



Chandler · Arizona
Where Values Make The Difference



MEMORANDUM

Planning Division - CC Memo No. 14-089

DATE: SEPTEMBER 11, 2014

TO: MAYOR AND COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
MARSHA REED, ASSISTANT CITY MANAGER *MR*
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: SUSAN FIALA, CITY PLANNER *SF*

SUBJECT: APL14-0008 DOBSON/GERMANN AREA PLAN AMENDMENT/DVR13-0030/PPT13-0019 CANOPY LANE
Adoption of Resolution No. 4792
Introduction and Tentative Adoption of Ordinance No. 4554

Request: Amendment to the Dobson/Germann Area Plan from Low Density Residential to Medium Density Residential. Rezoning from Planned Area Development for office to Planned Area Development for single-family residential, with Preliminary Development Plan and Preliminary Plat approval for subdivision layout and housing product

Location: North of the northwest corner of Dobson and Germann roads

Applicant: Sandra Welty, SW Land Services on behalf of Keystone Homes

RECOMMENDATION

Planning Commission and Planning Staff, upon finding the request to be consistent with the General Plan, recommend approval subject to conditions.

BACKGROUND

The subject site is approximately 2.5 acres located north of the northwest corner of Dobson and Germann roads. The long and narrow infill property is bordered on the east by Dobson Road, an agricultural zoned parcel on the south, Hope Covenant Church on the north, and Arroyo Drive on the west. Germann Country Estates single-family residential subdivision is to the west and south. The site was zoned in 2008 for an office condominium project for which construction never commenced.

AREA PLAN AMENDMENT

The Dobson/Germann Area Plan designates the site as Low Density Residential with a 10,000 square foot minimum lot size. The request is to amend the Area Plan with the designation of Medium Density Residential for 3.5 to 12 dwelling units per acre (du/acre). The proposed density of the 15-lot subdivision is 6.6 du/acre.

The requested amendment provides for a solution consistent and compatible with single-family residential developments in the surrounding area and provides a transition from the church property to the large agricultural zoned property.

SUBDIVISION

Canopy Lane is a 15 lot, non-gated single-family subdivision. The minimum lot area is 3,252 sq. ft. with lot sizes of approximately 52 ft. by 64 ft. for Lots 1 through 10, 72 ft. by 64 ft. for Lots 11 through 15. The requested setbacks are 10 ft. for the front yard; 5 ft. for the side yards, creating a 10 ft. Use Benefit Easement on one side of each home, and 10 ft. for the rear yard.

On-Street parking is permitted on the north side only. Signs designating “no parking” are required to be installed where parking is prohibited.

The Residential Development Standards (RDS) are intended to address and create diversity within residential subdivisions. This site is considered an infill property, however, the proposal incorporates many of the required and optional Subdivision Diversity Elements. Additional information on how the project complies is described in the attached Development Booklet.

ARCHITECTURE

The housing product features one, single story plan and two, two-story plans. Three architectural styles are proposed. The two-story housing products include significant use of architectural treatments, including Juliet Balconies, and single story elements to break up the massing. Building square footages range from 1,968 to 2,321 sq. ft. Additional details for the housing product can be found within the attached Development Booklet.

As an outcome of neighborhood concerns and working with the property owner of the large ranchette located to the immediate south, the applicant proposes to restrict Lots 11 through 15 to single story homes. Conditions of approval are included to address this restriction, yet ensure the expected diversity.

DISCUSSION

Planning Staff supports the request. The proposal is a viable solution to a small, infill site, providing an alternative subdivision layout and housing product for empty nesters and homeowners who do not want a large yard to maintain. This type of infill project maximizes a property’s viability, but maintains compatibility with the existing adjacent uses through the high quality building architecture and attention to lot layout.

PUBLIC / NEIGHBORHOOD NOTIFICATION

- This request was noticed according to the provisions of the City of Chandler Zoning Code.

- A neighborhood meeting was held on October 7, 2013. Four property owners attended and inquired about lot size, housing design, number of stories, traffic, and parking.
- The applicant mailed out a second neighborhood letter on June 25, 2014, to inform the property owners of the revised site layout, reduced number of lots, and addition of a single story plan.
- Planning Staff received two phone calls from the same property to state their opposition to the request. The concerns relate to lot sizes, traffic, and the incompatibility with existing large lot residential development.

PLANNING COMMISSION VOTE REPORT

Motion to Approve:

In Favor: 6 Opposed: 0 Absent: 1 (Ryan)

RECOMMENDED ACTIONS

Area Plan

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of APL14-0008 DOBSON/GERMANN AREA PLAN AMENDMENT, Area Plan amendment from Low Density Residential to Medium Density Residential.

Rezoning

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of the Rezoning from Planned Area Development for office to Planned Area Development for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Canopy Lane", kept on file in the City of Chandler Planning Division, in File No. DVR13-0030, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.

5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
7. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Commission and Planning Staff, upon finding consistency with the General Plan, recommend approval of the Preliminary Development Plan request, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, the Development Booklet, entitled "Canopy Lane", kept on file in the City of Chandler Planning Services Division, in File No. DVR13-0030, except as modified by condition herein.
2. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Planning Administrator for arterial street median landscaping.
3. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
4. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner.
5. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
6. Lots 11 through 15 shall be constructed with single story homes only.

7. The same elevation shall not be built side-by-side or directly across the street from one another.
8. "No Parking" signs shall be installed where parking is prohibited and in accordance with Fire Department regulations.

Preliminary Plat

Planning Commission and Planning Staff recommend approval of the Preliminary Plat, PPT13-0019 CANOPY LANE, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Area Plan

Move to adopt Resolution No. 4792 and approve APL14-0008 DOBSON/GERMANN AREA PLAN AMENDMENT, Area Plan amendment from Low Density Residential to Medium Density Residential, as recommended by Planning Commission and Planning Staff.

Rezoning

Move to introduce and tentatively adopt Ordinance No. 4554 and approve DVR13-0030 CANOPY LANE, rezoning from Planned Area Development for office to Planned Area Development for single-family residential, subject to the conditions as recommended by Planning Commission and Planning Staff.

Preliminary Development Plan

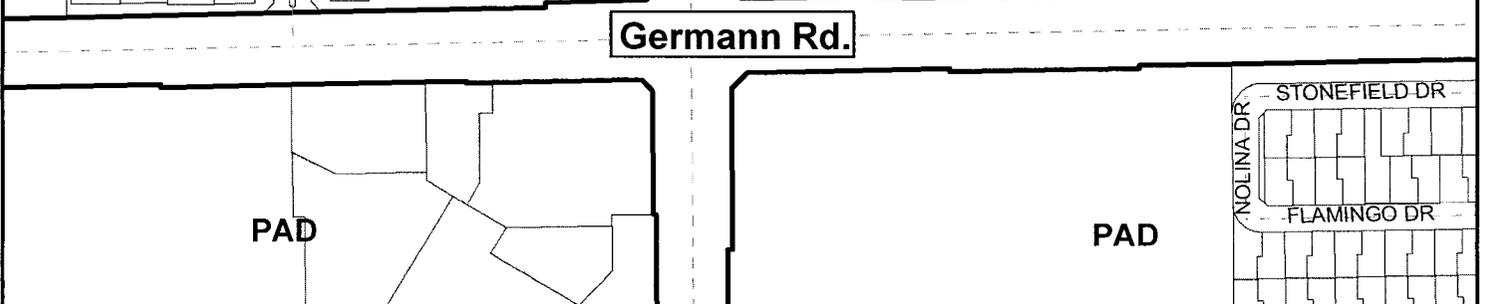
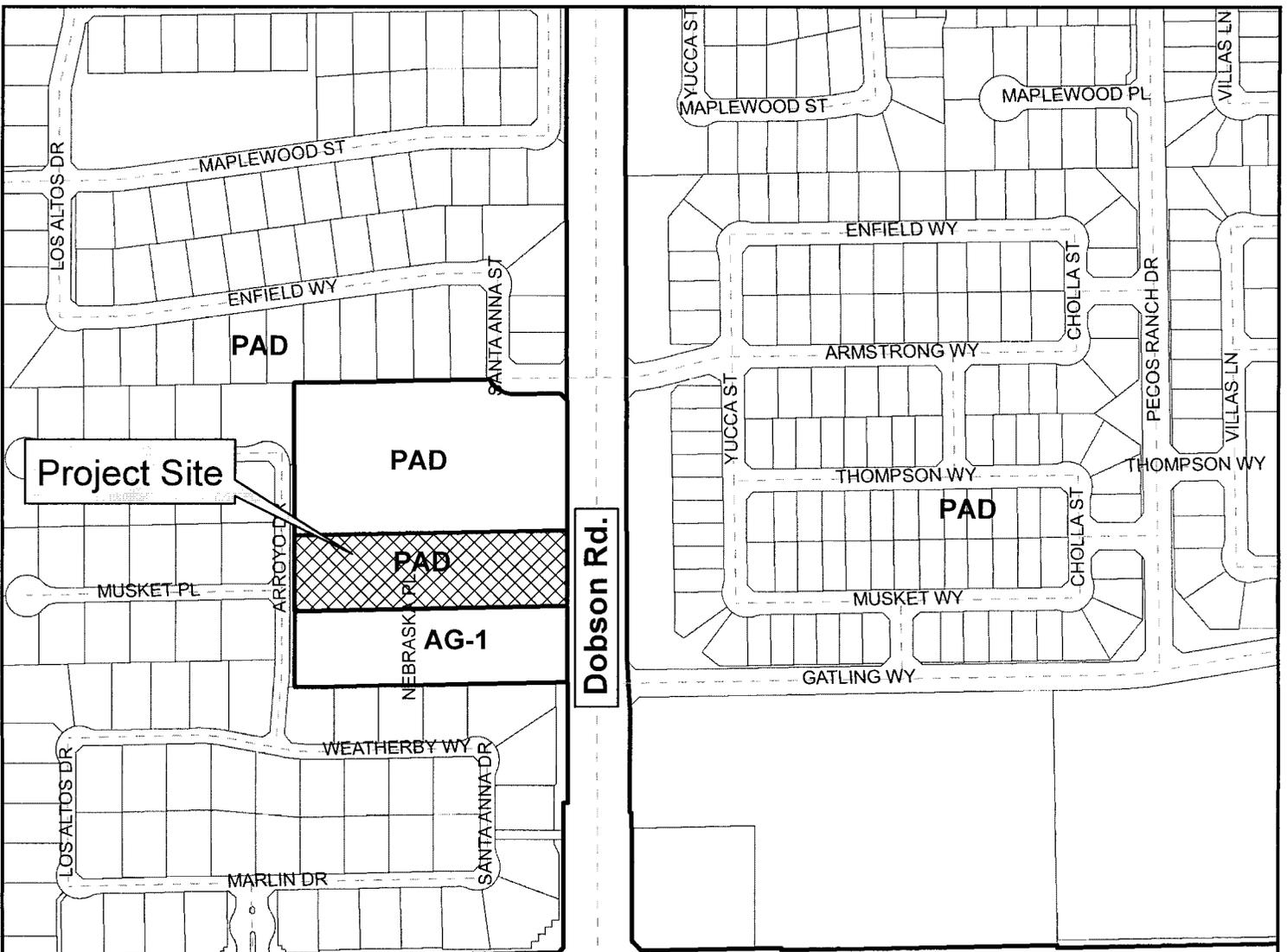
Move to approve DVR13-0030 CANOPY LANE, Preliminary Development Plan for subdivision layout and housing product, subject to the conditions as recommended by Planning Commission and Planning Staff.

