



Chandler · Arizona
Where Values Make The Difference

#42

MAR 26 2015

Chandler



2010

MEMORANDUM

Planning Division – CC Memo No. 15-044

DATE: MARCH 26, 2015

TO: MAYOR AND COUNCIL

THRU: RICH DLUGAS, CITY MANAGER *RD*
MARSHA REED, ASSISTANT CITY MANAGER *MR*
JEFF KURTZ, PLANNING ADMINISTRATOR *JK*
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: JODIE M. NOVAK, MEP, SENIOR CITY PLANNER *JMN*

SUBJECT: APL14-0007 AIRPARK AREA PLAN AMENDMENT/DVR14-0019 ENCLAVE AT HAMILTON RANCH/PPT14-0012 ENCLAVE AT HAMILTON RANCH

Adoption of Resolution No. 4848
Introduction and Tentative Adoption of Ordinance No. 4616

Requests: Area Plan amendment to the Chandler Airpark Area Plan (CAAP) from Neighborhood Commercial and Commercial/Office/Business Park with a Light Rail Corridor Overlay to Low-Medium Density Residential

Rezoning from Agricultural District (AG-1) and Planned Area Development (PAD) for offices to PAD for Residential

Preliminary Development Plan (PDP) for subdivision layout and housing product

Preliminary Plat (PPT) approval for a single-family subdivision

Location: South and east of the southeast corner of Arizona Avenue and Queen Creek Road

Applicant: Adam Baugh/Mike Withey, Withey Morris PLC

Project Info: Approximate 28 acres with 132 single-family residential units; approximately 4.76 du/ac

PLANNING COMMISSION RECOMMENDATION

Planning Commission, upon finding the Area Plan amendment to be consistent with the General Plan, recommends approval. Planning Commission, upon finding the Rezoning request to be consistent with the General Plan and Chandler Airpark Area Plan (CAAP), recommends approval. Therefore, Planning Commission also recommends approval of the Preliminary Development Plan (PDP) and Preliminary Plat.

PLANNING STAFF RECOMMENDATION

Planning Staff, upon finding the Area Plan amendment to be inconsistent with the General Plan, recommends denial. Planning Staff, upon finding the Rezoning request to be inconsistent with the General Plan and CAAP, recommends denial. Therefore, Planning Staff also recommends denial of the Preliminary Development Plan (PDP) and Preliminary Plat.

BACKGROUND

The approximate 28-acre site is located south and east of the southeast corner of Arizona Avenue and Queen Creek Road. A portion of the subject site was annexed in February 2015 and given initial City zoning of Agricultural District (AG-1). The balance of the site received PAD zoning for office in 2006 on 9 acres which never commenced. The PAD zoning was extended for an additional 3 years expiring in 2012.

The subject property primarily surrounds an undeveloped 8-acre parcel located at the immediate intersection corner of Arizona Avenue and Queen Creek Road. This parcel is zoned C-3 (General Commercial) and RU-43 (Rural Residential) in the County. East of the site is the Union Pacific Railroad tracks and land zoned PAD for office/warehouse/industrial type uses. To the south is vacant land zoned Neighborhood Commercial (C-1) and developed land zoned PAD for a veterinary office/pet resort and a church along with 30 acres of undeveloped land owned by the church. North of the site is Queen Creek Road. North of Queen Creek Road is land recently zoned PAD for a single-family residential and a multi-family residential development under construction. To the west is Arizona Avenue, vacant land zoned PAD for commercial, and a multi-family residential development.

GENERAL PLAN CONFORMANCE / AREA PLAN BACKGROUND

The General Plan designates this property as Employment and a Commercial Node, as within the CAAP, and as a Large Tract Growth Area. The General Plan's Employment designation includes light industrial parks, corporate offices, manufacturing, knowledge-intensive employers, and a compatible mix of industrial support uses and residential densities as an integral component of a planned mixed-use development. The Commercial Nodes category denotes intersections appropriate for neighborhood or community commercial retail, office, commercial services, and institutional uses, as well as residential or employment where appropriate when allowed by the underlying land use, in this case Employment.

The CAAP denotes the parcel as Commercial/Office/Business Park for major, campus-like employment centers including retail services, research and development, or office/showroom development type uses. In addition, the entire parcel is within the Light Rail Corridor Overlay allowing the development of residential densities of 12.1 to 18.0 dwelling units per acre. The CAAP also identifies Neighborhood Commercial at the intersection corner for neighborhood-

based commercial uses such as retail, personal services, restaurants, and the like. The subject site is not part of a larger single-family residential neighborhood. Under the guidelines of the General Plan and CAAP, single-family residential is not a land use recognized in the Employment, Neighborhood Commercial, or Commercial/Office/Business Park categories.

AREA PLAN AMENDMENT

The request is to amend the Chandler Airpark Area Plan from Neighborhood Commercial and Commercial/Office/Business Park with a Light Rail Corridor Overlay to Low-Medium Density Residential. The single-family residential use is not part of the current land use categories and is incompatible with planned commercial/office/business park development including industrial uses to the east and planned commercial/office/business park uses to the south.

REZONING

The request is to rezone approximately 28 acres from Agricultural District (AG-1) and Planned Area Development (PAD) for offices to PAD for Residential (Low-Medium Density). The Enclave at Hamilton Ranch zoning case is the first development request for this site. The property has been farmed for many years. Mattamy Homes proposes to develop a single-family residential community that includes 132 single-family residential units at approximately 4.76 du/ac.

SUBDIVISION DIVERSITY

The rezoning request includes PDP approval for a single-family subdivision layout with one- and two-story housing products. The gated development also includes private streets. The subdivision abuts a vacant parcel planned for neighborhood commercial. There is a full-movement entry/exit off of both arterial streets which will be shared with adjacent parcels when developed. The Arizona Avenue entry includes a landscape median and a row of Date Palm trees leading to the community's gates. A central curvilinear street meanders north connecting to the Queen Creek Road entry/exit gate. The entries are designed with an agrarian accent including gates with decorative metal and faux roughhewn wood accent. The main entry off of Arizona Avenue is further enhanced with a stone veneer pier with lighting and faux wood light poles.

The lots are designed as a traditional subdivision layout for individual detached homes. Lot sizes are a minimum 52'x97' (5,044 sq. ft.) providing minimum front yard setbacks of 18 feet and/or 10 feet, rear yard setbacks of 10 feet, and side yard setbacks of 7 feet and 5 feet. Front yard setbacks will be staggered to enhance the streetscape. It is important to note there is no restriction for corner lots being limited to 1-story homes or a limit on the number of 2-story homes along arterial streets.

Since all of the lots are less than 7,000 square feet, all of the Residential Development Standards (RDS) for subdivision diversity would be required. However, it is realized that this type of subdivision cannot meet all of the subdivision diversity standards due to the parcel's configuration. The conventional lot layout incorporates diversity elements such as curvilinear streets, looped streets, a cul-de-sac, and open spaces. A centralized active open space and playground area includes custom amenities integrated amongst shade trees and ramadas. Unique features are a tree house platform, play stream with bridge, a tunnel, climbing rope ladder, and

climbing blocks. Perimeter walls for lots backing up to the arterial streets are staggered. The subdivision design meets the intent of the RDS subdivision diversity elements as outlined in the Development Booklet.

HOUSING PRODUCT

The housing plans include two 1-story and three 2-story homes ranging in size from 1,916 to 2,827 livable square feet with a variety of architectural styles. Each housing plan includes 3 elevation styles providing a total of 12 housing plan options.

Since all of the lots are less than 7,000 square feet, all of the RDS for architectural diversity would be required as well. However, it is realized that a subdivision of this type cannot meet all of the diversity standards as outlined in the RDS. The lot sizes are not practical for deeper rear yard setbacks and rear yard vehicle access. The homes have forward facing garages both recessed and at livable space. The housing product design meets the intent of the RDS architectural diversity elements as outlined in the Development Booklet.

AIRPORT RECOMMENDATION

The Airport Commission reviewed the Area Plan amendment and Rezoning request in accordance with the Airport Conflicts Evaluation Process. A conflicts evaluation report was issued indicating that the Airport Commission determined the proposed development does constitute a conflict with existing or planned airport uses. Conflicts cited include that the change in land use to single-family residential is incompatible with the City's guiding documents that are designed to preserve the long-term viability of the airport and surrounding area. Additionally, there is great likelihood that residents will be negatively impacted by noise created by over flight of traffic pattern aircraft.

DISCUSSION

Planning Staff finds the proposed development is not in conformance with the General Plan and Chandler Airpark Area Plan. The single-family residential use is incompatible with planned industrial and commercial surrounding the subject parcel including future industrial and light industrial development to the east as a part of the Airpark Area Plan. Land uses as identified within the CAAP are more appropriate including commercial, office, flex industrial, warehouse, business park, and like uses. These uses are compatible and provide a transition into commercial/office/business park and industrial uses planned for the area. Residential land uses can be considered; however, the CAAP identifies the need for higher density multi-family residential to support the CAAP in addition to commercial, office, and business park type uses.

Additionally, the intersection is a designated Commercial Node and currently the northwest and southwest corners are zoned PAD for commercial use, and the northeast corner is zoned and developing with multi-family residential and single-family residential. An evaluation of this intersection and surrounding area from a land use and economic development standpoint considered the potential growth at this intersection and what is sustainable for the future. Planning Staff concluded that the subject site remains viable for neighborhood commercial and commercial/office/business park uses.

While Planning Staff does not support the requested Area Plan amendment and Rezoning, the PDP for subdivision layout and housing product are consistent with the intent of the RDS. The curvilinear street system and unique recreational amenity creates a pedestrian-oriented neighborhood environment amongst 132 homes.

PUBLIC / NEIGHBORHOOD NOTIFICATION

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held August 13, 2014. Three individuals attended the meeting who were joint owners of the commercial parcel adjacent to the subject site.
- Staff received several emails in support of this request which are attached.
- As of the writing of this memo, Planning Staff is not aware of any other opposition or concerns with this development.

