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MEMORANDUM Planning Division – PZ Memo No. 14-102

DATE: NOVEMBER 19, 2014

TO: PLANNING AND ZONING COMMISSION

THRU: JEFF KURTZ, PLANNING ADMINISTRATOR
KEVIN MAYO, PLANNING MANAGER *KM*

FROM: ERIK SWANSON, SENIOR CITY PLANNER *ES*

SUBJECT: ZUP13-0032 ST. LUKE’S BEHAVIORAL HEALTH

Request: Use Permit extension approval for the continued operation of a therapy business in an office/industrial building

Location: 325 E. Elliot Road, Suites 29;
East of the southeast corner of Elliot Road and Arizona Avenue

Applicant: Rob White; Univest Management Company

RECOMMENDATION

Planning Staff, upon finding consistency with the General Plan, recommends approval for five (5) years, subject to conditions.

BACKGROUND

The subject site is located within the 240-acre Arizona Corporate Park that was zoned I-1/PAD for industrial uses and a limited amount of commercial and office uses in 1981. The corporate park encompasses land both north and south of Elliot Road. The subject site’s zoning was limited to I-1 uses in the 1981 zoning. A Use Permit was approved in 1988 for the subject site to allow general office uses to the extent allowed by parking provision, but it specifically prohibited medical office uses. A Use Permit was granted for the therapy business in late 2011 for two years. The subject request is to allow the continuation of the therapy business. Operations of the business have not changes since the prior approval.

The business occupies 8,000 square feet in the southwestern portion of the site. The site contains two horseshoe-shaped buildings with parking around the perimeter and a small truck court between the buildings. The floor plan features six (6) group rooms, a lunch room, and 14 smaller

offices. The smaller offices will house the program director, therapists, nurse, psychiatrist, and other employees.

The business primarily involves group therapy in a clinical setting via two types of programs. The Momentum Program is run Monday through Saturday 8:30 a.m. to 2:30 p.m., with a maximum of 5 groups of ten persons (50 persons at a time), attending multiple short sessions during the timeframe. The average number of participants is around 25 per day; however, the sessions are staffed to accommodate the larger group. Lunch is catered into the facility allowing clients to eat together in the facility.

The second program, Chemical Dependency Intensive Outpatient Treatment Program (CD-IOP), is run Monday, Wednesday, and Thursday 9 a.m. to noon and 6 p.m. to 9 p.m. On average there are roughly 5 clients in the morning and 8 clients in the evening program; however, the program can operate with up to 15 clients per group.

All clients participate in group counseling with the occasional one-on-one counseling session. At full capacity with both programs operating, the potential exists for 55 patients at the site during the day and 15 clients in the evening.

The business will use private passenger vans to transport all patients in the Momentum Program – none of these patients are allowed to drive. Patients in the CD-IOP are allowed to drive themselves, though many are anticipated to use public transit, which is one of the primary factors as to why the business wishes to remain located near the Elliot Road/Arizona Avenue intersection.

At 8,000 square feet, the Zoning Code would require 54 parking spaces for this medical use. The business as proposed could generate up to 42 vehicles if operating at capacity that would include transport vans, clients, and the necessary medical staff. It is unlikely that the business will ever be at full capacity at any given time. Therefore, there is no parking conflict presented by the proposed use. Planning Staff is unaware of any parking issues occurring since the start of operation for the business.

DISCUSSION

Planning Staff recommends approval of the request, finding that a group therapy use fits in well with the established office/light industrial neighbors and does not present land use conflicts. The five year recommendation allows Planning Staff to monitor the ongoing use to ensure the operation of the program remains compatible within the larger business park. The unique nature of the business' transportation situation serves to significantly lessen the traffic impact compared to typical medical office uses. Though hazardous materials can be of concern in other industrial settings, this particular site has a less industrial nature due to its allowance of general office uses and its tight courtyard. In practice, the proposed use will have an impact similar to the general office uses already permitted.

PUBLIC/NEIGHBORHOOD NOTIFICATION

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held Tuesday, November 4, 2014, at the subject site. No citizens attended.

As of the writing of this memo, Planning Staff has not received any correspondence in opposition to the request.