Preliminary Plat

Move to approve PPT13-0019 CANOPY LANE, Preliminary Plat, subject to the condition as recommended by Planning Commission and Planning Staff.

Attachments

1. Vicinity Maps
2. Area Plan Map
3. Site Plan
4. Landscape Plan
5. Housing Product
6. Preliminary Plat
7. Resolution No. 4792
8. Ordinance No. 4554
9. Exhibit A, Development Booklet



Vicinity Map

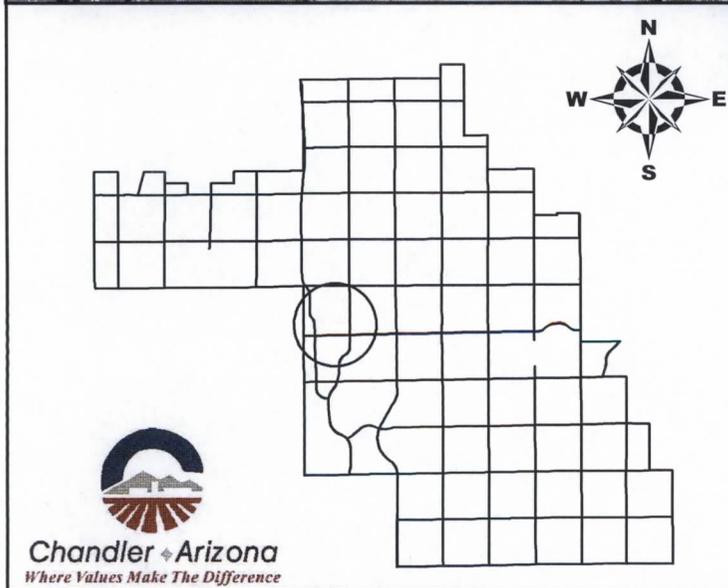
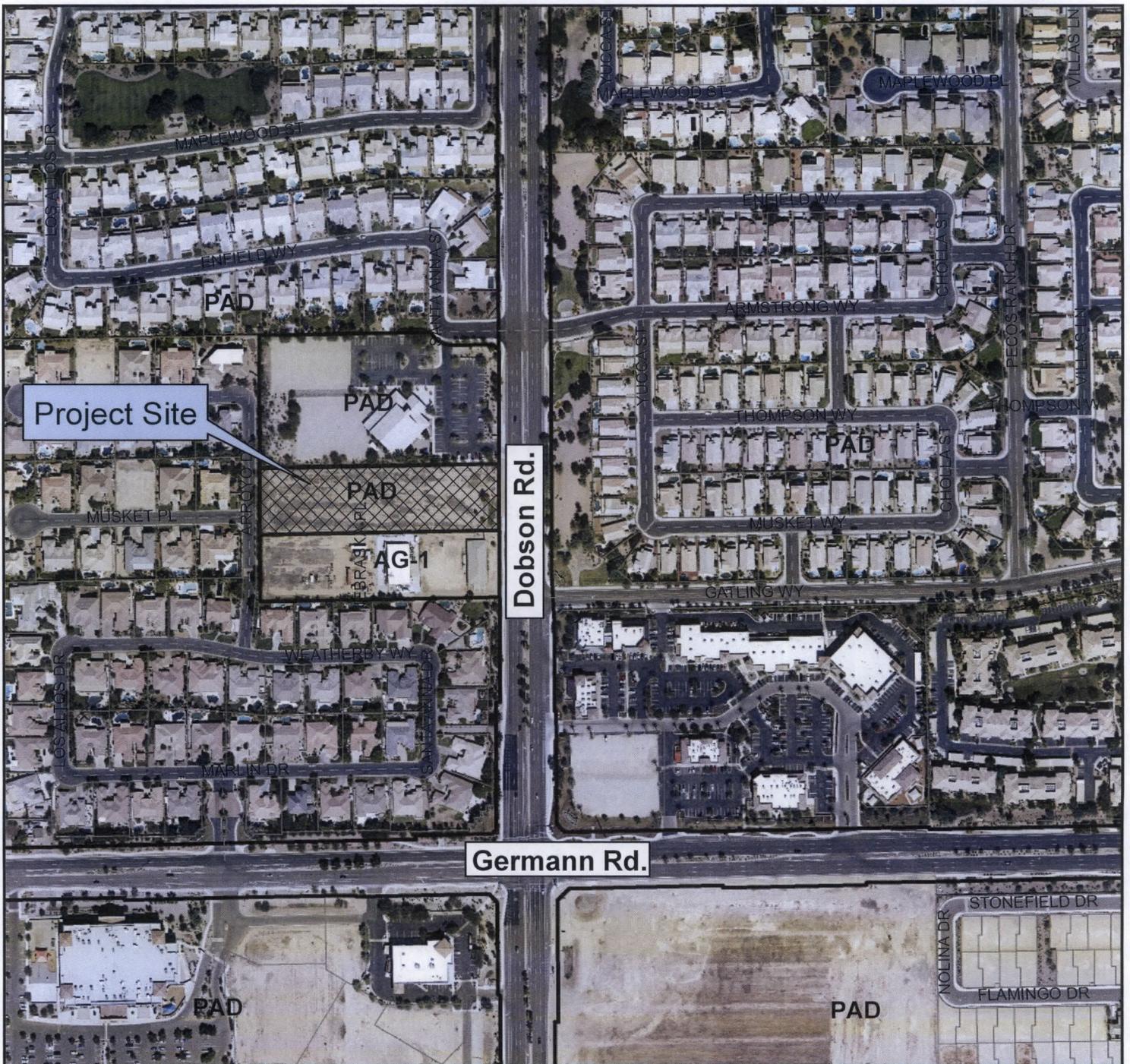


