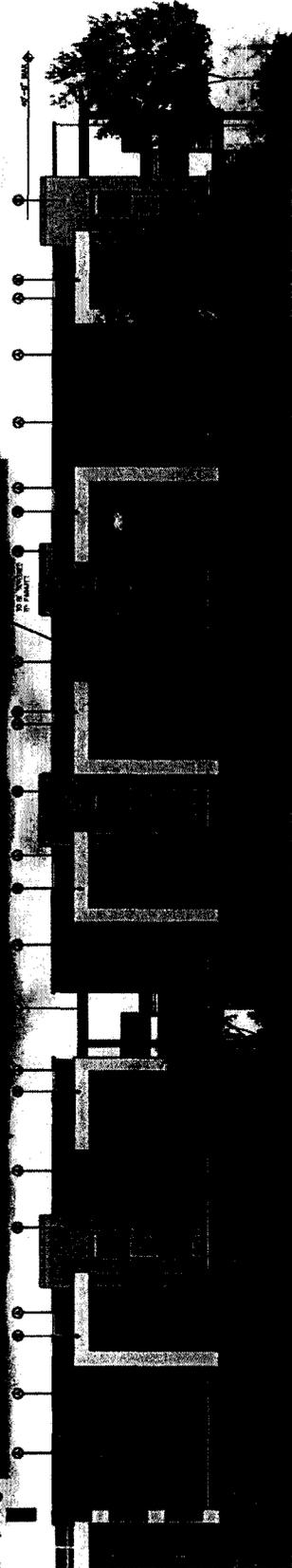
BLDG 6 ELEVATIONS



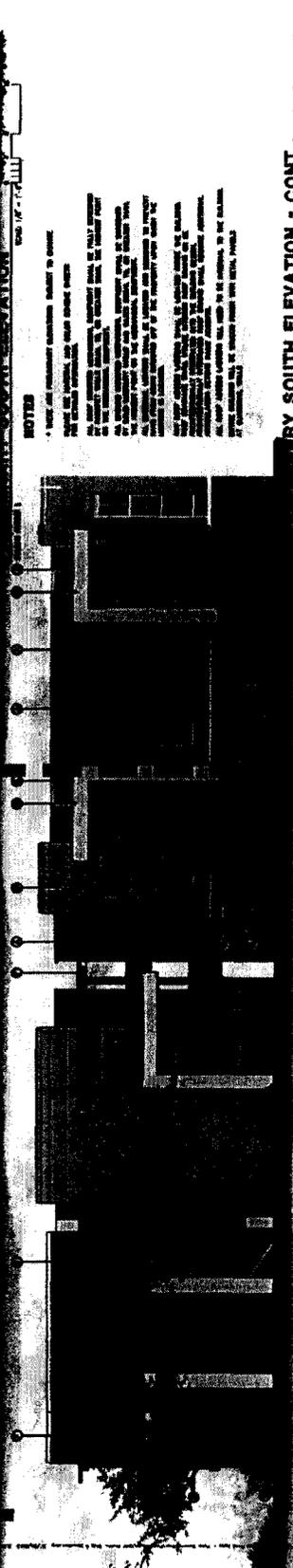
PRELIMINARY NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY NORTH ELEVATION - CONT.
SCALE: 1/8" = 1'-0"



PRELIMINARY SOUTH ELEVATION - CONT.
SCALE: 1/8" = 1'-0"



PRELIMINARY SOUTH ELEVATION - CONT.
SCALE: 1/8" = 1'-0"

NOTES
1. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
2. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
3. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
4. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
5. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
6. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
7. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
8. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
9. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.
10. THIS IS A PRELIMINARY ELEVATION SUBJECT TO CHANGE.

Copyright © 2013, Whitebrell Perry Inc. All rights reserved. This drawing is the property of Whitebrell Perry Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Whitebrell Perry Inc.