PLANNING COMMISSION VOTE REPORT

Motion to Approve.

In Favor: 5 Opposed: 2 (Cunningham, Donaldson)

Planning Commission stated support for the proposed residential use finding it compatible with other approved residential in the immediate area. Commission's comments included that the railroad track serves as a boundary from the airpark area, there is a demand to live in this area, and other corners have residential wrapping commercial corners. Furthermore, Commission commented that this area is developing differently but it works for this area, the development is attractive, and keeping an 8-acre commercial corner is okay since there is a market for office in this area. Commission also commented that the commercial corner will not work but finds the residential a good project.

Commissioners opposed stated this residential project would be an island surrounded by industrial and commercial type uses adjacent to a railroad track, it is best to wait for employment/commercial to develop as planned, the City has done a great job planning employment corridors, and it is not sensible to build residential when jobs do not exist yet.

Commission recommended standard zoning conditions for the residential development with an additional condition requiring the total side yard setback between two, 2-story homes to be 14 feet.

Planning Staff has included four additional standard PDP zoning case conditions, conditions 7 through 10, to the Planning Commission recommended action that were inadvertently omitted. The conditions are regarding the Development Booklet, landscaping, and signage.

PLANNING COMMISSION RECOMMENDED ACTIONS

Area Plan

Planning Commission, upon finding consistency with the General Plan, recommends approval of the Area Plan amendment.

Rezoning

Planning Commission, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommends approval of the Rezoning subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "ENCLAVE AT HAMILTON RANCH" kept on file in the City of Chandler Planning Services Division, in File No. APL14-0007/DVR14-0019, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
8. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Transportation & Development for arterial street median landscaping.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.

10. Homebuilder will advise all prospective homebuyers of the information on future City facilities contained in the City Facilities map found at www.chandleraz.gov/infomap, or available from the City's Communication and Public Affairs Department. The homebuilder shall post a copy of the City Facilities map in the sales office showing the location of future and existing City facilities.
11. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
 - a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorders Office upon sale of the property.
 - b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
 - c) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
 - d) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
 - e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.

- f) All homes and buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”

- 12. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a heliport at the Chandler Municipal Airport that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a heliport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
- 13. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Commission, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommends approval of the Preliminary Development Plan subject to the following conditions:

- 1. The same elevation shall not be built side-by-side or directly across the street from one another.
- 2. Corner lots shall be limited to single-story homes only.

3. For lots adjacent to an arterial street, two-story homes are limited to every third lot, with no more than two, two-story homes built side-by-side.
4. Window mullion/muntin patterns shall remain consistent on all sides of the homes.
5. Window pop-out treatments shall remain consistent on all sides of the homes.
6. The total side yard setback between two, 2-story homes shall be 14 feet.
7. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "ENCLAVE AT HAMILTON RANCH" kept on file in the City of Chandler Planning Services Division, in File No. APL14-0007/DVR14-0019, except as modified by condition herein.
8. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
9. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or association.
10. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.

Preliminary Plat

Planning Commission, upon finding consistency with the General Plan and Chandler Airpark Area Plan, recommends approval of the Preliminary Plat subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

PLANNING STAFF RECOMMENDED ACTIONS

Area Plan

Planning Staff, upon finding inconsistency with the General Plan, recommends denial of the Area Plan amendment.

Rezoning

Planning Staff, upon finding inconsistency with the General Plan and Airpark Area Plan, recommends denial of the Rezoning.

Preliminary Development Plan

Planning Staff recommends denial of the Preliminary Development Plan due to the land use being inconsistent with the General Plan.

Preliminary Plat

Planning Staff recommends denial of the Preliminary Plat due to the land use being inconsistent with the General Plan.

PLANNING COMMISSION PROPOSED MOTIONS

Area Plan

Move to adopt Resolution No. 4848 approving the Chandler Airpark Area Plan amendment from Neighborhood Commercial and Commercial/Office/Business Park with a Light Rail Corridor Overlay to Low-Medium Density Residential in case APL14-0007 AIRPARK AREA PLAN AMENDMENT, subject to the recommendation by Planning Commission.

Rezoning

Move to introduce and tentatively adopt Ordinance No. 4616 approving rezoning request DVR14-0019 ENCLAVE AT HAMILTON RANCH from PAD Agricultural District (AG-1) and Planned Area Development (PAD) for offices to PAD for Residential, subject to the conditions as recommended by Planning Commission.

Preliminary Development Plan

Move to approve Preliminary Development Plan request DVR14-0019 ENCLAVE AT HAMILTON RANCH for the single-family residential development, subject to the condition as recommended by Planning Commission.

Preliminary Plat

Move to approve Preliminary Plat request PPT14-0012 ENCLAVE AT HAMILTON RANCH, subject to the conditions as recommended by Planning Commission.

PLANNING STAFF PROPOSED MOTIONS

Area Plan

Move to deny Airpark Area Plan amendment from Neighborhood Commercial and Commercial/Office/Business Park with a Light Rail Corridor Overlay to Low-Medium Density Residential in case APL14-0007 AIRPARK AREA PLAN AMENDMENT, per Planning Staff recommendation.

Rezoning

Move to deny rezoning request DVR14-0019 ENCLAVE AT HAMILTON RANCH from Agricultural District (AG-1) and Planned Area Development (PAD) for offices to PAD for Residential, per Planning Staff recommendation.

Preliminary Development Plan

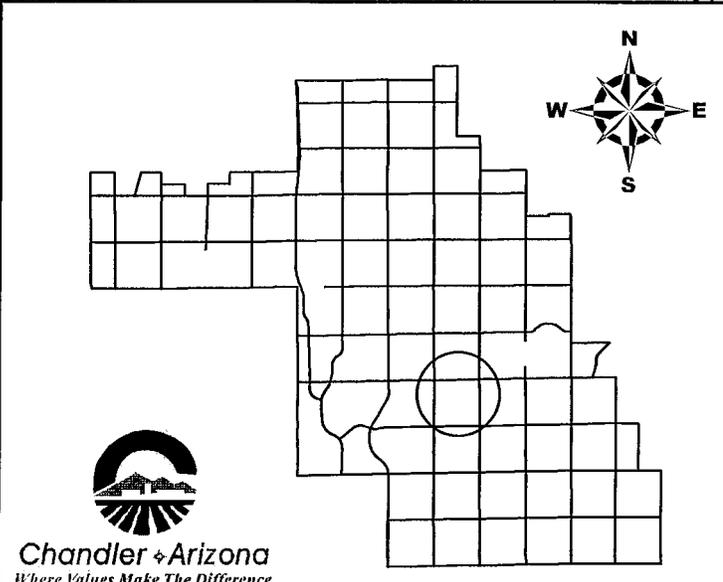
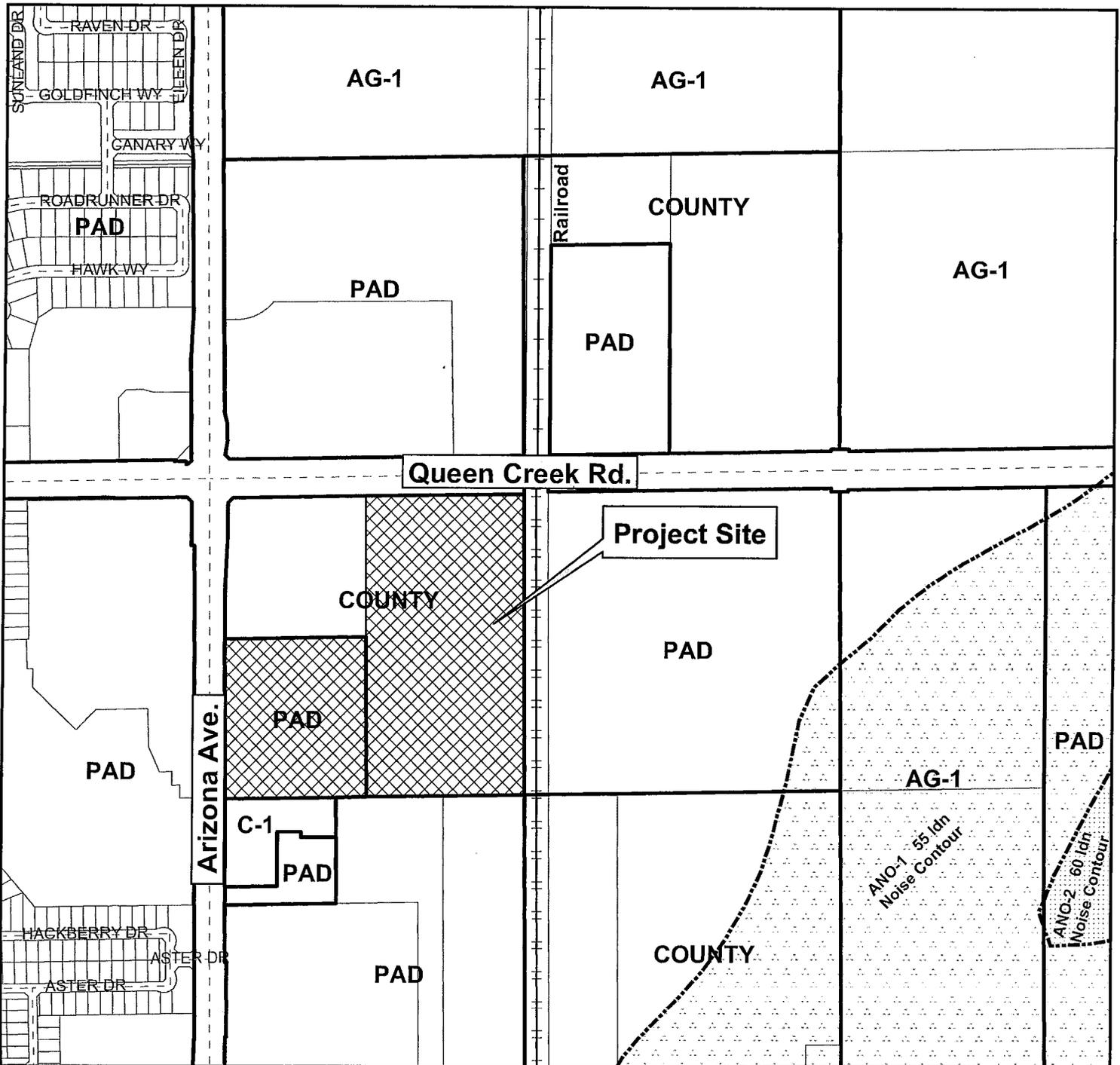
Move to deny Preliminary Development Plan request DVR14-0019 ENCLAVE AT HAMILTON RANCH for the single-family residential development, per Planning Staff recommendation.