DVR13-0030

Canopy Lane



Chandler ♦ Arizona
Where Values Make The Difference



Vicinity Map

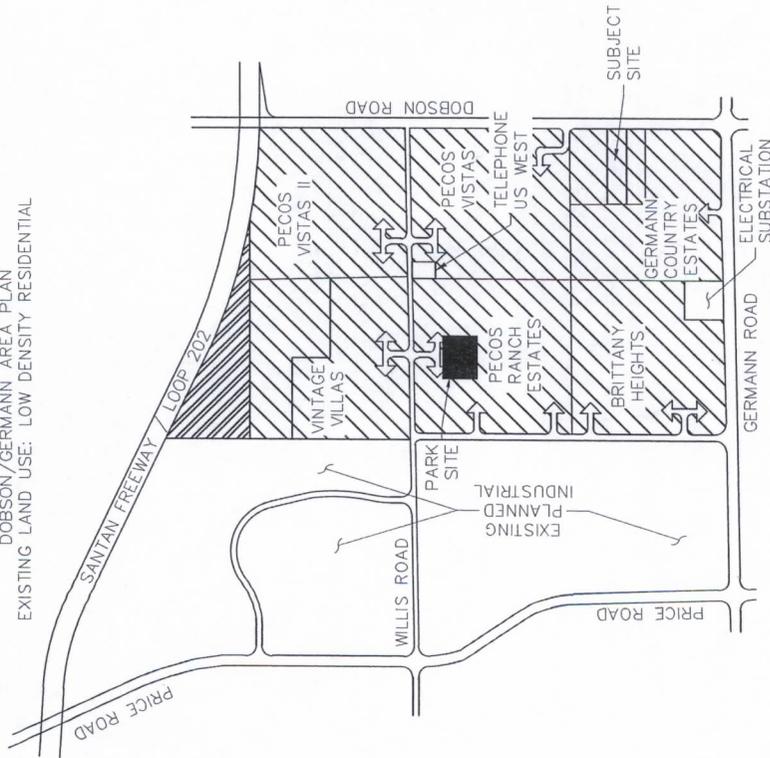


DVR13-0030

Canopy Lane

EXISTING

DOBSON/GERMANN AREA PLAN
EXISTING LAND USE: LOW DENSITY RESIDENTIAL



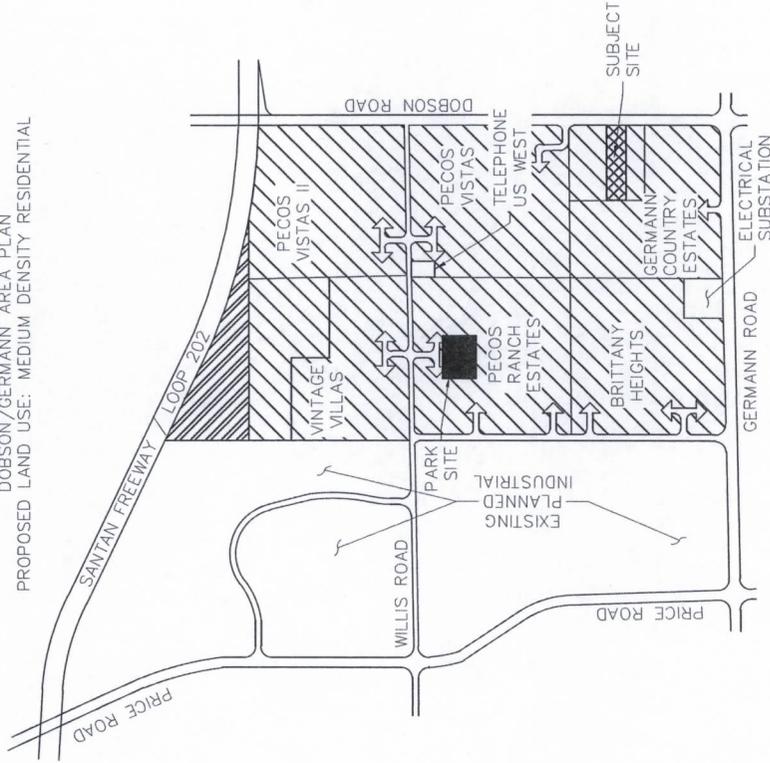
RESIDENTIAL - 10,000 SQ.FT. MINIMUM LOT SIZES. LOW DENSITY RESIDENTIAL, BY POLICY, INSTITUTIONAL USES (CHURCH AND DAY CARE), OFFICES MAY BE CONSIDERED THROUGH A PAD ZONING REQUEST.

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- OFFICE/BUSINESS PARK
- LOCAL STREET VEHICULAR ACCESS TO RESIDENTIAL DEVELOPMENT
- COLLECTOR STREET

PROPOSED

DOBSON/GERMANN AREA PLAN
PROPOSED LAND USE: MEDIUM DENSITY RESIDENTIAL



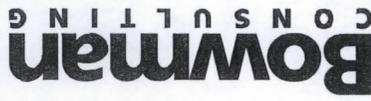
RESIDENTIAL - 10,000 SQ.FT. MINIMUM LOT SIZES. LOW DENSITY RESIDENTIAL, BY POLICY, INSTITUTIONAL USES (CHURCH AND DAY CARE), OFFICES MAY BE CONSIDERED THROUGH A PAD ZONING REQUEST.

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- MEDIUM DENSITY RESIDENTIAL (3.5 - 12 DU/ACRE)
- OFFICE/BUSINESS PARK
- LOCAL STREET VEHICULAR ACCESS TO RESIDENTIAL DEVELOPMENT
- COLLECTOR STREET

CANOPY LANE
CHANDLER, ARIZONA
PROPOSED AREA PLAN

3010 South Priest Drive Ste 103
Tempe, Arizona 85282
Phone: (480) 629-8830
www.bowmanconsulting.com



JOB # 9688
DATE SEPT 2013
SCALE N.T.S.
DRAWN SUG
SHT 1 OF 1

Landscape Palette

Plant Name	Size	Qty	Plant Name	Size	Qty
1. Blackberry	36" Box	9	1. Blackberry	36" Box	9
2. Blackberry	36" Box	23	2. Blackberry	36" Box	23
3. Blackberry	36" Box	5	3. Blackberry	36" Box	5
4. Blackberry	36" Box	8	4. Blackberry	36" Box	8
5. Blackberry	11 Gal	13	5. Blackberry	11 Gal	13
6. Blackberry	5 Gal	3	6. Blackberry	5 Gal	3
7. Blackberry	5 Gal	44	7. Blackberry	5 Gal	44
8. Blackberry	5 Gal	55	8. Blackberry	5 Gal	55
9. Blackberry	5 Gal	9	9. Blackberry	5 Gal	9
10. Blackberry	5 Gal	37	10. Blackberry	5 Gal	37

Keyed Notes

1. All items shall be planted at a minimum of 8' from
2. All items shall be planted at a minimum of 8' from
3. All items shall be planted at a minimum of 8' from
4. All items shall be planted at a minimum of 8' from
5. All items shall be planted at a minimum of 8' from
6. All items shall be planted at a minimum of 8' from
7. All items shall be planted at a minimum of 8' from
8. All items shall be planted at a minimum of 8' from

Gen. Landscape Notes

1. All items shall be planted at a minimum of 8' from
2. All items shall be planted at a minimum of 8' from
3. All items shall be planted at a minimum of 8' from
4. All items shall be planted at a minimum of 8' from
5. All items shall be planted at a minimum of 8' from
6. All items shall be planted at a minimum of 8' from
7. All items shall be planted at a minimum of 8' from
8. All items shall be planted at a minimum of 8' from

Site Equipment

- 1. Bench Mark
- 2. Easement
- 3. Easement
- 4. Easement
- 5. Easement
- 6. Easement
- 7. Easement
- 8. Easement

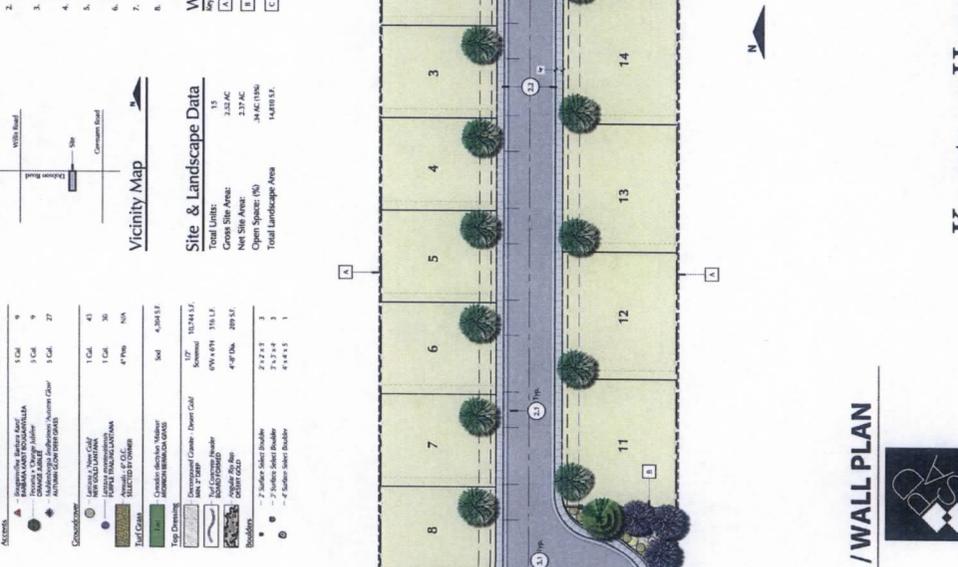
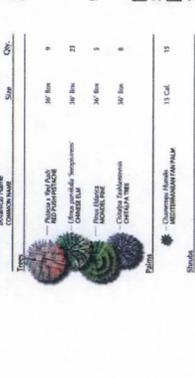
Wall Legend

- 1. Existing 6" Tall Wall
- 2. New 6" Tall Wall
- 3. Existing 4" Tall Wall
- 4. New 4" Tall Wall
- 5. Existing 2" Tall Wall
- 6. New 2" Tall Wall
- 7. Existing 1" Tall Wall
- 8. New 1" Tall Wall

Site & Landscape Data

Total Lot Area:	15
Gross Site Area:	3,52 AC
Net Site Area:	2,37 AC
Open Space: (ft)	34 AC (1156)
Total Landscape Area:	14,815 S.F.

Vicinity Map



PRELIMINARY LANDSCAPE PLAN / WALL PLAN

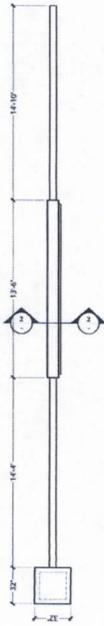


ISSUED: 03/20/14

Keystone Homes CANOPY LANE

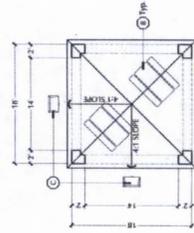
Chandler, Arizona

POSA DESIGN GROUP



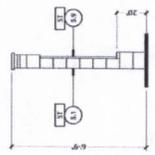
1 Entry Monument Plan View

SCALE: 1/8"=1'-0"



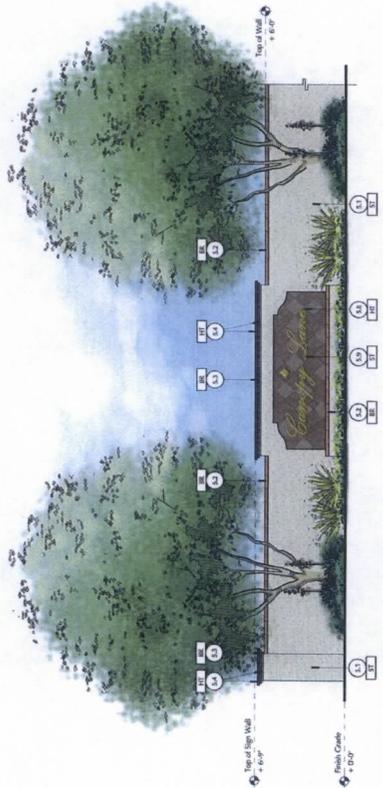
4 18' Sq. Ramada Plan View

SCALE: 1/8"=1'-0"