RECOMMENDED ACTION

Planning Staff, upon finding consistency with the General Plan, recommends approval of ZUP13-0032 ST. LUKE'S BEHAVIORAL HEALTH subject to the following conditions:

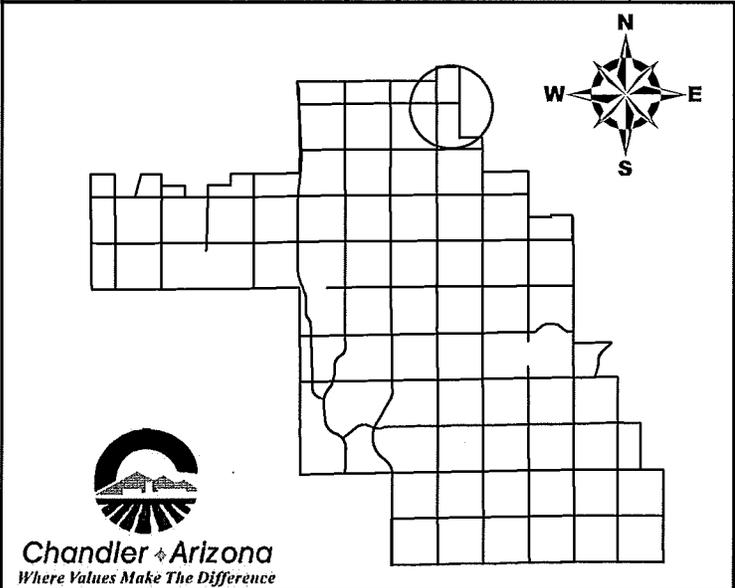
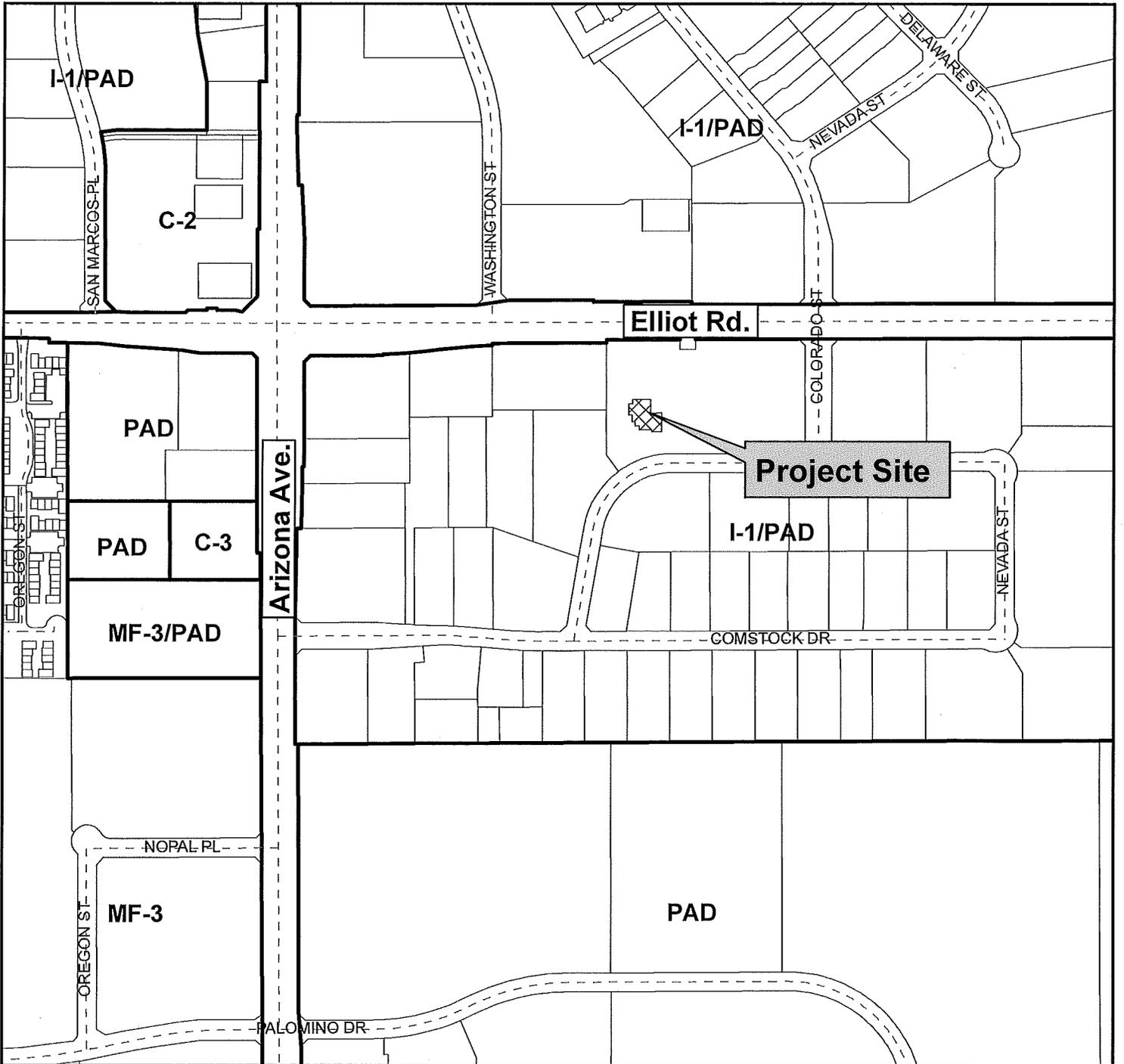
1. Development shall be in substantial conformance with the submitted application documents (Narrative, Site Plan, Floor Plan) except as modified by condition herein.
2. Development shall be in substantial conformance with all existing approvals for the site, except as modified herein.
3. The Use Permit shall remain in effect for five (5) years from the effective date of City Council approval. Continuation of the Use Permit beyond the expiration date shall require re-application to and approval by the City of Chandler.