Preliminary Plat

Move to deny Preliminary Plat request PPT14-0012 ENCLAVE AT HAMILTON RANCH, per Planning Staff recommendation.

Attachments

1. Vicinity Maps
2. Site Plan
3. Landscape Plan
4. Perspective
5. Housing Plan sample of elevations
6. Airpark Area Plan amendment exhibit
7. Preliminary Plat, PPT14-0012
8. Airport Conflicts Evaluation Report
9. Support Emails
10. Resolution No. 4848
11. Ordinance No. 4616
12. Development Booklet, Exhibit A

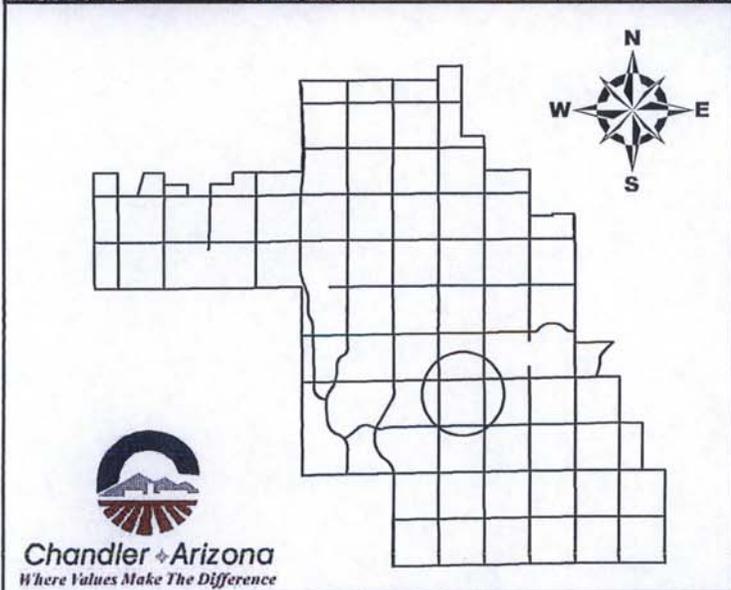
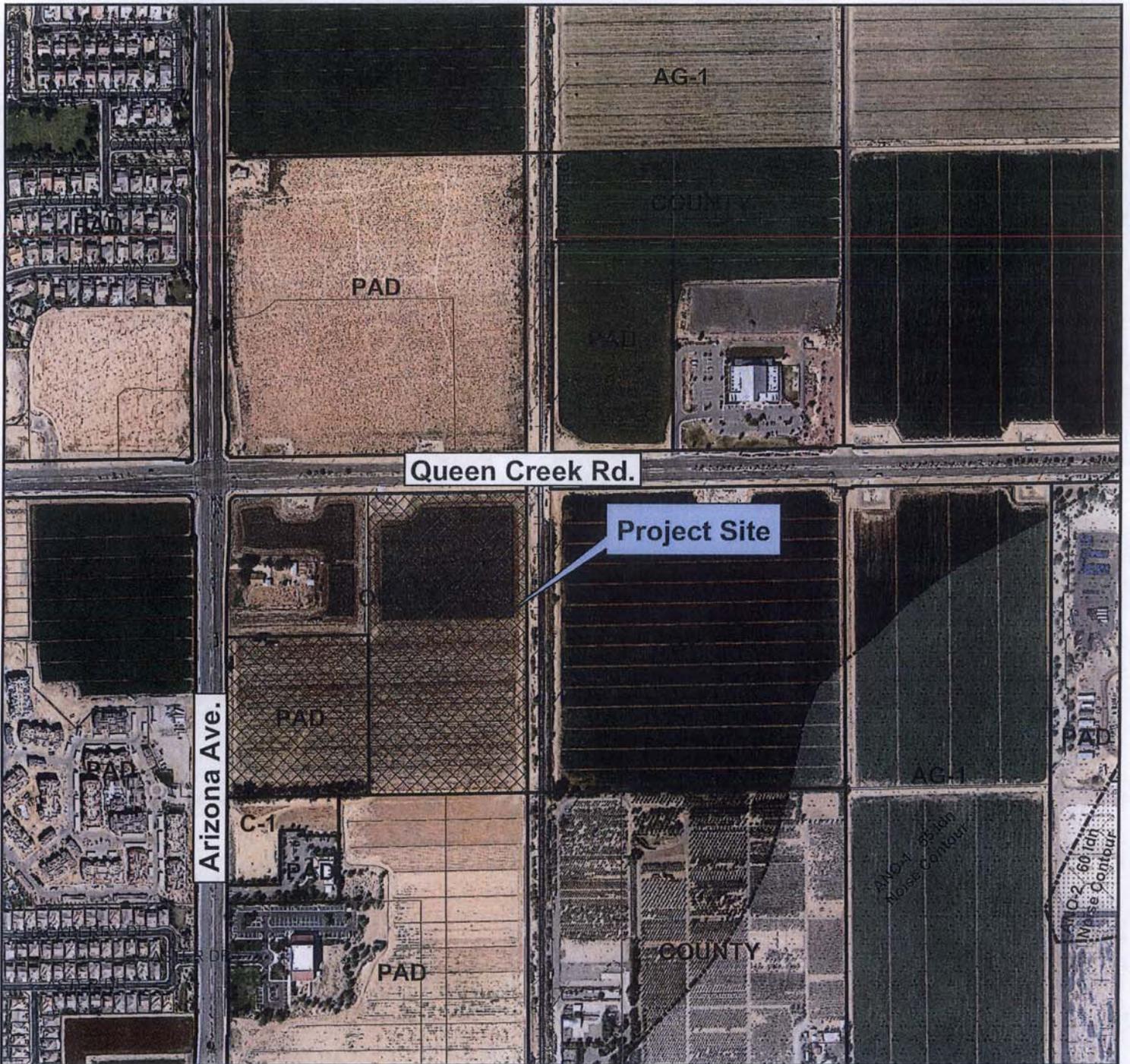


Vicinity Map


 APL14-0007/
 DVR14-0019

Enclave at Hamilton Ranch

CITY OF CHANDLER 6/6/2014



Vicinity Map

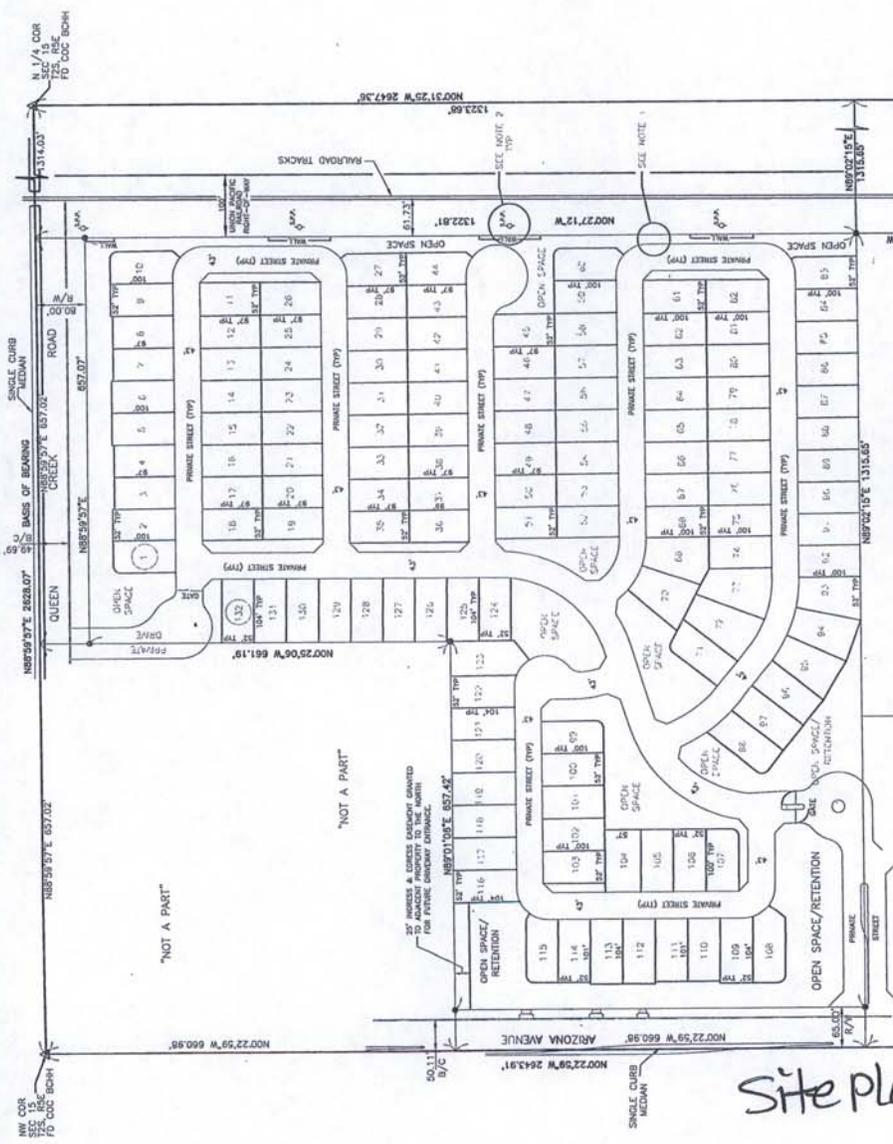


DVR14-0019

Enclave at Hamilton Ranch



DEVELOPMENT PLAN



NOTE 1: EXISTING PRIVATE CONCRETE IRRIGATION DITCH, FIELD ACCESS & IRRIGATION MAINTENANCE ROADS SHALL BE ABANDONED IN PLACE. PRIVATE IRRIGATION LINE SHALL BE INSTALLED TO CONTINUE IRRIGATION SERVICE TO THE SOUTH.