2 Entry Monument Sign Section

SCALE: 1/8"=1'-0"



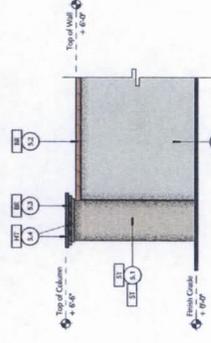
3 Entry Monument Elevation

SCALE: 1/8"=1'-0"



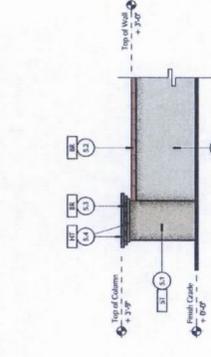
5 Ramada Area Overall Elevation

SCALE: 1/8"=1'-0"



6 Theme Wall with Column

SCALE: 1/8"=1'-0"



7 Low Wall with Column

SCALE: 1/8"=1'-0"

Keyed Notes

- 1.4 Existing Wall
- 2.1 8" x 12" Rough Sawn Wood Beams
- 2.2 Brick Cap
- 2.3 2" x 4" Joist
- 2.4 12" Hemlock T&B, Banded 40"
- 2.5 8" x 12" Rough Sawn Wood Floor
- 2.6 15' x 15' Laminated Plywood Sign
- 2.7 2" x 4" Joist
- 2.8 12" Hemlock T&B, Banded 40"
- 2.9 15' x 15' Laminated Plywood Sign
- 2.10 8" x 12" Rough Sawn Wood Floor

Site Equipment

- 1000 Backhoe

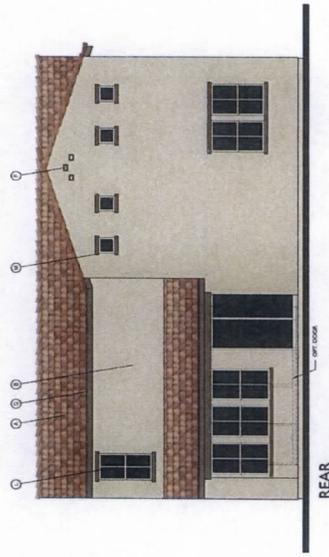
Color Schedule - Scheme #2

- 1000 Backhoe

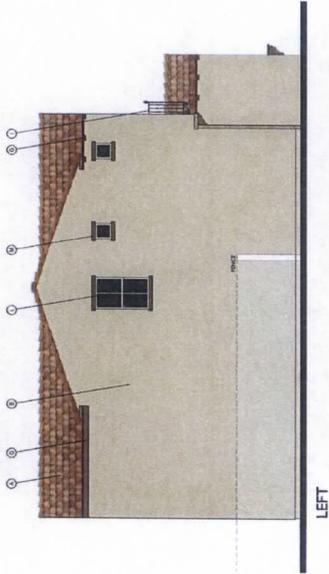
ENTRY MONUMENT & SITE DETAILS



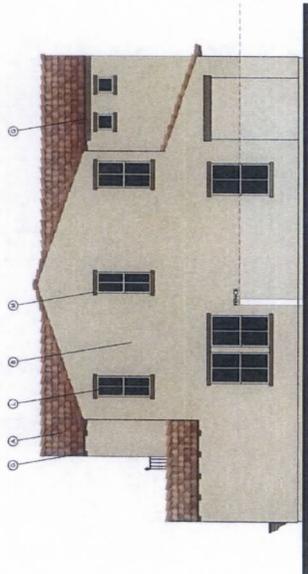
Keystone Homes CANOPY LANE 2
Chandler, Arizona



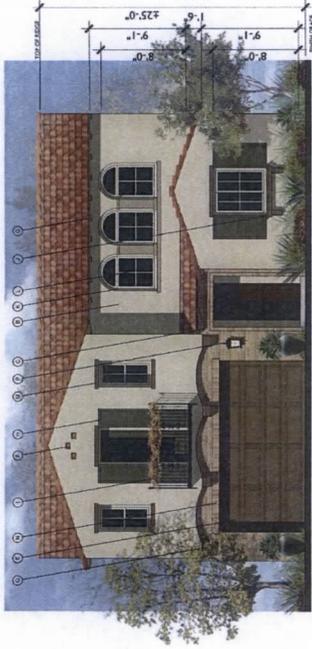
REAR



LEFT

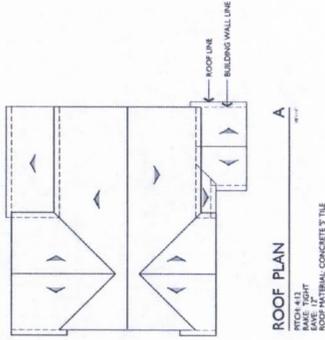


RIGHT



FRONT

A



ROOF PLAN
 1/4" = 1'-0"
 ROOF MATERIAL: CONCRETE 5" TILE

- MATERIAL LEGEND**
- A. CONCRETE 5" TILED ROOF
 - B. BRICK ENTRY
 - C. BRICK ENTRY TRIM
 - D. STONE VENEER
 - E. STONE VENEER TRIM
 - F. STONE VENEER TRIM
 - G. STONE VENEER TRIM
 - H. COMPOSITE SHUTTERS
 - I. COMPOSITE SHUTTERS
 - J. STUCCO ON WOOD POST/PILE
 - K. STUCCO ON WOOD POST/PILE
 - L. STUCCO ON WOOD POST/PILE
 - M. STUCCO ON WOOD POST/PILE
 - N. BRICK TRIM
 - O. BRICK TRIM
 - P. BRICK TRIM
 - Q. BRICK TRIM
 - R. SMOOTH STUCCO ENTRY TRIM



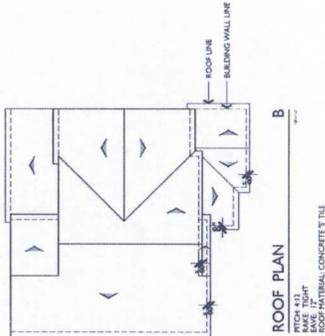
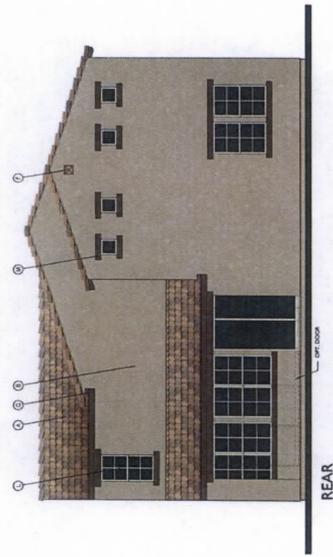
KEYSTONE HOMES

PLAN I
 ANDALUSIAN

CANOPY LANE
 CHANDLER, ARIZONA

09.17.13

Bassett Lagoni
 ARCHITECTS
 2175 PAPERBUSH LANE, SUITE 100, CHANDLER, AZ 85226
 480.488.8888
 WWW.BASSETTLAGONI.COM
 331.13075



- MATERIAL LEGEND**
- A. CONCRETE & TIE-BE ROOF
 - B. BRICK VENER
 - C. BRICK VENER
 - D. BRICK VENER
 - E. BRICK VENER
 - F. BRICK VENER
 - G. BRICK VENER
 - H. BRICK VENER
 - I. BRICK VENER
 - J. BRICK VENER
 - K. BRICK VENER
 - L. BRICK VENER
 - M. BRICK VENER
 - N. BRICK VENER
 - O. BRICK VENER
 - P. BRICK VENER
 - Q. BRICK VENER
 - R. BRICK VENER



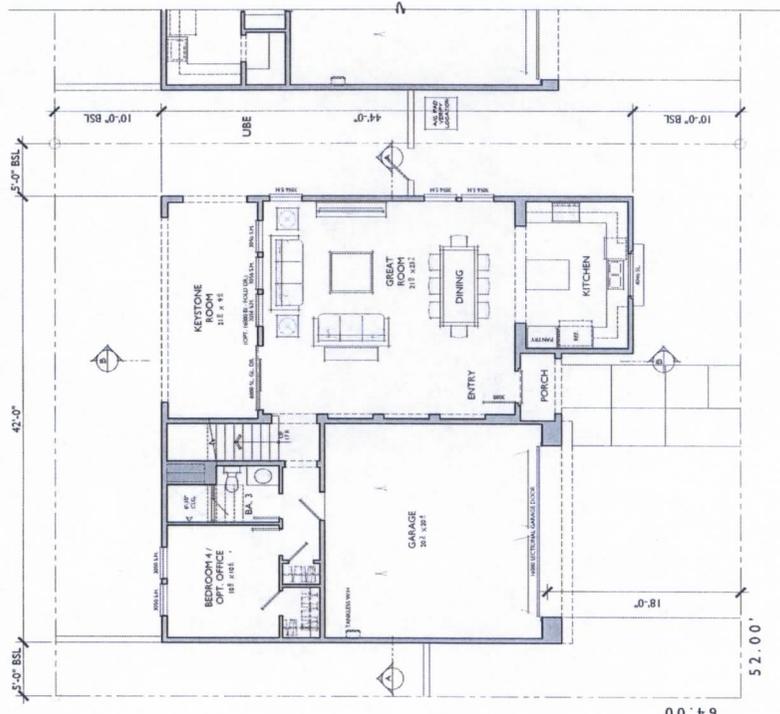
PLAN I
SAN JUAN RUSTIC

CANOPY LANE
CHANDLER, ARIZONA

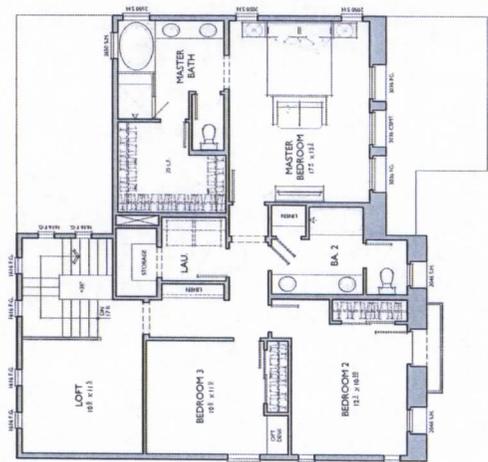
KEYSTONE HOMES

09.17.13

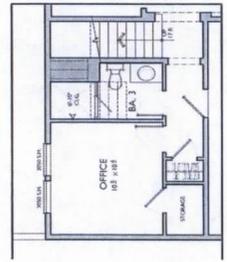
Bassettian | Lagoni
ARCHITECTS & PLANNERS • 10111
2010 PAPER DRIVE, SUITE 100, CHANDLER, AZ 85224
PH: 480.948.8888 FAX: 480.948.8889
WWW.BASSETTIANLAGONI.COM
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331.13075