**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA



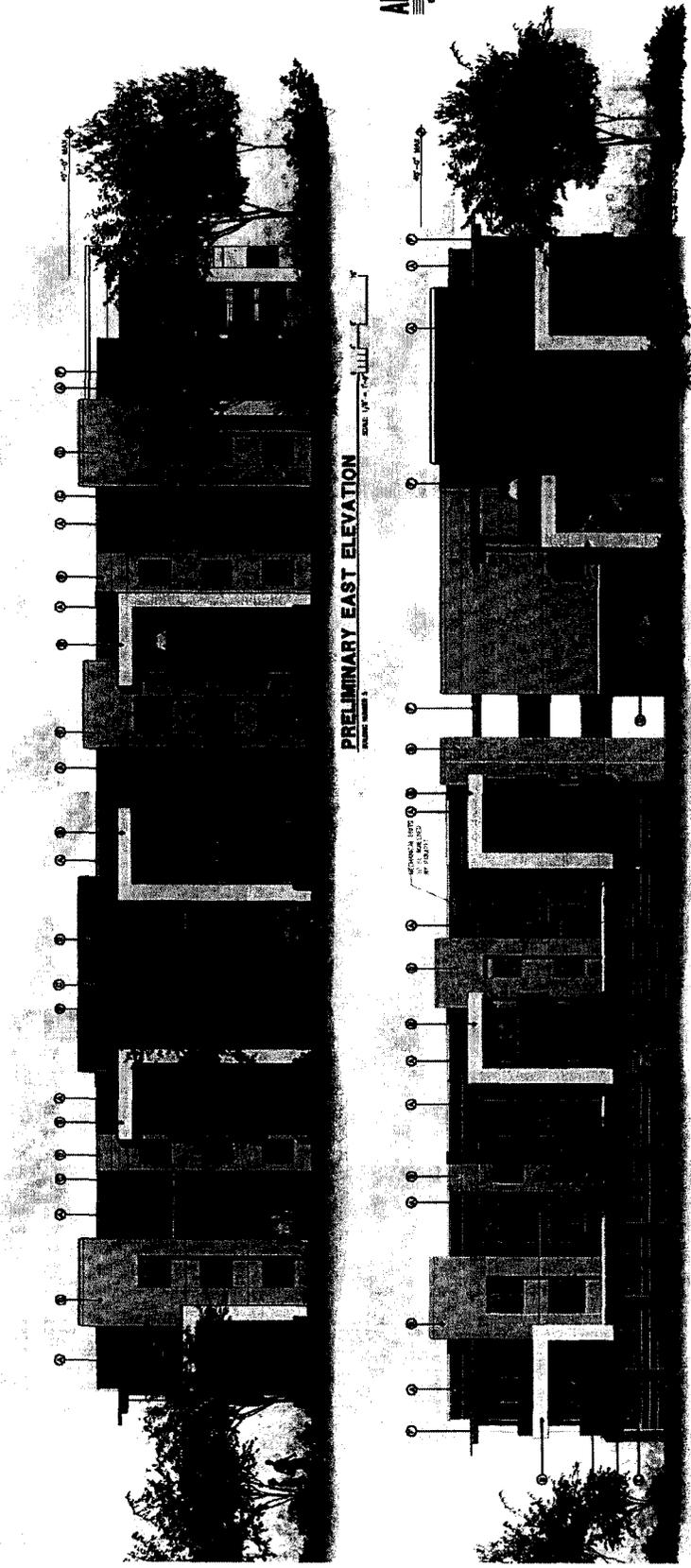
WHITBRELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2794
55 West Chandler Avenue, Suite 113
Chandler, Arizona 85225-7202
(480)785-1881



ARCHITECTURE AND PLANNING

COPYRIGHT WHITEBRELL PERRY INC
20 DEC 2013

PRELIMINARY
BLDG 8 ELEVATIONS



PRELIMINARY EAST ELEVATION
SCALE: 1/8" = 1'-0"

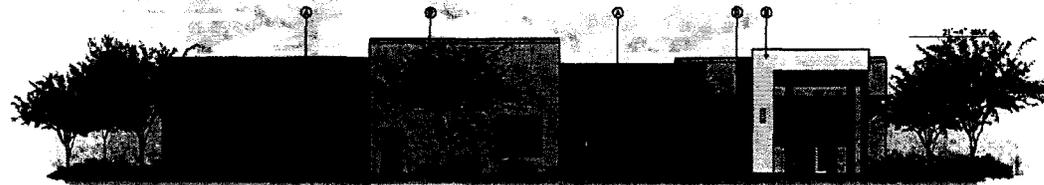
PRELIMINARY WEST ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE

- 1. LIGHT GRAY (WALLS)
- 2. LIGHT BROWN (WALLS)
- 3. LIGHT BLUE (WALLS)
- 4. LIGHT GREEN (WALLS)
- 5. LIGHT PURPLE (WALLS)
- 6. LIGHT PINK (WALLS)
- 7. LIGHT ORANGE (WALLS)
- 8. LIGHT YELLOW (WALLS)
- 9. LIGHT RED (WALLS)
- 10. LIGHT BLACK (WALLS)

NOTES

- 1. THESE ARE PRELIMINARY ELEVATIONS. SUBJECT TO CHANGE.
- 2. PLEASE SEE MATERIAL AND COLOR SCHEDULE SHEETS FOR REVISED INFORMATION.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL, ELECTRICAL, AND PLUMBING CODE.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL FIRE AND ALARM CODE.
- 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE.
- 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL SMOKE AND SMOKE-CONTROL CODE.
- 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL SAFETY CODE FOR CONSTRUCTION OCCUPANCY AND MAINTENANCE OF BUILDINGS.
- 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).
- 20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CODE OF UNIFORM BUILDING OFFICIALS (UBO).



PRELIMINARY SOUTH ELEVATION

CLUBHOUSE/PTHEAT

SCALE: 1/8" = 1'-0"



PRELIMINARY NORTH ELEVATION

CLUBHOUSE/PTHEAT

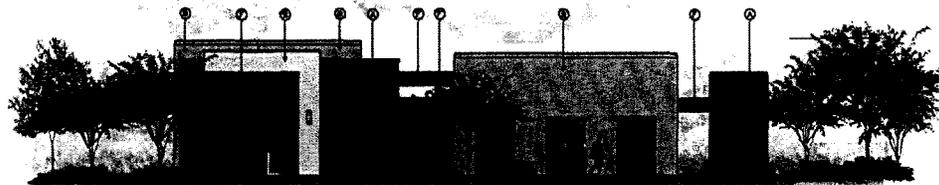
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE

- A MAIN EXTERIOR WALLS
DARK ESPRESSO SOFT LEATHER (DE2204)
- B ACCENT BODY COLOR
DARK ESPRESSO LIGHT BONE (DE2214)
- C ACCENT BODY COLOR 2
DARK ESPRESSO BROWN PLAINS (DE2114)
- D MAIN EXTERIOR WALLS
DARK ESPRESSO FLOATING FEATHER (DE2142)
- E ACCENT 1
DARK ESPRESSO BARKED STONE (DE2204)
- F ACCENT 2
DARK ESPRESSO DEER CHEST (DE2112)

NOTES

- THESE ARE PRELIMINARY ELEVATIONS. SUBJECT TO CHANGE.
- PLEASE SEE MATERIAL AND COLOR SAMPLE SHEETS FOR DETAILED INFORMATION.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
- ALL EXTERIOR MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MOUNTED WALLS AND GATED SIGNAL TO, OR GREATER THAN, THE HIGHEST POINT OF THE MECHANICAL EQUIPMENT.
- ALL EXTERIOR LIGHTS SHALL BE LOCATED AND SCREENED TO PREVENT GLARE FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.
- ROOF MOUNTED AIR CONDITIONING SHALL BE LOCATED ABOVE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS TO BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING EXTERIOR. ARCHITECTURALLY INTEGRATED ROOF DRAIN SPINDS, TYPICALLY ANTI-CORROSION METAL FINISH ACCEPTABLE.
- ALL ROOF ACCESS LIGHTING WILL NEED TO BE INTEGRATED TO THE BUILDING. EXTERIOR BUILDINGS WILL BE CROSSLIGHT FINISH WITH METAL PANELS AT CORNERAL WALLS.



PRELIMINARY EAST ELEVATION

CLUBHOUSE/PTHEAT

SCALE: 1/8" = 1'-0"



PRELIMINARY WEST ELEVATION

CLUBHOUSE/PTHEAT

SCALE: 1/8" = 1'-0"



**RAY RD.
APARTMENT HOMES**
CHANDLER, ARIZONA



WHITNEYBELL ARCHITECTS INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
(602)265-1881



COPYRIGHT WHITNEYBELL ARCHITECTS INC
**PRELIMINARY
CLUBHOUSE ELEVATIONS**