NOTE 2: PERIMETER WALL TO BE JOGGED IN & ADJACENT TO OPEN SPACE/RETENTION WALLS FOR A MINIMUM OF 100'. (SOUTH NORTH & SOUTH OF POLE)

Clouse Engineering Inc
ENGINEERS & ARCHITECTS
1442 E. Greenfield Rd
Mesa, AZ 85205
Tel: 480-233-8300 Fax: 480-233-8310

SITE PLAN
ENCLAVE AT HAMILTON RANCH
PART OF NW 1/4 OF THE NW 1/4, SEC. 15

DEVELOPER
FALCON POINT GROUP, LLC
2222 N. VAL VISTA DRIVE #6
MESA, ARIZONA 85213
TELEPHONE: (480) 233-7177
EMAIL: MICHAEL.BECK@FPG.COM

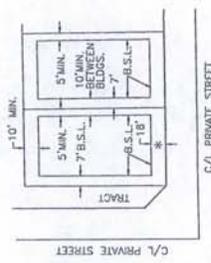
CIVIL ENGINEER
CLOUSE ENGINEERING, INC
JUDY GILES, P.E. REG #18075
1642 E. ORANGEWOOD AVENUE
PHOENIX, ARIZONA 85020
TELEPHONE: (602) 251-9000
EMAIL: JUDY@CLOUSEAZ.COM

LANDSCAPE ARCHITECT
NORRIS DESIGN
DOUG CRAIG, PLA REG #56793
4400 N. 12TH STREET, SUITE 236
PHOENIX, ARIZONA 85018
TELEPHONE: (602) 251-9000
EMAIL: doug@norris-design.com

ENCLAVE AT HAMILTON RANCH
A PORTION OF THE NW 1/4 OF THE NW 1/4, SECTION 15, T. 2 S., R. 5 E.
OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
SEC 15, T 2 S, R 5 E



TYPICAL LOT SETBACKS

* MIN 10' FOR SIDE-ENTRY GARAGES, PORCHES
OR LIMABLE SPACE & 18' FOR FORWARD FACING GARAGES

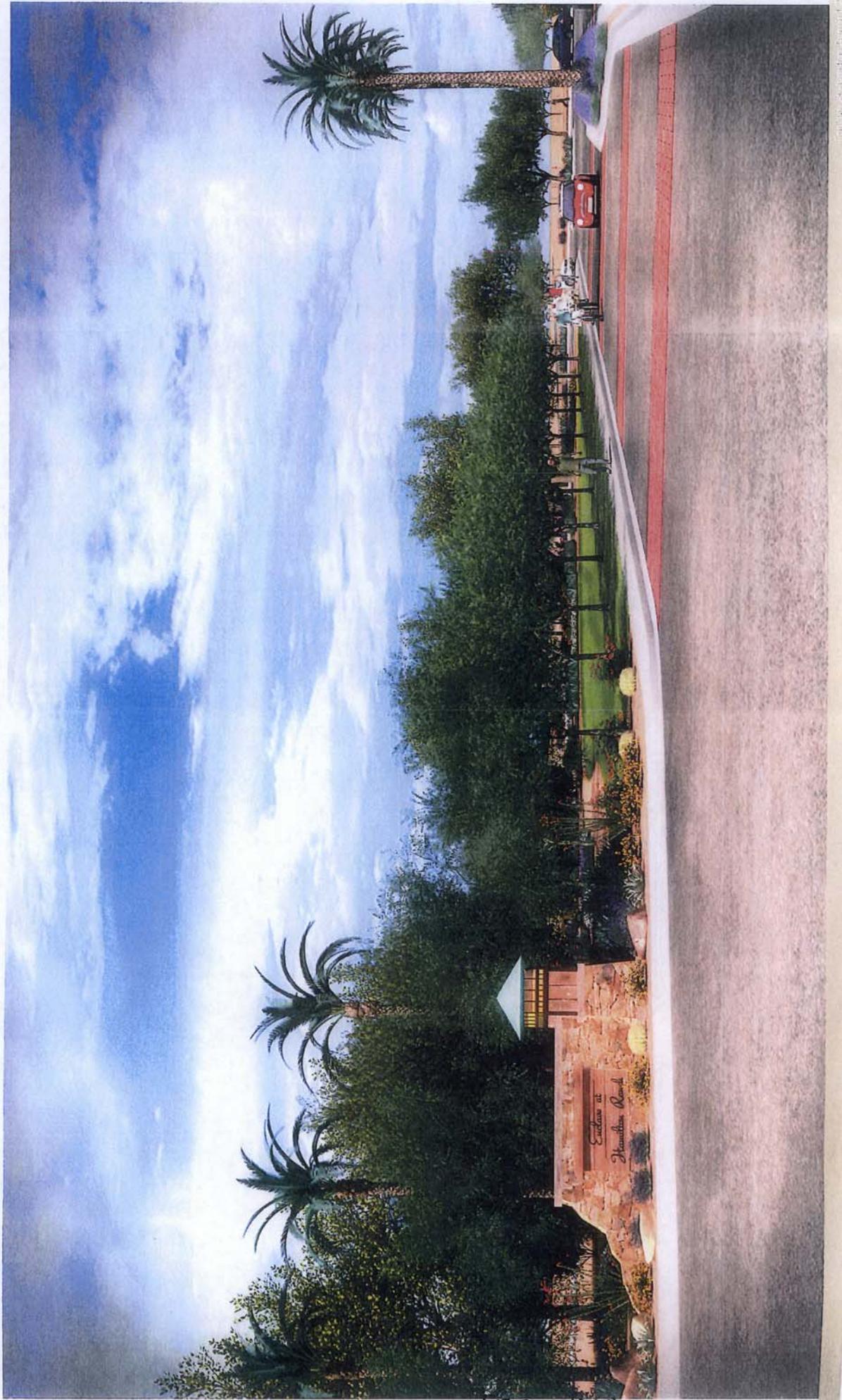
SITE DATA

132 LOTS:
GROSS AREA: 52,897' MINIMUM
GROSS DENSITY: 29.9400 ACRES
NET AREA: 4.41 LOTS/ACRE
NET DENSITY: 27.7470 ACRES
OPEN SPACE: 4.76 LOTS/ACRE
OPEN SPACE: 5.39 ACRES OR
18.0% GROSS AREA

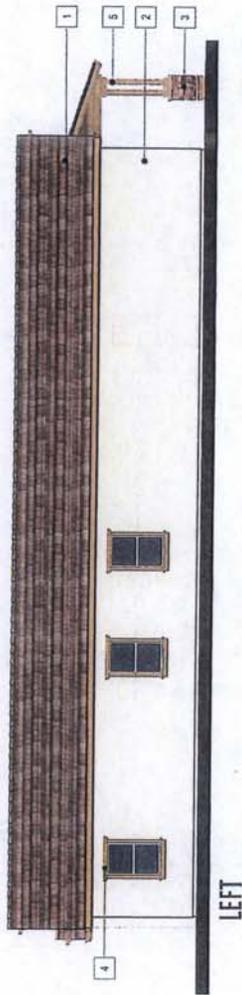
ASSESSOR PARCEL NUMBER: 303-41-011A &
303-41-016

Site plan

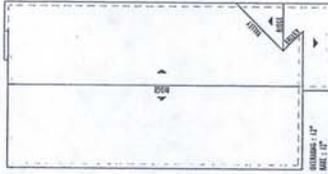
SITE MONUMENTATION - ENTRY SIGNAGE



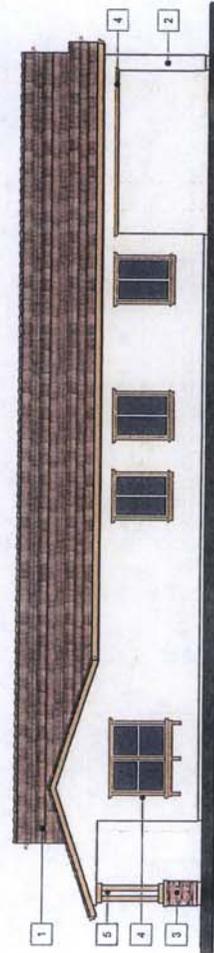
FLOOR PLAN TWO: 1,933 SF.
ELEVATIONS



LEFT

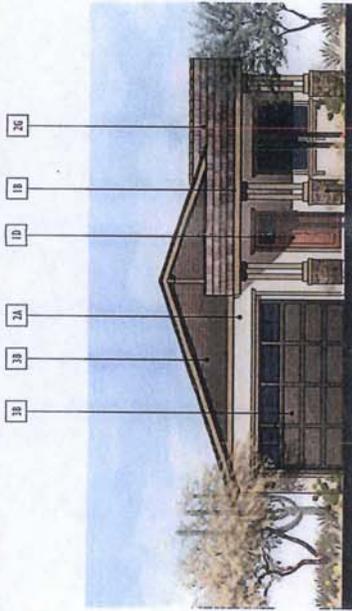


ROOF PLAN
3/16" = 1'-0"