FIRST FLOOR



SECOND FLOOR



OPT. OFFICE
IN LIEU OF BEDROOM 4

PLAN I
2,205 SQ. FT.
4 BEDROOMS / LOFT / 3 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	988 SQ. FT.
2ND FLOOR	1,217 SQ. FT.
TOTAL	2,205 SQ. FT.
2 - CAR GARAGE	429 SQ. FT.
KEYSTONE ROOM	188 SQ. FT.
PORCH	29 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.



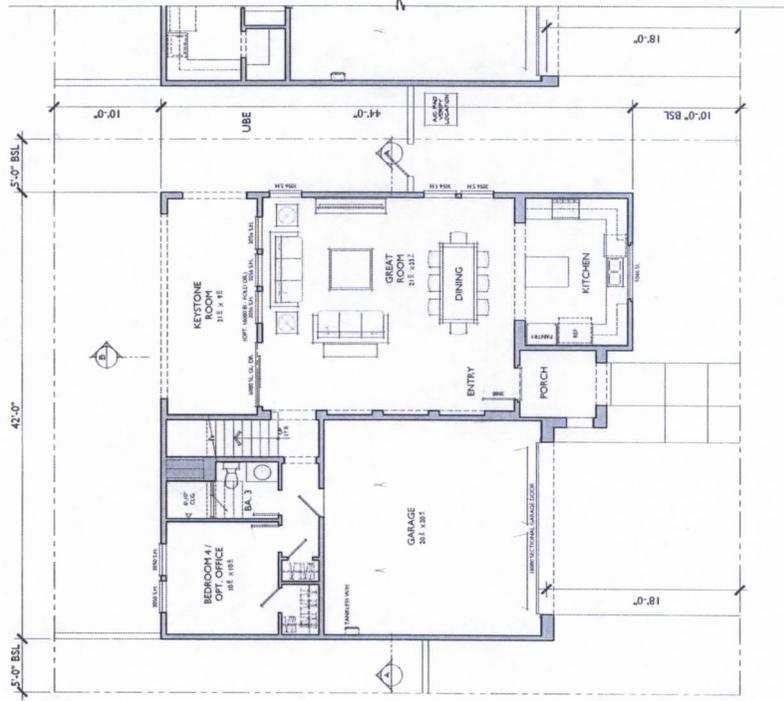
09.17.13

PLAN I
REFLECTS ANDALUSIAN

CANOPY LANE
CHANDLER, ARIZONA

KEYSTONE HOMES

Bassenian | Lagoni
ARCHITECTS | PLANNING • INTERIORS
10000 N. CENTRAL EXPRESSWAY, SUITE 1000
DOWNEY, CALIFORNIA 90241
Copyright © 2013 Bassenian | Lagoni Architects
331.13075
www.bassenianlagoni.com



PLAN I
 2,237 SQ. FT.
 4 BEDROOMS / LOFT / 3 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	996 SQ. FT.
2ND FLOOR	1,241 SQ. FT.
TOTAL	2,237 SQ. FT.
2 - CAR GARAGE	429 SQ. FT.
KEYSTONE ROOM	188 SQ. FT.
PORCH	57 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

FIRST FLOOR



SECOND FLOOR

SCALE: 1/4" = 1'-0"

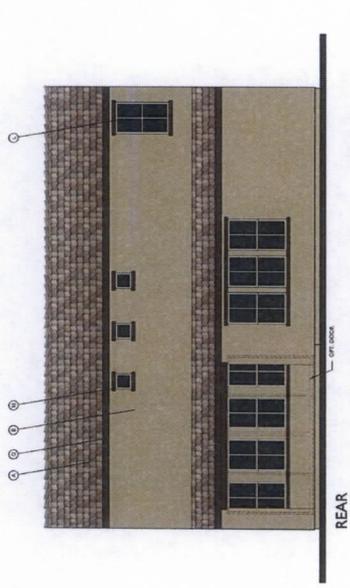
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PLAN I
 REFLECTS SAN JUAN RUSTIC

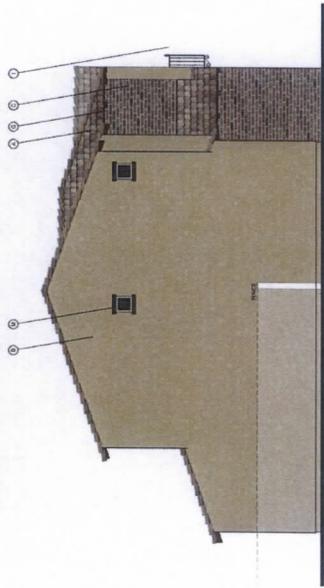
CANOPY LANE
 CHANDLER, ARIZONA

Bessenian | Lagoni
 ARCHITECTS
 2210 JENNIFER AVE. SUITE 100
 CHANDLER, ARIZONA 85224
 (480) 948-8888
 www.bessenianlagoni.com
 331.13075

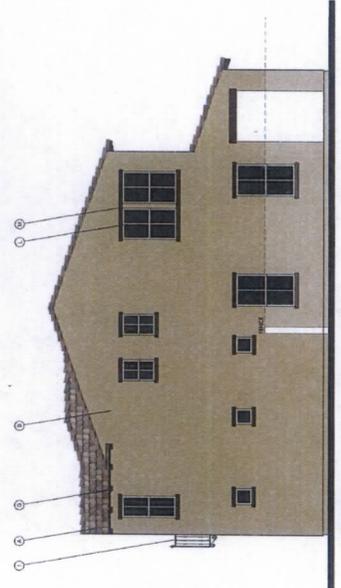
KEYSTONE HOMES



REAR



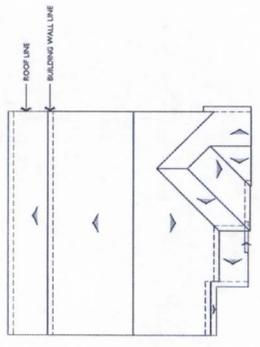
LEFT



RIGHT



FRONT



ROOF PLAN
 1/4" = 1'-0"
 ROOF MATERIAL: CONCRETE 3" TILE

- MATERIAL LEGEND**
- A. CONCRETE 3" TILE ROOF
 - B. BRICK CHIMNEY
 - C. STUCCO
 - D. STUCCO WITH BRICK
 - E. STUCCO WITH BRICK
 - F. STUCCO WITH BRICK
 - G. STUCCO WITH BRICK
 - H. STUCCO WITH BRICK
 - I. STUCCO WITH BRICK
 - J. STUCCO WITH BRICK
 - K. STUCCO WITH BRICK
 - L. STUCCO WITH BRICK
 - M. STUCCO WITH BRICK
 - N. STUCCO WITH BRICK
 - O. STUCCO WITH BRICK
 - P. STUCCO WITH BRICK
 - Q. STUCCO WITH BRICK
 - R. STUCCO WITH BRICK
 - S. STUCCO WITH BRICK
 - T. STUCCO WITH BRICK
 - U. STUCCO WITH BRICK
 - V. STUCCO WITH BRICK
 - W. STUCCO WITH BRICK
 - X. STUCCO WITH BRICK
 - Y. STUCCO WITH BRICK
 - Z. STUCCO WITH BRICK



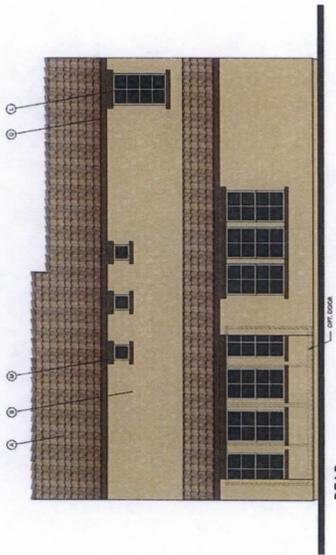
KEYSTONE HOMES

PLAN 2
 ANDALUSIAN

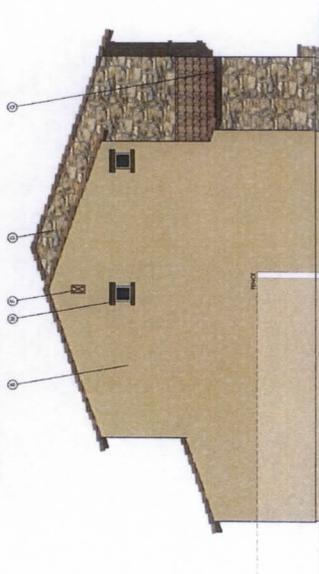
CANOPY LANE
 CHANDLER, ARIZONA

09.17.13

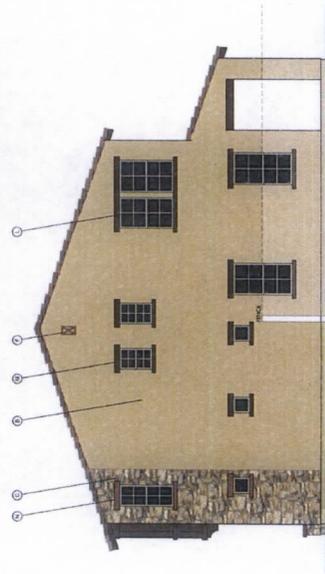
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 331.13075