PROPOSED MOTION

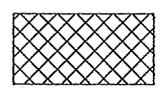
Move to approve ZUP13-0032 ST. LUKE'S BEHAVIORAL HEALTH Use Permit for a therapy business subject to the conditions recommended by Planning Staff.

Attachments

1. Vicinity Maps
2. Site Plan
3. Floor Plan
4. Narrative

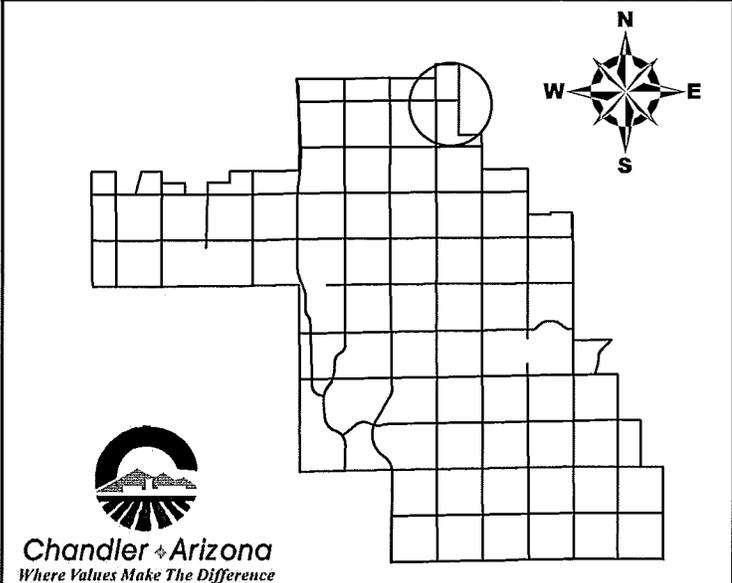


Vicinity Map

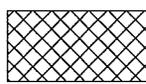


ZUP13-0032

St. Luke's Behavioral Health

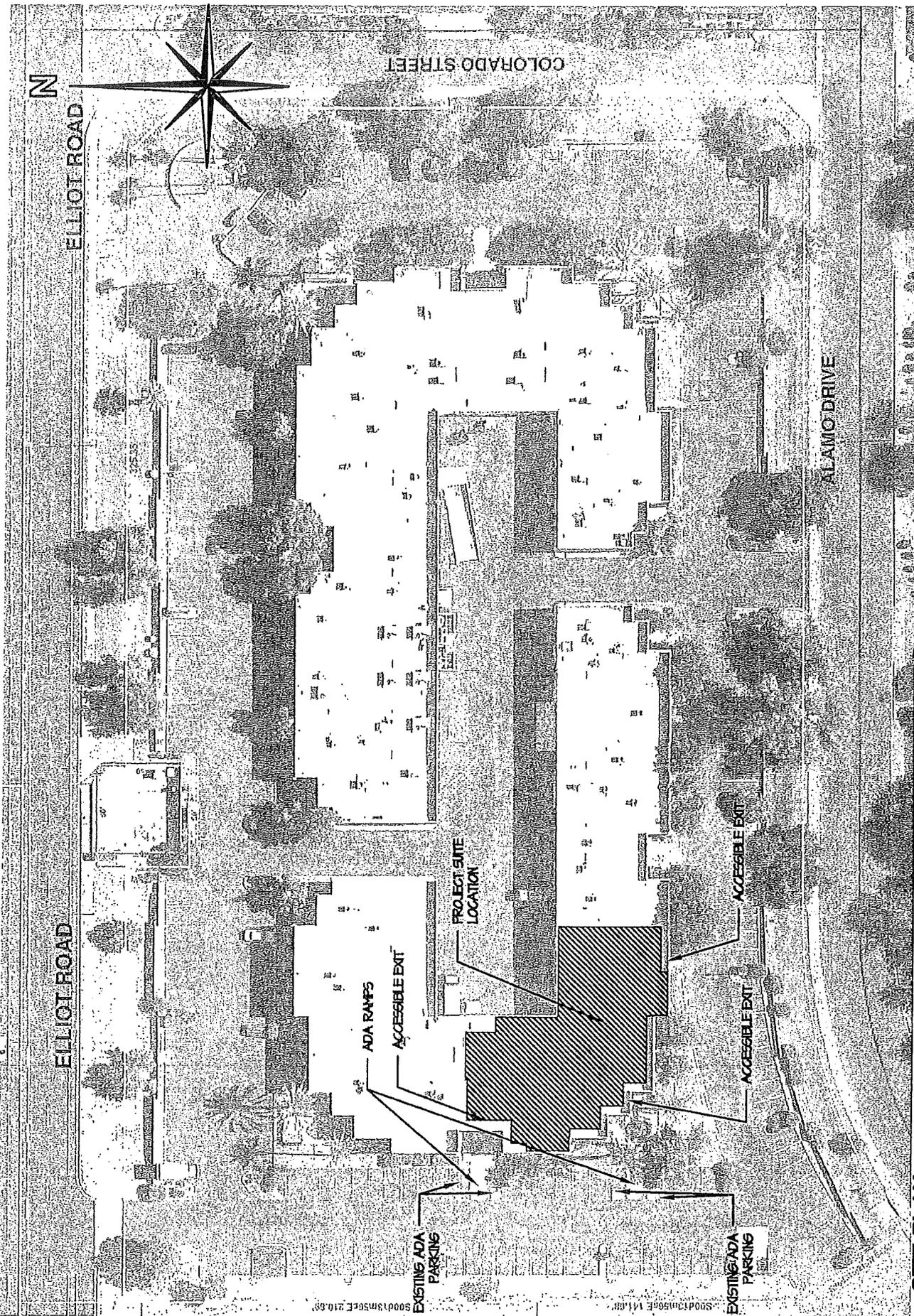


Vicinity Map



ZUP13-0032

St. Luke's Behavioral Health



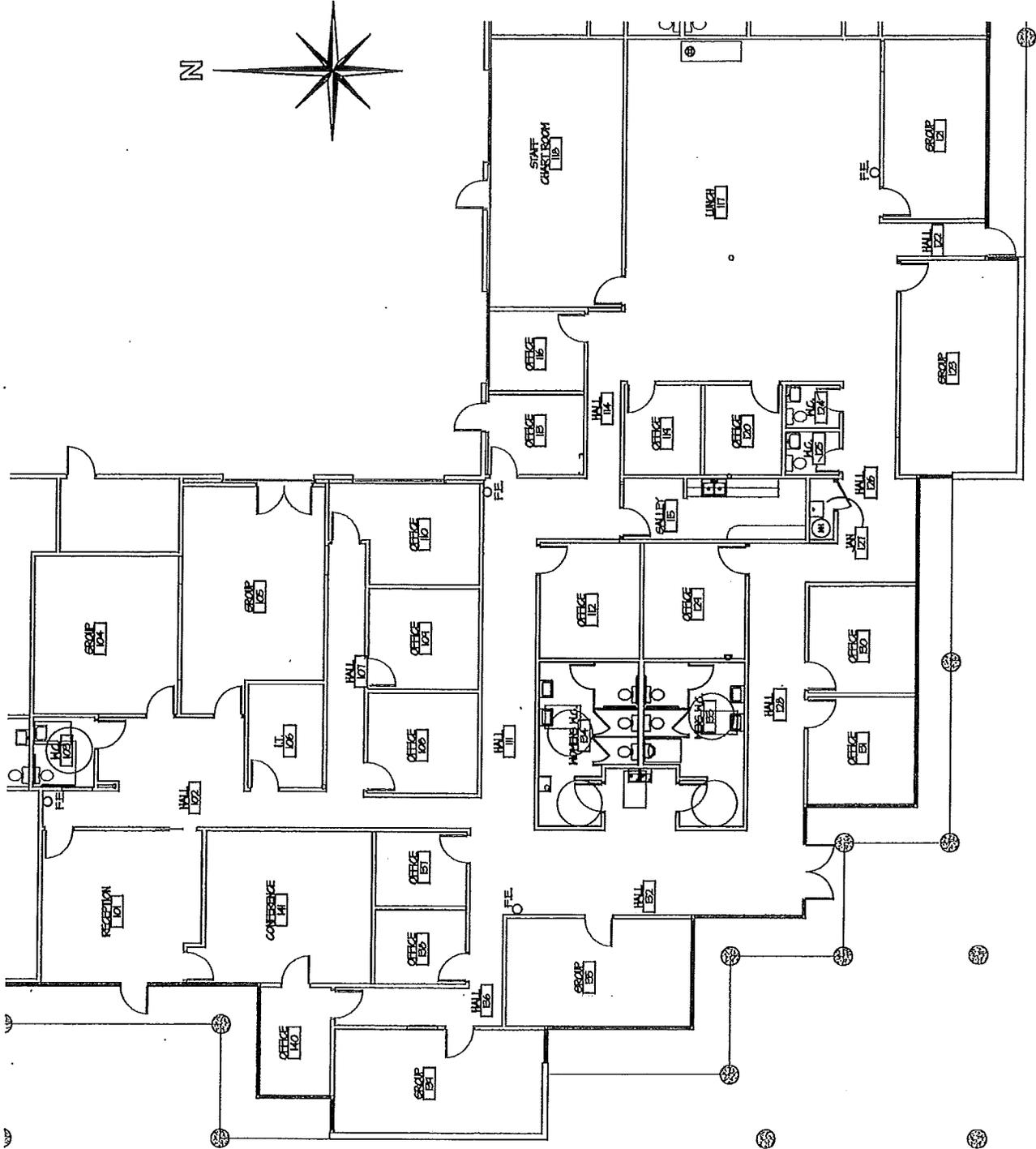
SITE PLAN
ST. LUKES BEHAVIORAL HEALTHCARE, 325 E ELLIOT RD. CHANDLER, AZ
SCALE: N.T.S.

DATE: 8/30/11

BCMA
ARCHITECTURE

PRELIMINARY
 NOT FOR CONSTRUCTION
 BRIAN@BCMAARCH.COM

322 W. KNIGHT LANE, TEMPE, AZ 85284 - C. 602-571-5728 - F. 480-452-1999 - T. 480-664-6224



FLOOR PLAN
ST. LUKES BEHAVIORAL HEALTHCARE, 325 E. ELLIOT RD. CHANDLER, AZ