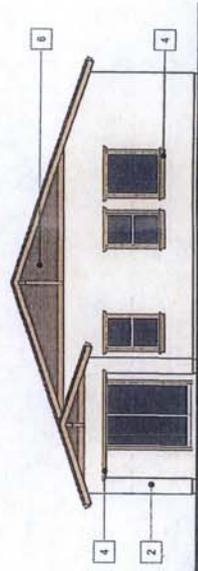
RIGHT

ENCLAVE AT HAMILTON RANCH



FRONT - TERRITORIAL RANCH

- | | |
|------------------------------|---------------------------------|
| MATERIAL LEGEND | COLOR LEGEND |
| 1 FLAT CONCRETE TILE ROOFING | 1E SW 6138 ARTIFACT |
| 2 STUCCO FINISH | 3E SW 7040 SHOREHOUSE |
| 3 STONE VENEER | 2A SW 7632 MODERN GRAY |
| 4 STUCCO FINISH TRIM | 1D SW 2803 ROCKWOOD TERRA COTTA |
| 5 WOOD POST | 3E CHABLIS MOUNTAIN STRIP STONE |
| 6 GABLE END DETAIL | 3E 4689 BROWN BLEND |



REAR

PLAN 2 - ELEVATIONS AND ROOF PLAN

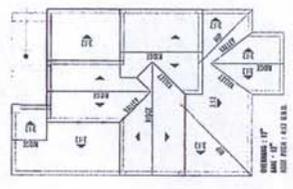
housing elevation

FLOOR PLAN THREE: 2,530 SF.
ELEVATIONS

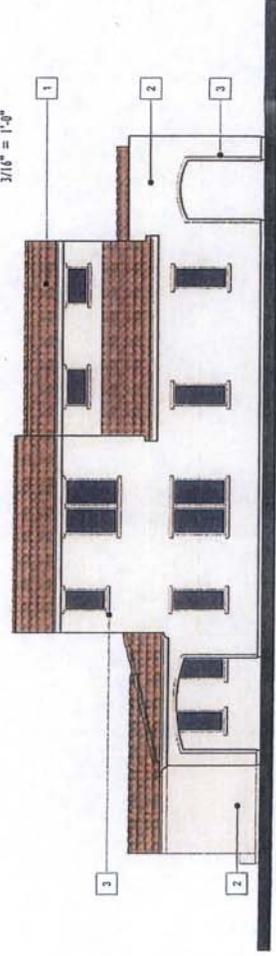


LEFT

1

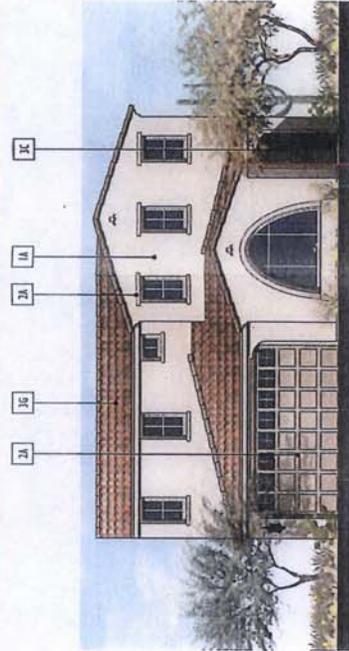


ROOF PLAN
3/16" = 1'-0"



RIGHT

ENCLAVE AT HAMILTON RANCH



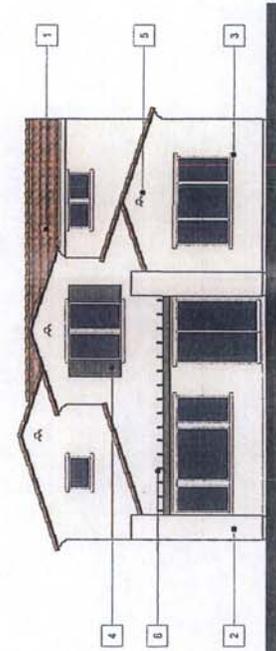
FRONT - SPANISH

MATERIAL LEGEND

- 1 SPANISH ROOF TILE
- 2 STUCCO FINISH
- 3 STUCCO FINISH TRIM
- 4 SHUTTERS
- 5 GABLE END DETAIL
- 6 TRELIS

COLOR LEGEND

- 2A SW 7632 MODERN GRAY
- 1A SW 7042 SHOJI WHITE
- 3C SW 7632 MODERN GRAY
- 3B 3605 SAN BENITO BLEND



REAR

PLAN 3 - ELEVATIONS AND ROOF PLAN

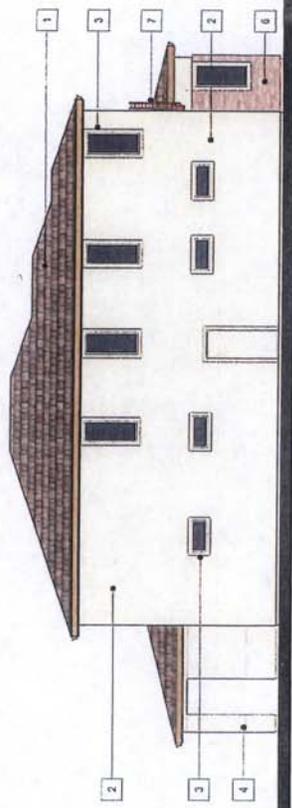
housing elevation

FLOOR PLAN FOUR: 2,734 SF.
ELEVATIONS

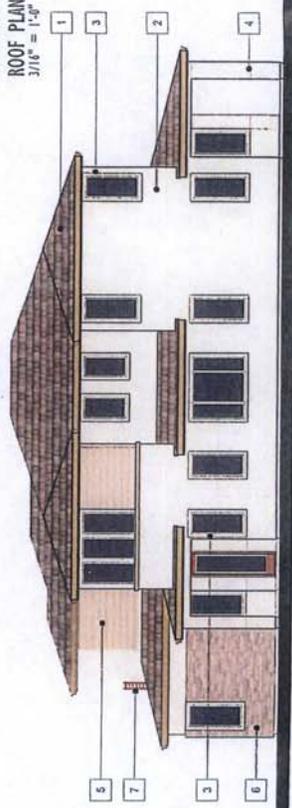
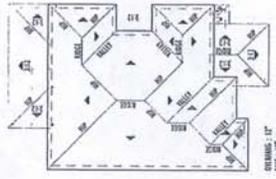


FRONT - CONTEMPORARY

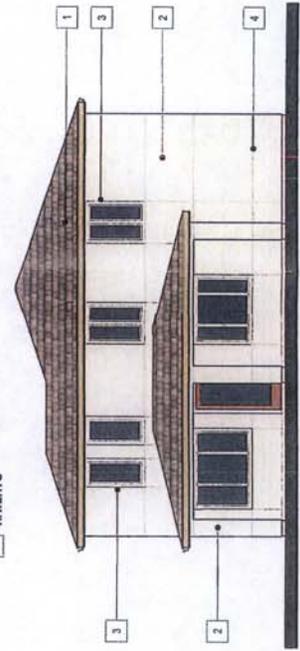
- MATERIAL LEGEND**
- 1 FLAT CONCRETE TILE ROOFING
 - 2 STUCCO FINISH
 - 3 STUCCO FINISH TRIM
 - 4 STUCCO SCREED
 - 5 SIDING
 - 6 STONE VENEER
 - 7 RAILING
- COLOR LEGEND**
- 1D SW 6138 ARTIFACT
 - 1A SW 7042 SHOJI WHITE
 - 1D SW 2803 ROOKWOOD TERRA COTTA
 - 1E COUNTRY BEIGE FRENCH LIMESTONE
 - 2G 4689 BROWN BLEND



LEFT



RIGHT



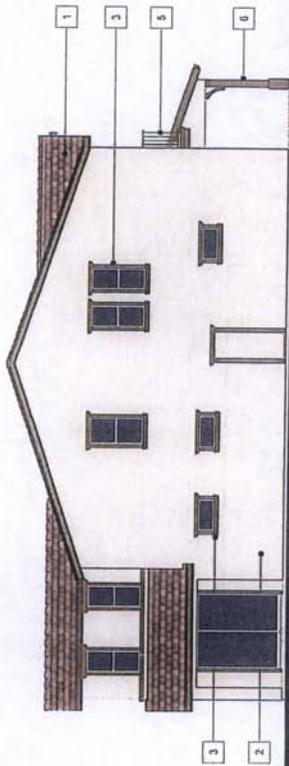
REAR

PLAN 4 - ELEVATIONS AND ROOF PLAN

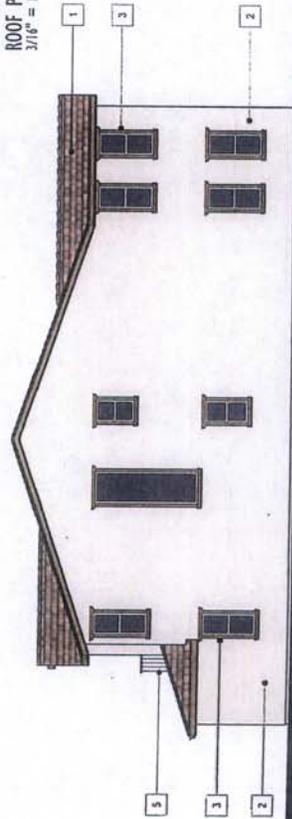
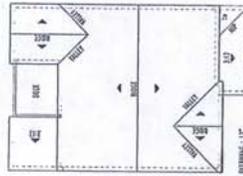
ENCLAVE AT HAMILTON RANCH

housing elevation

FLOOR PLAN FIVE: 2,827 SF.
ELEVATIONS



LEFT



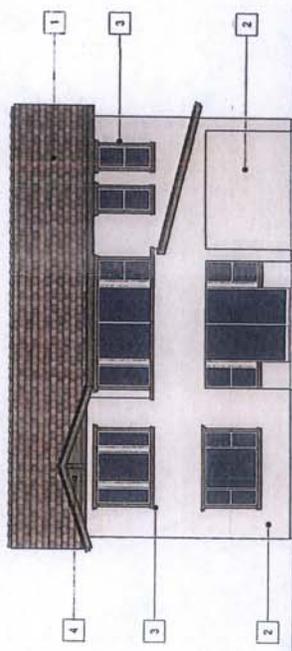
RIGHT

ENCLAVE AT HAMILTON RANCH



FRONT - TERRITORIAL RANCH

- MATERIAL LEGEND**
- 1 FLAT CONCRETE TILE ROOFING
 - 2 STUCCO FINISH
 - 3 STUCCO FINISH TRIM
 - 4 GABLE END DETAIL AND SIDING
 - 5 RAILING
 - 6 WOOD POST
- COLOR LEGEND**
- 1B SW 7040 SMOKEHOUSE
 - 2A SW 7632 MODERN GRAY
 - 1D SW 2803 ROOKWOOD TERRA COTTA
 - 3C 4689 BROWN BLEND