REAR



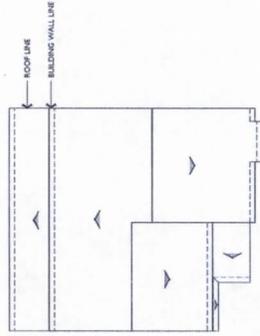
LEFT



RIGHT



FRONT



ROOF PLAN
PITCH 4:12
RAISE 1/2"
ROOF MATERIAL CONCRETE S TILE

- MATERIAL LEGEND**
- A. CONCRETE TILED ROOF
 - B. STONE VENEER
 - C. BRICK VENEER
 - D. STUCCO
 - E. PAINTED UPPER WALL
 - F. PAINTED LOWER WALL
 - G. CLAY TILE
 - H. CLAY TILE
 - I. CLAY TILE
 - J. CLAY TILE
 - K. CLAY TILE
 - L. CLAY TILE
 - M. CLAY TILE
 - N. CLAY TILE
 - O. CLAY TILE
 - P. CLAY TILE
 - Q. CLAY TILE
 - R. CLAY TILE

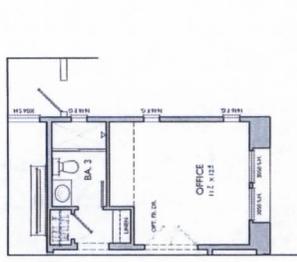


09.17.13

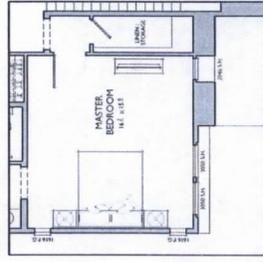
PLAN 2
TUSCAN
CANOPY LANE
CHANDLER, ARIZONA

KEYSTONE HOMES

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ARCHITECTURE + PLANNING + INTERIORS
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OPT. OFFICE
IN LUB OF BEDROOM 4

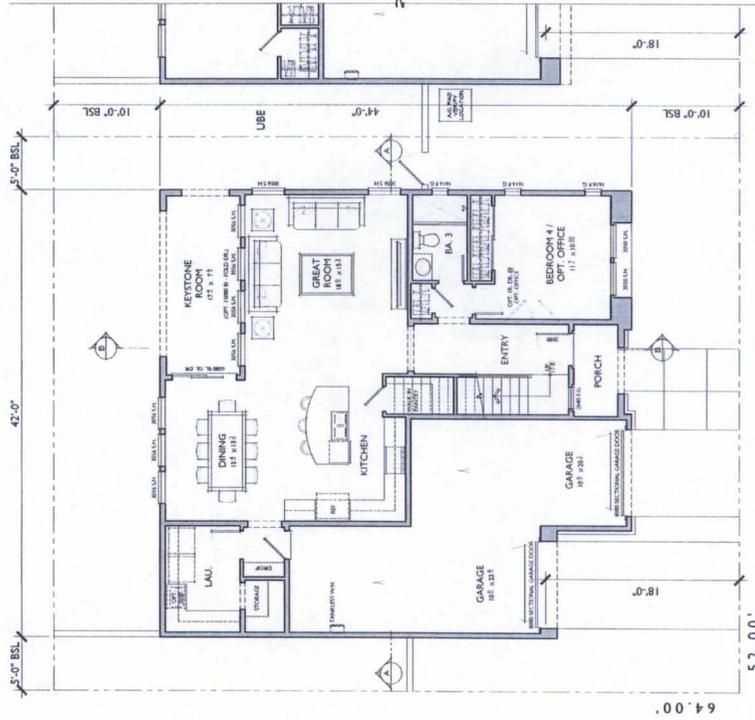


OPT. LINEN & STORAGE
AT MASTER BEDROOM

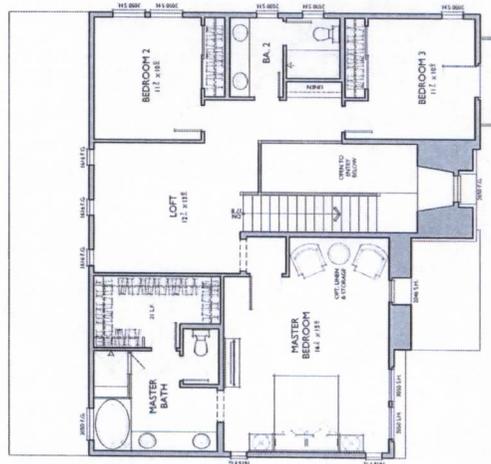
PLAN 2
2,291 SQ. FT.
4 BEDROOMS / LOFT / 3 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,107 SQ. FT.
2ND FLOOR	1,184 SQ. FT.
TOTAL	2,291 SQ. FT.
2 - CAR GARAGE	464 SQ. FT.
KEYSTONE ROOM	129 SQ. FT.
PORCH	43 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO DIFFERENTIAL CALCULATION.



FIRST FLOOR



SECOND FLOOR



SCALE 1/4" = 1'-0"

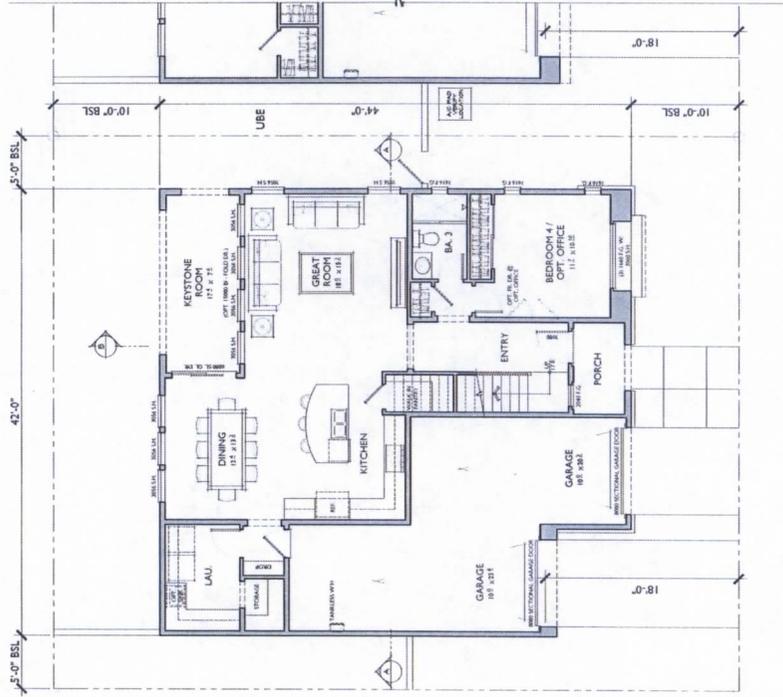
PLAN 2
REFLECTS ANDALUSIAN

CANOPY LANE
CHANDLER, ARIZONA

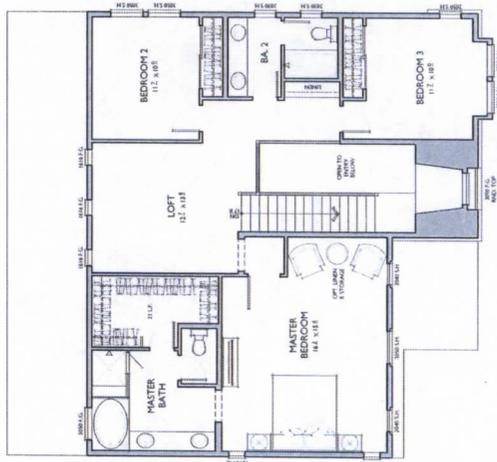
KEYSTONE HOMES

09.17.13

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FIRST FLOOR



SECOND FLOOR

PLAN 2
 2,331 SQ. FT.
 4 BEDROOMS / LOFT / 3 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,123 SQ. FT.
2ND FLOOR	1,198 SQ. FT.
TOTAL	2,321 SQ. FT.
TOTAL GARAGE	443 SQ. FT.
KEYSTONE ROOM	129 SQ. FT.
POORCH	33 SQ. FT.

AREA SUBJECT TO CHANGE WITHOUT NOTICE OR LIABILITY.