SCALE: N.T.S. DATE: 8/30/11

PRELIMINARY
NOT FOR CONSTRUCTION

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St. Luke's Behavioral Health uses this facility for individual and group therapy. There are two programs offered, our Momentum Program and Chemical Dependency Intensive Outpatient Treatment Program.

Momentum highest volume program has patients who are not able to transport themselves to the program and are provided transportation by the program. These patients are on site from approximately 8:30 a.m. until 2:30 p.m. Monday through Saturday, attending multiple group counseling sessions. Lunches are catered into the facility and patients eat together in the lunch room. At the end of the programming day patients are transported back to their residence.

The second program, CD-IOP, offers group therapy with groups being either 9 a.m. to noon or 6 p.m. until 9 p.m. This program operates 3 days per week. Patients in this program transport themselves although some use public transit.

All patients participate in therapy in small groups of 10 to 15 people throughout the programming day and at times one on one counseling. Offices and staff areas accommodate support staff throughout the day. Patients involved in the program are all voluntary to be in treatment, they are not court ordered and reside in the nearby community. Funding source is insurance payment and self payment.

St. Luke's Behavioral Health has been a part of the mental health and substance treatment community for over 40 years and has offered outpatient counseling for over thirty years in various parts of the valley. They treat people from within the immediate community who may be experiencing life issues and as well hire from the community. St. Luke's Behavioral Health is and has always been a well respected neighbor.