REAR

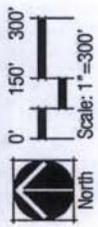
PLAN 5 - ELEVATIONS AND ROOF PLAN

housing elevation

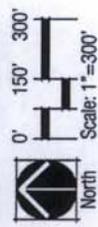
Airpark Area Plan Amendment



Current Airpark Area Plan
 Neighborhood Commercial
 Commercial Office / Business Park



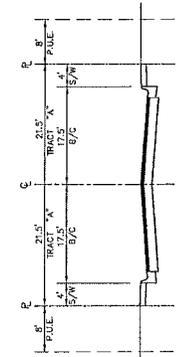
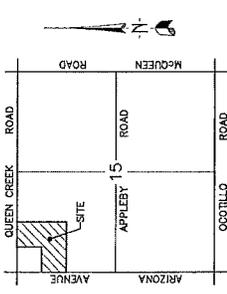
Proposed Airpark Area Plan
 Low-Medium Density Residential (LMDR)
 3.6-8.0 Dwelling Units/Acre



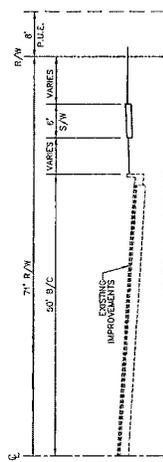
*Chandler Airpark
 Area Plan
 Amendment
 APL14-0007*

PRELIMINARY PLAT FOR ENCLAVE AT HAMILTON RANCH

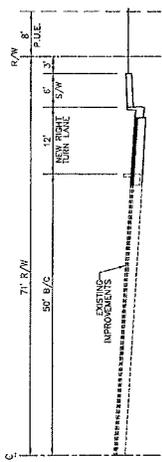
A PORTION OF THE NW 1/4 OF THE NW 1/4, SECTION 15, T. 2 S., R. 5 E.
OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



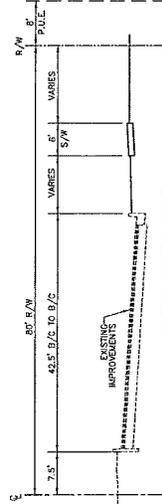
TYPICAL INTERIOR STREET



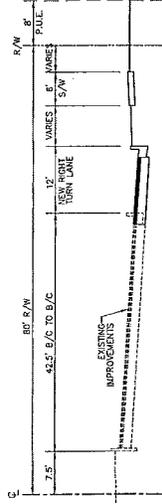
ARIZONA AVENUE
1'-10" LOOKING NORTH



ARIZONA AVENUE W/ RIGHT TURN LANE
1'-10" LOOKING NORTH

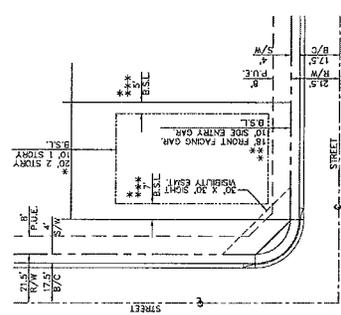


QUEEN CREEK ROAD
1'-10" LOOKING EAST



QUEEN CREEK ROAD W/ RIGHT TURN LANE
1'-10" LOOKING EAST

- ### LEGEND
- INDICATES A CORNER OF SURVEY, SET A 1/2" BAR 1/4" HIGH
 - SL STREET LIGHT
 - W.V. WATER VALVE
 - S.M.H. SEWER MANHOLE
 - I.M.H. IRRIGATION MANHOLE
 - R.M.H. RECLAIMED WATER MANHOLE
 - R.W.V. RECLAIMED WATER VALVE
 - B.C. BRASS CAP
 - C.C. CITY OF CHANDLER
 - 4 TRAFFIC SIGN
 - HW HEADWALL
 - R/W RIGHT OF WAY
 - B/C BACK OF CURB
 - MEASURED
 - CALCULATED
 - R.W. RECLAIMED WATER LINE
 - S.M.T. SIGHT VISIBILITY TRIANGLE
 - SWP SWIRL POLE
 - W.V. WATER VALVE
 - IRRI IRRIGATION MANHOLE
 - STREET LIGHT
 - RECLAIMED WATER VALVE
 - ASPHALT PAVEMENT
 - P.A.F. FAMILY CHURCH INC
 - EXISTING WATER OR SEWER LINE
 - B.S.L. BASIC SETBACK LINE



TYPICAL LOT SETBACKS

* ARCHITECTURAL ELEMENTS MAY ENCRUSH UP TO 12" BEYOND THE SETBACK LINE
 ** MAX 10' SETBACK FOR OVERHEAD UTILITY LINES
 *** MAX 10' SETBACK FOR OVERHEAD UTILITY LINES

BASIS OF BEARING
 THE BASIS OF BEARING IS THE NORTH LINE OF THE EASTWEST QUARTERS OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE 6, 7, 8, 9, R. 5 E. USING A BEARING OF 89°09'29.9"

RETENTION VOLUME REQUIRED
 ARIZONA AVENUE: 14,820.20 CF
 QUEEN CREEK ROAD: 14,820.45 CF

LOCATION
 LATITUDE: NAD83(992): 331,543.3N
 LONGITUDE: NAD83(992): 111,5028.8W

BENCH MARK (CMCN# 43A)
 SECTION 9, T2S, R5E, 3" BRASS CAP IN CONCRETE, 100' NORTH, WEST CORNER OF INTERSECTION OF ARIZONA AVENUE AND QUEEN CREEK ROAD, ON 80' WIDE CORNER, 10' FROM SOUTHWEST CORNER, NORTHING: 823148.607, EASTING: 723063.952, UTM ZONE 29 ELEVATION: 1213.86 (EQUATION +1.693 TO NAD 88 ELEVATION 1213.57)

UTILITIES AND SERVICES

- WATER SERVICE BY THE CITY OF CHANDLER
- SEWER SERVICE BY THE CITY OF CHANDLER
- TELEPHONE SERVICE BY CENTURYLINK
- TELEPHONE SERVICE BY CENTURYLINK
- GAS SERVICE BY SOUTHWEST GAS
- CABLE SERVICE BY COX CABLE
- REFUSE SERVICE BY THE CITY OF CHANDLER
- REFUSE SERVICE BY THE CITY OF CHANDLER

SITE SUMMARY

CORNER ACRES: 93.8400 AC. 1,304,188 S.F.
 NET ACRES: 27,7470 AC. 1,208,890 S.F.
 TOTAL LOTS: 132
 EXISTING ZONING: R1-43 AND PAD
 PROPOSED ZONING: PLANNED AREA DEVELOPMENT (PAD)

NOTES

- 1. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 2. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 3. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 4. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 5. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 6. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 7. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 8. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 9. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.
- 10. THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY OF CHANDLER UNTIL THE IMPROVEMENTS SHOWN ON THIS SET OF PLANS HAVE BEEN FULLY APPROVED BY THE CITY OF CHANDLER.

ENGINEER
 CLOUSE ENGINEERING INC.
 1642 E. GRANDVIEW AVENUE
 PHOENIX, ARIZONA 85016
 PHONE: (602) 396-3928
 FAX: (602) 396-3710

DEVELOPER
 FALCON POINT GROUP LLC
 2733 N. POWER ROAD #102-613
 MESA, ARIZONA 85205
 PHONE: (480) 395-9300
 FAX: (480) 807-8629
 CONTACT: WENDELL BECK