09.17.13

PLAN 2
 REFLECTS TUSCAN

CANOPY LANE
 CHANDLER, ARIZONA

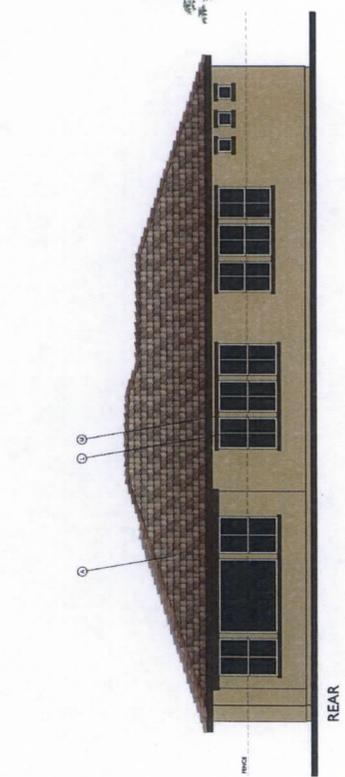
KEYSTONE HOMES

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 www.bessenjianlagoni.com
 331.13075
 PROJECT NO. 13075

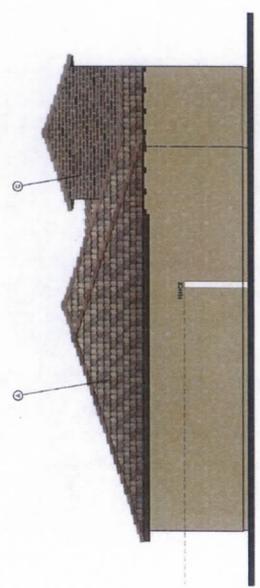


FRONT

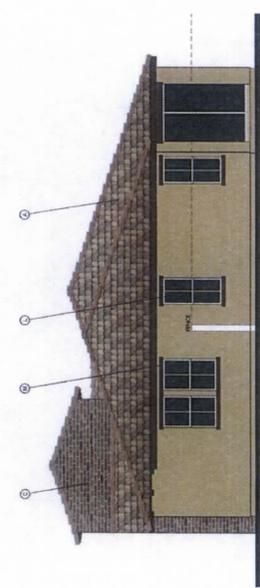
A
1/4" = 1'-0"



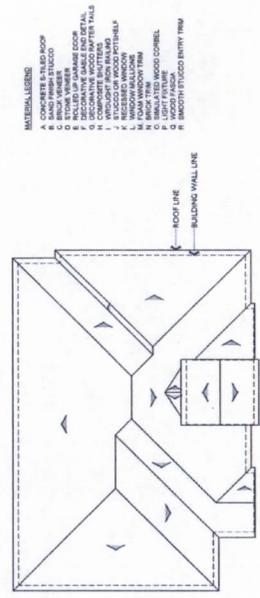
REAR



LEFT



RIGHT



ROOF PLAN
1/4" = 1'-0"
BASE TO ROOF
ROOF MATERIAL: CONCRETE 3" TILE

- MATERIAL LEGEND**
- A. CONCRETE 3" TILE ROOF
 - B. BRICK
 - C. BRICK VENEER
 - D. BRICK CHIMNEY
 - E. BRICK SHUTTERS
 - F. BRICK SHUTTERS
 - G. BRICK SHUTTERS
 - H. BRICK SHUTTERS
 - I. BRICK SHUTTERS
 - J. BRICK SHUTTERS
 - K. BRICK SHUTTERS
 - L. BRICK SHUTTERS
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 - Q. BRICK SHUTTERS
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 - S. BRICK SHUTTERS
 - T. BRICK SHUTTERS
 - U. BRICK SHUTTERS
 - V. BRICK SHUTTERS
 - W. BRICK SHUTTERS
 - X. BRICK SHUTTERS
 - Y. BRICK SHUTTERS
 - Z. BRICK SHUTTERS



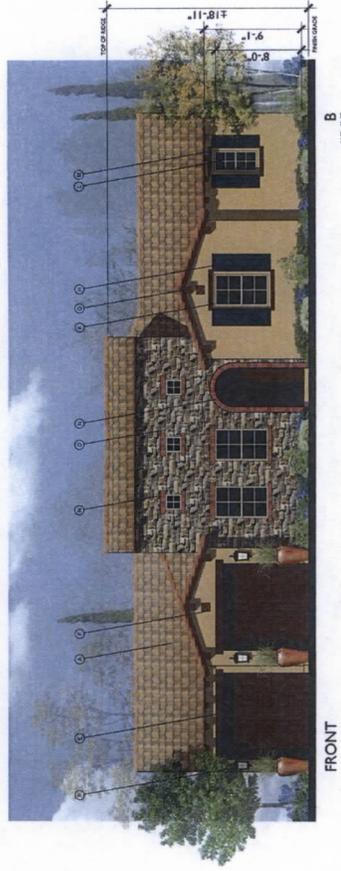
PLAN 3
ANDALUSIAN

CANOPY LANE
CHANDLER, ARIZONA

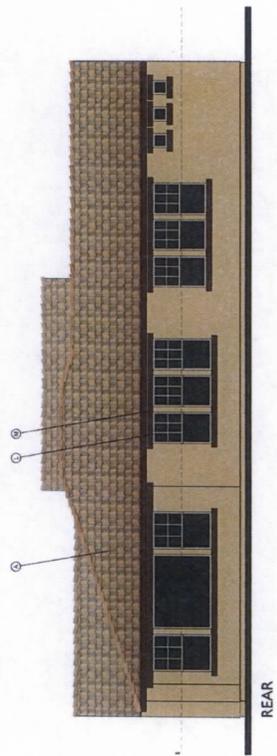
KEYSTONE HOMES

04.28.14

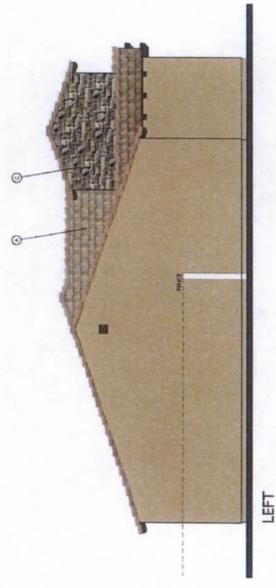
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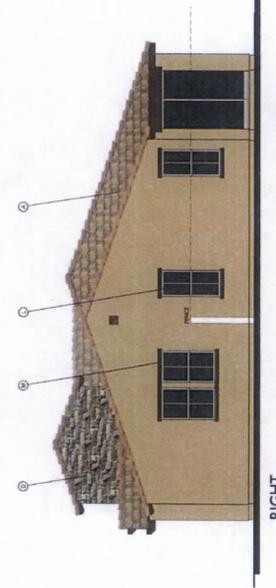
FRONT



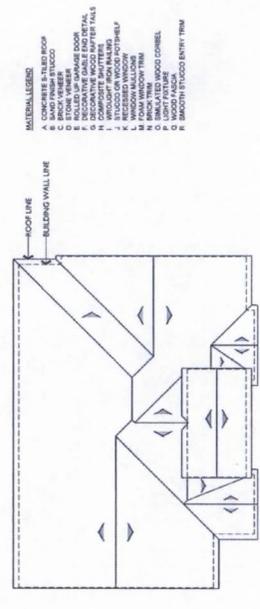
REAR



LEFT



RIGHT



ROOF PLAN
 ROOM 4 1/2 IN. O.
 SCALE 1/8" = 1'-0"
 ROOF MATERIAL CONCRETE TILE

- MATERIAL LEGEND**
- A. CONCRETE TILED ROOF
 - B. BRICK CHIMNEY
 - C. BRICK FIREPLACE
 - D. BRICK SHUTTERS
 - E. BRICK SHUTTERS
 - F. BRICK SHUTTERS
 - G. BRICK SHUTTERS
 - H. BRICK SHUTTERS
 - I. BRICK SHUTTERS
 - J. BRICK SHUTTERS
 - K. BRICK SHUTTERS
 - L. BRICK SHUTTERS
 - M. BRICK SHUTTERS
 - N. BRICK SHUTTERS
 - O. BRICK SHUTTERS
 - P. BRICK SHUTTERS

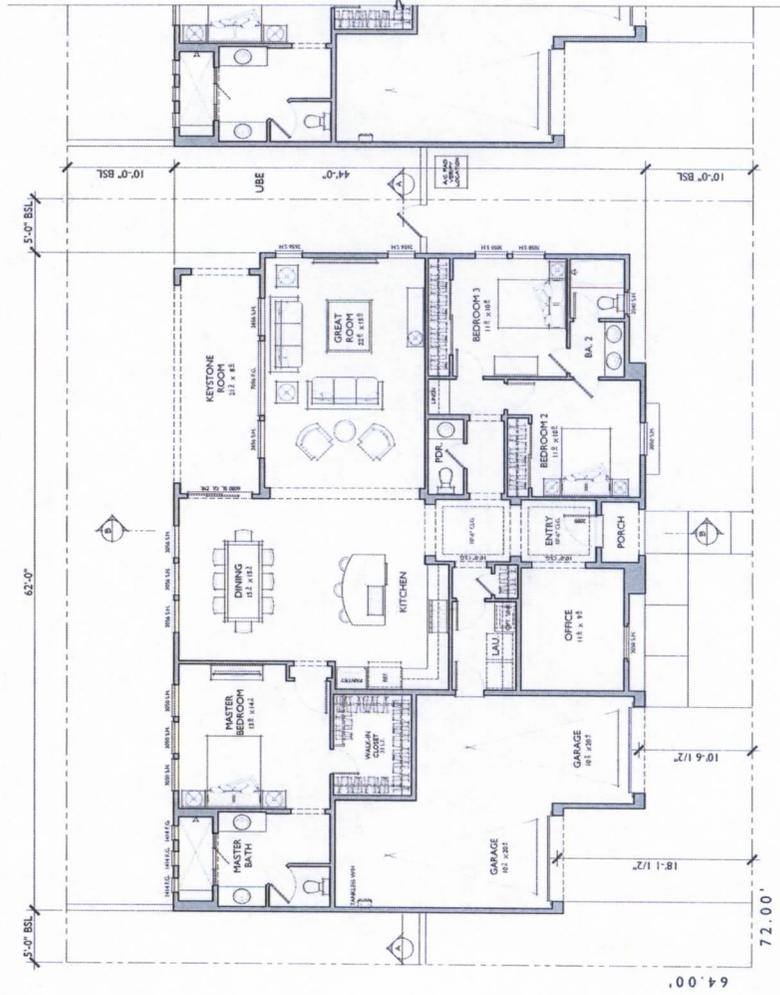
PLAN 3
 TUSCAN
 CANOPY LANE
 CHANDLER, ARIZONA



KEYSTONE HOMES

04.28.14

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PLAN 3
 1,968 SQ. FT.
 3 BEDROOMS / OFFICE / 2.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,968 SQ. FT.
TOTAL	1,968 SQ. FT.
2 - CAR GARAGE	434 SQ. FT.
KEYSTONE ROOM	169 SQ. FT.
PORCH	23 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