Pre-plat
 PPT 14-0012

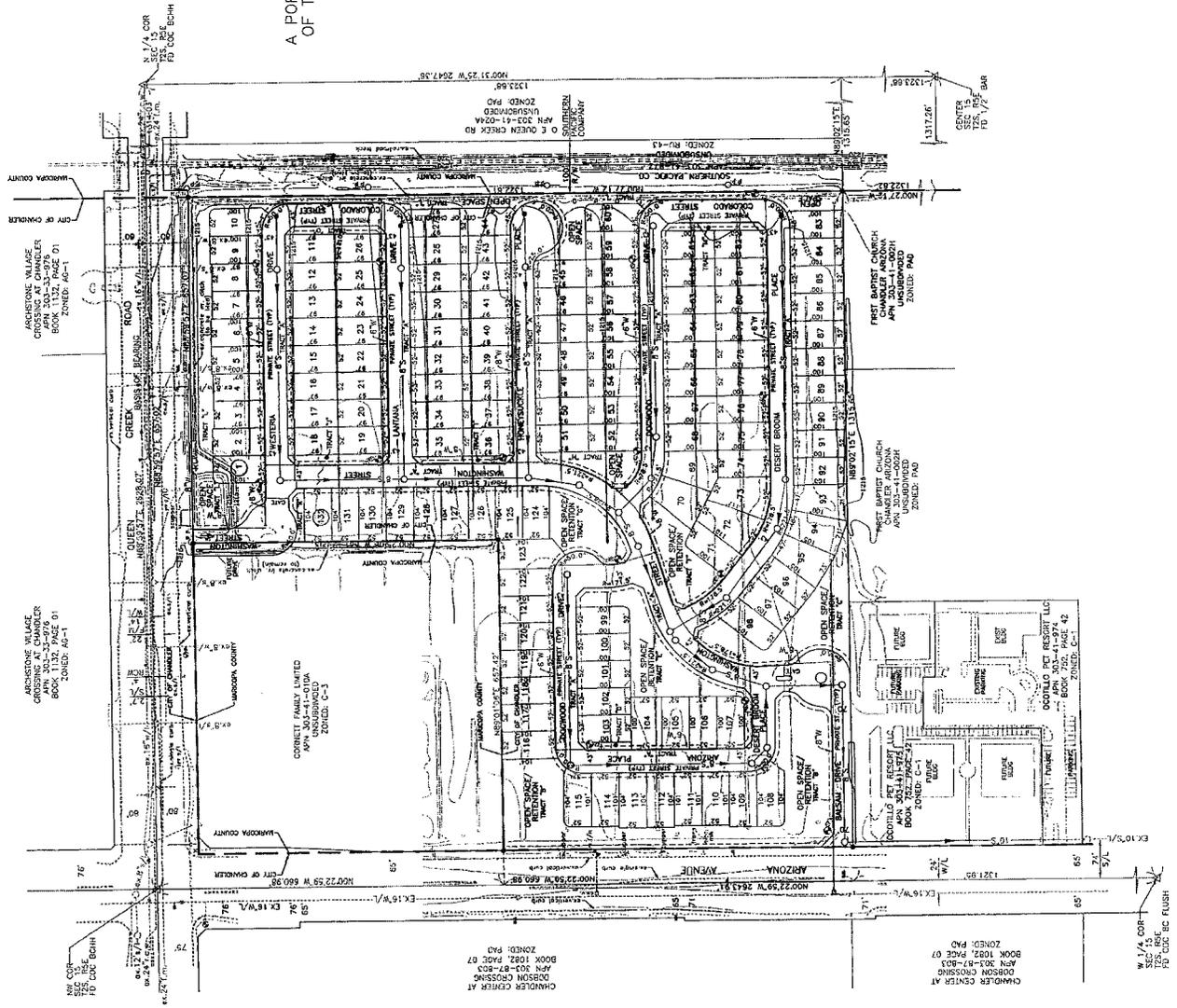
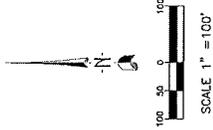
PRELIMINARY PLAT
 FOR
ENCLAVE AT HAMILTON RANCH

Revised
 02-23-15

Date
 02-24-14
 App-By
 Job No.
 130903B

PRELIMINARY PLAT
 FOR
ENCLAVE AT HAMILTON RANCH

A PORTION OF THE NW 1/4 OF THE NW 1/4, SECTION 15, T. 2 S., R. 5 E.
 OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



Pre-Plat
 PPT14-0012



MEMORANDUM

Airport Memo No. AP15-017

DATE: OCTOBER 14, 2014
TO: JEFF KURTZ, ZONING ADMINISTRATOR
FROM: LORI QUAN, AIRPORT ADMINISTRATOR *LQ*
SUBJECT: AIRPORT CONFLICTS EVALUATION – DVR14-0019 – ENCLAVE AT HAMILTON RANCH

The Airport Commission discussed the proposed residential subdivision, Enclave at Hamilton Ranch, located south and east of the southeast corner of Arizona Avenue and Queen Creek Road during the regular meeting held on October 8, 2014.

Finding: The Commission determined the proposed development does constitute a conflict with existing or planned airport uses.

Conflict(s) Cited: This change is incompatible with the City's guiding documents that are designed to preserve the long-term viability of the Airport and the Airpark Area Employment Corridor. The Commission's also noted that the project is not within the Airport's recognized noise contours as identified by Day-Night Levels (DNL), which represent noise exposure events over a 24-hour period. However, due to the proposed subdivision's proximity to the Airport and established air traffic patterns, new residents are likely to be affected by substantial single-event noise occurrences caused by over flights.

Conflict Resolution(s): None.

Commission Members in Attendance: Frank Nechvatal, Kelly McMullen, Schulyer "Sky" McCorkle, Chelle Daly and Corinna Joy. This attendance represented a quorum.

In compliance with the Airport Conflicts Evaluation Process, the Commission voted 5-0 to forward a report to the Planning Administrator and City Council indicating the findings noted above.

cc: Jodie Novak

*Airport Conflicts Eval
letter*



Support letter / Enclave at Hamilton Ranch

Adam Baugh

to:

Jodie.Novak@chandleraz.gov

03/03/2015 05:20 PM

Hide Details

From: Adam Baugh <adam@witheymorris.com>

To: "Jodie.Novak@chandleraz.gov" <Jodie.Novak@chandleraz.gov>

History: This message has been replied to.

1 Attachment



EHR Support Letter - First Baptist Church.pdf

Jodie,

I received the attached letter of support from the adjacent property owner today. Please see the attached.

G. Adam Baugh, Esq.

Withey Morris PLC

2525 E Arizona Biltmore Circle #A-212

Phoenix, AZ 85016

Ph: (602) 230-0600

Fax: (602) 212-1787



Please be advised that this e-mail and any files transmitted with it are confidential attorney-client communication or may otherwise be privileged or confidential and are intended solely for the individual or entity to whom they are addressed. If you are not the intended recipient, please do not read, copy or retransmit this communication, but destroy it immediately. Any unauthorized dissemination, distribution or copying of this communication is strictly prohibited.

FBC Chandler

100 YEARS - 1913-2013

"A church on the move!"

March 2, 2015

Chandler Planning Commission
City of Chandler
Transportation & Development
215 E. Buffalo St.
Chandler, AZ 85225

Re: Enclave at Hamilton Ranch

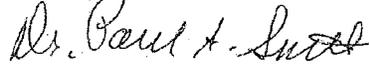
Dear Members of the Planning Commission:

My name is Dr. Paul A. Smith, Pastor at First Baptist Church Chandler, located at 3405 S. Arizona Ave., which is immediately south of the proposed development. I recently had an opportunity to discuss the project with the development team to learn more about their proposal and land plan, and I am supportive of the project.

The residential community is well designed and complementary to our church campus and long-term development plans. We feel it is a more compatible use than a massive commercial development or 30-acre office project. We all can benefit from additional rooftops in the area to help support the area's commercial businesses and perhaps jumpstart development of the other vacant corners.

I hope you approve this request.

Sincerely,



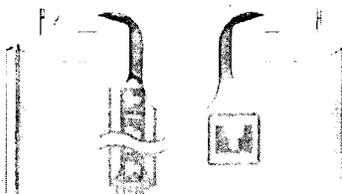
Dr. Paul A. Smith, Pastor

3405 S. Arizona Ave.
Chandler, AZ 85248
www.fbc.net



[facebook.com/FirstBaptistChandler](https://www.facebook.com/FirstBaptistChandler)

Phone: 480-963-3439
Fax: 480-963-4072



5



Letter of Support for Enclave at Hamilton Ranch (queen creeek&arizona avenue)
Parker, Katherine S

to:

Jodie.Novak@chandleraz.gov, Mayor&Council@chandleraz.gov

03/03/2015 06:01 PM

Hide Details

From: "Parker, Katherine S" <katherine.s.parker@intel.com>

To: "Jodie.Novak@chandleraz.gov" <Jodie.Novak@chandleraz.gov>, "Mayor&Council@chandleraz.gov" <Mayor&Council@chandleraz.gov>

1 Attachment



Enclave at Hamilton Ranch Letter.pdf

Hi Jodie, Mayor Tibshraeny and Council of Chandler,

Please see my attached letter of support for the Enclave Hamilton Ranch development. I'm hopeful a residential subdivision will be built on that empty lot!

Thank you for taking the time to read my letter, Katherine Parker

Mayor Tibshraeny
Office of the Mayor & City Council
Mail Stop 603
P.O. Box 4008
Chandler, AZ 85244

Re: Enclave at Hamilton Ranch / Queen Creek & Arizona Avenue

Dear Members of the Planning Commission:

I recently became aware of the rezone application for the property at the southeast corner of Arizona Avenue and Queen Creek. I saw the sign posted on the property and I was curious about the proposal because I live nearby in the Avalon at Dobson Crossing subdivision (381 W. Hackberry Dr.). I am excited to see something finally develop at this site. For years, the four corners of this intersection have been vacant and we all know commercial will not happen anytime soon given the three large commercial centers just down the street. We can stare at the vacant intersection properties forever, but the recent apartment developments appear to be the only thing that is attracted to this intersection.

Every day I have to see the half-built, blighted office and commercial development at Chandler Heights & Arizona Avenue and it's such an eyesore for the area. The last thing we want to see is another project like that at Queen Creek too. I am happy to learn a new residential subdivision will be built here which will actually bring rooftops to support the area commercial. Hopefully it will spur interest in developing the other empty corners because we really don't need more apartments or another empty employment center along this corridor. I hope you approve this request.

Sincerely,


Katherine Parker

5



EHR Support Letter

Christine Stone to: mayor&council@chandleraz.gov
Cc: "jodie.novak@chandleraz.gov"

03/03/2015 07:31 PM

From: Christine Stone <christine.a.stone@cox.net>
To: "mayor&council@chandleraz.gov" <mayor&council@chandleraz.gov>
Cc: "jodie.novak@chandleraz.gov" <jodie.novak@chandleraz.gov>

1 attachment



EHR Support Letter.pdf

Hello, Mayor Tibshraeny, Chandler Council, and Ms. Novak,

Attached is my letter of support for the proposed residential subdivision located at Az Ave. & Queen Creek, Enclave at Hamilton Ranch. I am in favor of having that site being developed with single family homes.

Thank you for your consideration.
Christine Stone

Sent from my iPhone

5

March 1, 2015

Planning Commission
City of Chandler
Transportation & Development
215 E. Buffalo St.
Chandler, AZ 85225

Re: Enclave at Hamilton Ranch / Queen Creek & Arizona Avenue

Dear Members of the Planning Commission:

I am a resident in the Fulton Ranch subdivision which is close to the new development called Enclave at Hamilton Ranch. We moved to this area because of the great schools, strong community and amenities in this area. This area of Arizona Avenue is great because of the high quality subdivisions that exist in the area. That is why I support the proposed neighborhood development at Queen Creek and Arizona Avenue. When you drive this area, you always wonder why this intersection hasn't developed like the rest of Arizona Avenue to the south. Its unlikely new commercial will work here because of the great shopping centers we already have in the area. My fear is the alternative and nobody wants to see more apartments, or industrial uses next to the railroad, or more vacant land. Just look at the blighted commercial and office project just down the street at Chandler Heights. It's a mess, and if the area can't support that, then it won't support more of the same at this intersection. I like the proposed subdivision and I think it is a good use here. Hopefully you agree.

Sincerely,



Christine Stone



My Support for Potential residential subdivision at Queen Creek and Arizona Ave
Robert Stetler

to:

Jodie.Novak@chandleraz.gov, Mayor&Council@chandleraz.gov

03/04/2015 09:31 AM

Hide Details

From: Robert Stetler <rwstetler@yahoo.com>

To: "Jodie.Novak@chandleraz.gov" <Jodie.Novak@chandleraz.gov>,

"Mayor&Council@chandleraz.gov" <Mayor&Council@chandleraz.gov>

Please respond to Robert Stetler <rwstetler@yahoo.com>

1 Attachment



EnclaveLtr-02.pdf

To: Interest Chandler Government Officials,

Attached is my letter of support for the proposed residential subdivision at Queen Creek Road and Arizona Avenue.

Thank you for listening to my interest in this proposed project.

Sincerely,

Robert W. Stetler

S

February 27, 2015

VIA Hand Delivery

City of Chandler
Transportation & Development
215 E. Buffalo St.
Chandler, AZ 85225

Re: Enclave at Hamilton Ranch / APL14-0007 and DVR14-0019

To Whom It May Concern:

I want to express my support for the residential subdivision proposed at Queen Creek and Arizona Avenue. I am a property owner that lives in the area and I drive past this intersection daily. I have seen the area transition into a residential corridor over the years and with the inclusion of new apartments and cluster homes at this intersection, more commercial doesn't make any sense. There are already 3 corners of vacant commercial land here which will have to compete with the Target, Home Depot and Lowe's shopping centers just down the street. I believe a high quality residential subdivision like the one proposed will be better for the area and will actually help strengthen the commercial activity in the area.

Sincerely,



Robert Stetler

8831 E Copper Dr
Chandler, AZ 85248



letter of support / Enclave at Hamilton Ranch

Adam Baugh

to:

Jodie.Novak@chandleraz.gov

03/04/2015 02:47 PM

Cc:

"Mayor&Council@chandleraz.gov"

Hide Details

From: Adam Baugh <adam@witheymorris.com>

To: "Jodie.Novak@chandleraz.gov" <Jodie.Novak@chandleraz.gov>

Cc: "Mayor&Council@chandleraz.gov" <Mayor&Council@chandleraz.gov>

1 Attachment



Letter regarding enclave at Hamilton Ranch.pdf

Jodie,

Attached is a letter of support from the adjacent neighbor to the south of Enclave at Hamilton Ranch.

G. Adam Baugh, Esq.

Withey Morris PLC

2525 E Arizona Biltmore Circle #A-212

Phoenix, AZ 85016

Ph: (602) 230-0600

Fax: (602) 212-1787



Please be advised that this e-mail and any files transmitted with it are confidential attorney-client communication or may otherwise be privileged or confidential and are intended solely for the individual or entity to whom they are addressed. If you are not the intended recipient, please do not read, copy or retransmit this communication, but destroy it immediately. Any unauthorized dissemination, distribution or copying of this communication is strictly prohibited.

S

February 27, 2015

Chandler Mayor and City Council
c/o Jodie Novak
City of Chandler
Transportation & Development
215 E. Buffalo St.
Chandler, AZ 85225

Re: Arizona Avenue and Queen Creek / DVR14-0019

Dear Mayor and Councilmembers:

We are the owners of the land directly south of the proposed subdivision called Enclave at Hamilton Ranch. We have been in contact with the development team as this project was processed through the City and we support the land use they are proposing.

Sincerely,

A handwritten signature in cursive script that reads "Dan & Leslie Wheeler".

Dan & Leslie Wheeler

RESOLUTION NO. 4848

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, ADOPTING AN AMENDMENT TO THE "CHANDLER AIRPARK AREA PLAN" FROM NEIGHBORHOOD COMMERCIAL AND COMMERCIAL/OFFICE/BUSINESS PARK WITH A LIGHT RAIL CORRIDOR OVERLAY TO LOW-MEDIUM DENSITY RESIDENTIAL ON PROPERTY LOCATED SOUTH AND EAST OF THE SOUTHEAST CORNER OF ARIZONA AVENUE AND QUEEN CREEK ROAD.

WHEREAS, an interest has been expressed in seeking approval of a rezoning request, pending approval of an Area Plan amendment, for a particular development proposal located south and east of the southeast corner of Arizona Avenue and Queen Creek Road; and

WHEREAS, the Land Use and Neighborhood Planning Elements of the Chandler General Plan adopted by the City Council on June 26, 2008 encourage the preparation of neighborhood plans/Area Plans that address distinct characteristics and support unique land use planning for each area; and

WHEREAS, an existing area plan, the "Chandler Airpark Area Plan", has been adopted for the area bounded by Arizona Avenue, Gilbert Road, Pecos Road, and Ocotillo Road;

WHEREAS, the applicant prepared this amendment to the existing "Chandler Airpark Area Plan"; and

WHEREAS, such an amendment, covering a portion of the adopted Area Plan including a map has been prepared by the applicant for consideration by the City Council after having received public input from the Planning and Zoning Commission and property owners at a previous public hearing;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. That the attached map exhibit, an Amendment to the "Chandler Airpark Area Plan", as presented to the Planning and Zoning Commission and approved at their public hearing held on March 4, 2015, is hereby adopted as the guideline for future rezoning and development for the area described within it.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this _____ day of _____, 2015.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 4848 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting was held on the _____ day of _____, 2015, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

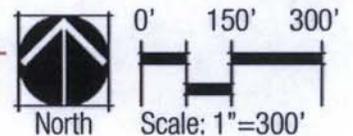
CITY ATTORNEY *jksm*

Airpark Area Plan Amendment



Proposed Airpark Area Plan

Low-Medium Density Residential (LMDR)
3.6-8.0 Dwelling Units/Acre



APL14-0007

Resolution No. 4848

ORDINANCE NO. 4616

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL DISTRICT (AG-1) AND PLANNED AREA DEVELOPMENT (PAD) FOR OFFICES TO PAD (RESIDENTIAL) IN CASE (DVR14-0019 ENCLAVE AT HAMILTON RANCH) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'.

Said parcel is hereby rezoned from Agricultural District (AG-1) and Planned Area Development (PAD) for Offices to PAD (Residential), subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "ENCLAVE AT HAMILTON RANCH" kept on file in the City of Chandler Planning Services Division, in File No. APL14-0007/DVR14-0019, except as modified by conditions herein.

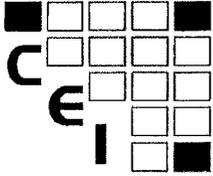
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual # 4).
6. The developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
8. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Planning Administrator for arterial street median landscaping.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement
10. Homebuilder will advise all prospective homebuyers of the information on future City facilities contained in the City Facilities map found at www.chandleraz.gov/infomap, or available from the City's Communication and Public Affairs Department. The homebuilder shall post a copy of the City Facilities map in the sales office showing the location of future and existing City facilities.

11. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
- a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorders Office upon sale of the property.
 - b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area), as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
 - c) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
 - d) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
 - e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 35-3004 of the City of Chandler Zoning Code.

- f) All homes and buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”

12. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a heliport at the Chandler Municipal Airport that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a heliport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
13. Prior to the time of making any lot reservations or subsequent sales agreements, the home builder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.



Attachment 'A', ord. 4616
Clouse Engineering, Inc.
ENGINEERS ■ SURVEYORS

1642 E. Orangewood Ave. ■ Phoenix, Arizona 85020 ■ TEL (602) 395-9300 ■ FAX (602) 395-9310

September 3, 2013
Job No. 130808

**Legal Description
For
Enclave at Hamilton Ranch**

A portion of the Northwest quarter of the Northwest quarter of Section 15, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at a City of Chandler brass cap in handhole marking the Northeast corner of Section 15 from whence a City of Chandler brass cap in hand hole marking the North quarter corner of said Section 15 bears North 88 degrees 59 minutes 57 seconds East (Basis of Bearing) a distance of 2,628.07 feet;

Thence North 88 degrees 59 minutes 57 seconds East along the North line of said Northwest quarter of Section 15 a distance of 657.02 feet

Thence South 00 degrees 25 minutes 26 seconds East a distance of 80.00 feet to the South line of the North 80.00 feet of said Northwest quarter of Section 15 and the **Point of Beginning**;

Thence along said South line, North 88 degrees 59 minutes 57 seconds East a distance of 657.07 feet to a point on the East line of said East half of the Northwest quarter of the Northwest quarter of Section 15;

Legal Description
Total Property
Job No. 130808
September 3, 2013
Page 2

Attachment 'A'
Ord. 4616

Thence along said East line, South 00 degrees 27 minutes 12 seconds East a distance of 1242.81 feet to the Southeast corner of said Northwest quarter of the Northwest quarter of Section 15

Thence along the South line of said Northwest quarter of the Northwest quarter of Section 15, South 89 degrees 02 minutes 15 seconds West a distance of 1250.65 feet to a point on the East line of the West 65.00' feet of the Northwest quarter of Section 15;

Thence along said East line North 00 degrees 22 minutes 59 seconds West a distance of 661.00 feet to the **Point of Beginning**;

Note: The above described parcels contain 1,208,660 square feet or 27.7470 acres, more or less.