PLAN 3
 REFLECTS ANDALUSIAN ELEVATION

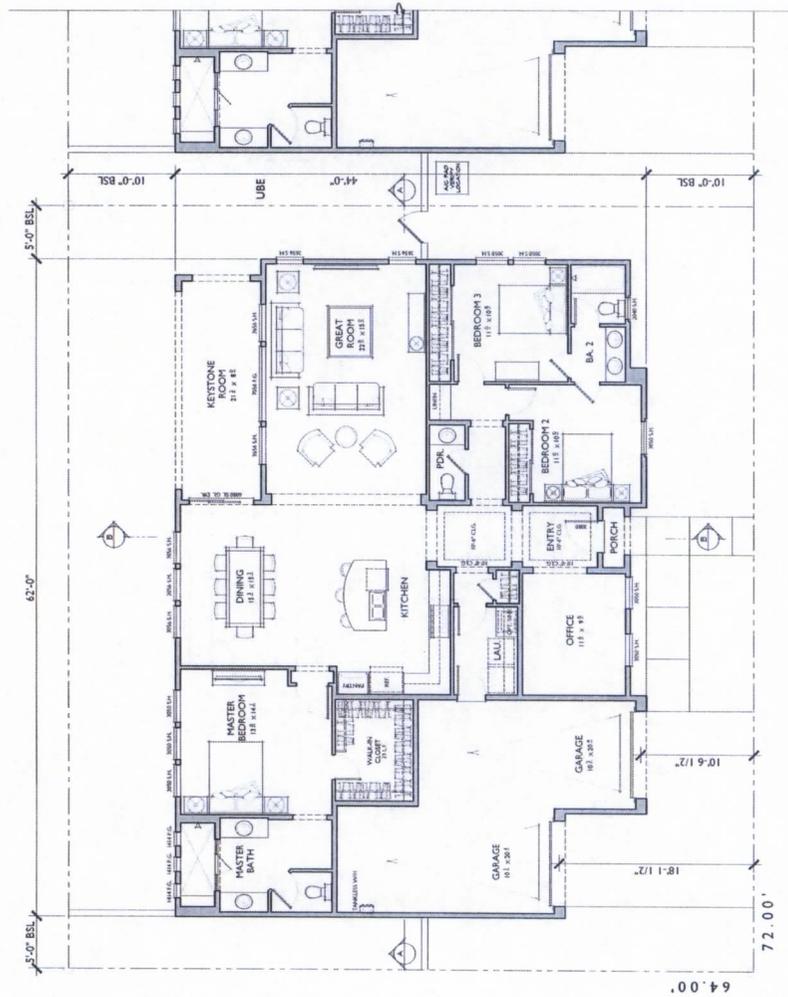


KEYSTONE HOMES

CANOPY LANE
 CHANDLER, ARIZONA

04.29.14

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 www.bessentian.com
 331.13075



PLAN 3
 1,968 SQ. FT.
 3 BEDROOMS / OFFICE / 2.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,968 SQ. FT.
TOTAL	1,968 SQ. FT.
2 - CAR GARAGE	434 SQ. FT.
KEYSTONE ROOM	169 SQ. FT.
PORCH	15 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

PLAN 3
 REFLECTS TUSCAN ELEVATION

CANOPY LANE
 CHANDLER, ARIZONA



KEYSTONE HOMES

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04.29.14

RESOLUTION NO. 4792

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, ADOPTING AN AMENDMENT TO THE “DOBSON/GERMANN AREA PLAN” FROM LOW DENSITY RESIDENTIAL TO MEDIUM DENSITY RESIDENTIAL ON PROPERTY LOCATED NORTH OF THE NORTHWEST CORNER OF DOBSON AND GERMANN ROADS

WHEREAS, an interest has been expressed in seeking approval of a rezoning request, pending approval of an Area Plan amendment, for a particular development proposal located north of the northwest corner of Dobson and Germann Roads; and

WHEREAS, the Land Use and Neighborhood Planning Elements of the Chandler General Plan adopted by the City Council on June 26, 2008 encourage the preparation of neighborhood plans/Area Plans that address distinct characteristics and support unique land use planning for each area; and

WHEREAS, an existing area plan, the “Dobson/Germann Area Plan”, has been adopted for the area bounded by Dobson Road, Germann Road, Price Road, and the Loop 202 Santan Freeway;

WHEREAS, the applicant prepared this amendment to the existing “Dobson/Germann Area Plan”; and

WHEREAS, such an amendment, covering a portion of the adopted Area Plan including a map has been prepared by the applicant for consideration by the City Council after having received public input from the Planning and Zoning Commission and property owners at a previous public hearing;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. That the attached map exhibit, an Amendment to the Dobson/Germann Area Plan, as presented to the Planning and Zoning Commission and approved at their public hearing held on August 6, 2014, is hereby adopted as the guideline for future rezoning and development for the area described within it.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this _____ day of _____, 2014.

ATTEST:

CITY CLERK

MAYOR

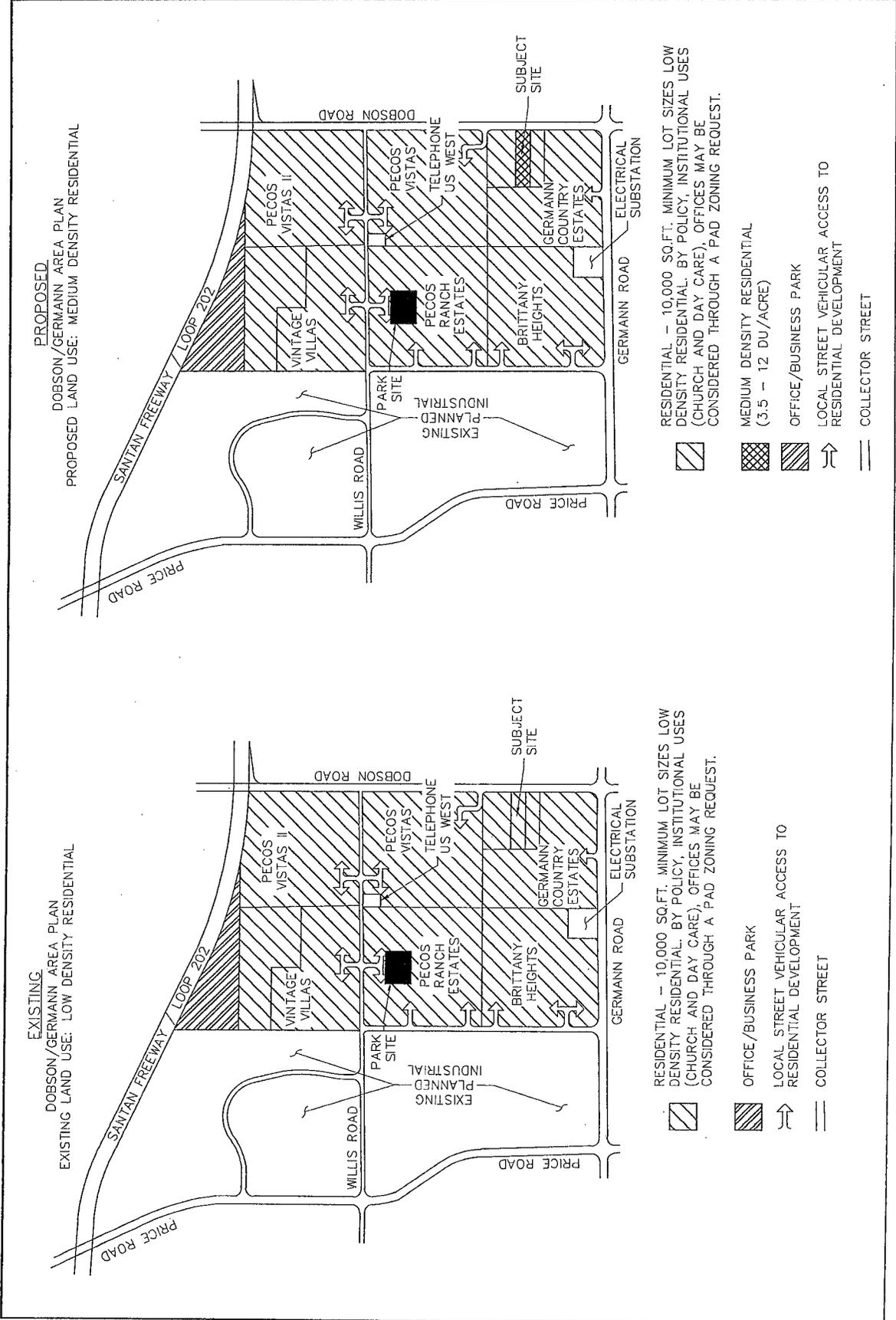
CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 4792 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting was held on the _____ day of _____, 2014, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY *ksm*



ORDINANCE NO. 4554

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED AREA DEVELOPMENT (PAD) FOR OFFICE TO PLANNED AREA DEVELOPMENT (PAD) FOR SINGLE-FAMILY RESIDENTIAL IN CASE (DVR13-0030 CANOPY LANE) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY; EXCEPT THE EAST 65 FEET.

Said parcel is hereby rezoned from Planned Area Development (PAD) For office to Planned Area Development (PAD) for single-family residential, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled “Canopy Lane”, kept on file in the City of Chandler Planning Division, in File No. DVR13-0030, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City’s adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
6. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
7. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing ranchette and animal privilege properties that may cause adverse noise, odors and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to agricultural properties that have horse and animal privileges and shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the home builder/lot developer, and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Maricopa County, Arizona, this _____ day of _____, 2014.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona this _____ day of _____, 2014.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4554 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the _____ day of _____, 2014, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY *ksm*

PUBLISHED: