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MAR 22 2007



**Chandler • Arizona**  
*Where Values Make The Difference*

**MEMORANDUM**

**Planning and Development – CC Memo No. 07-052**

**DATE:** MARCH 8, 2007

**TO:** MAYOR AND CITY COUNCIL

**THRU:** W. MARK PENTZ, CITY MANAGER  
DOUG BALLARD, PLANNING & DEVELOPMENT DIRECTOR  
JEFF KURTZ, ASSISTANT PLANNING & DEVELOPMENT DIRECTOR  
BOB WEWORSKI, PLANNING MANAGER

**FROM:** BILL DERMODY, CITY PLANNER

**SUBJECT:** PDP06-0057 PANATTONI – CHANDLER AIRPORT CENTER

**Request:** Preliminary Development Plan (PDP) approval for an office, light industrial, and showroom development

**Location:** Northwest corner of Wright Drive and Germann Road, approximately 300 feet east of Cooper Road

**Applicant:** Balmer Architectural Group (Wes Balmer)

**Project Info:** 11.1 acre site, two phases of up to 115,000 square feet of office/light industrial/showroom in three buildings

**RECOMMENDATION**

Upon finding the request to be consistent with the General Plan and Planned Area Development (PAD) zoning, Planning Commission and Staff recommend approval of the Preliminary Development Plan (PDP) subject to conditions.

**BACKGROUND**

The request is for PDP approval of site layout, architecture, and landscaping for a 11.1 acre flex office/light industrial project located east of the northeast corner of Germann and Cooper Roads. The subject site is part of a 245-acre master planned employment center, Chandler Airport Center, that flanks both sides of Cooper Road south of the Santan Freeway (Loop 202) and received zoning approval in 2005. The master plan established the subject site for office, showroom, and light industrial uses. To the east and northeast are other sites with the same

zoning designation. South across Germann Road is vacant land designated for office, light industrial, and hangar uses. To the west, adjacent to Cooper Road, is vacant land designated for hotel, office, service retail, and freeway-related retail uses.

The request is one of several PDPs for individual parcels within the master plan. In Phase I, the application proposes to construct two flex office/light industrial buildings approximately 88,000 square feet in size. Only the ground floor of the 36-foot high buildings' interiors will be finished initially, but second stories could be accommodated if office demand warrants. The buildings are oriented toward and located along Wright Drive on the east and Germann Road on the south with a generous courtyard area between the structures. Vehicular access is provided from Yeager Drive on the north, as well as from Wright Drive and Germann Road. Truck docks are located behind the buildings, thereby screening them from street view to the south and east.

Phase II addresses the northwestern portion of the site. Depending on the parking need generated by Phase I, Phase II could involve either construction of a new approximate 27,000 square foot building or additional surface parking. The determination of parking need will be made by staff based upon the square footage in Phase I devoted to office uses versus light industrial uses.

It is anticipated that demand for office will be stronger than demand for light industrial uses. As such, a land use breakdown of 80% office and 20% light industrial is used to calculate parking requirements. Assuming 80% office uses, Phase I exceeds parking requirements by providing 437 parking spaces in comparison to 396 required spaces.

The approximate 36-foot high buildings will feature concrete tilt panel construction painted with various brown/tan hues. The entrances will be showcased through the generous use of glass around curved facades and a broad pedestrian walkway that leads to an interior patio area between the buildings. Visual interest is further provided through staggered facades along the street fronts, undulations in the parapets, and three-level aluminum canopy protrusions above the windows.

Landscaping along the streets is to be installed by the master developer of Chandler Airport Center. The site's interior landscaping features Evergreen Elm and Thornless Mesquite trees throughout, with Desert Museum Hybrid Palo Verde highlighting the main entrance and plaza near Germann Road. In addition to the proposed landscaping, Planning Commission and Staff recommend a condition that requires trees to be added in order to achieve a minimum of one tree planter per 10 parking spaces in accordance with the adopted master plan design guidelines.

The application features three special pedestrian amenities and enhanced pedestrian connections to surrounding parcels. A courtyard patio with tables, umbrellas, and canopy shade trees is located in between the Phase I buildings. On the southern end of the same courtyard, at the terminus of the main driveway entrance from Germann Road, are pedestrian benches sited among a ring of shade trees. In the northwestern portion of the site, adjacent to the Phase II parcel, is a pedestrian bench among canopy shade trees. In addition to the sidewalks to be installed along the streets by the master developer, the subject development provides effective

interior pedestrian circulation through sidewalks along the buildings and allows for easy cross-access to the planned commercial parcel to the west and other surrounding parcels.

The development's signage is governed by the Comprehensive Sign Plan that applies to the Chandler Airport Center master plan. The Comprehensive Sign Plan limits the size, amount, and type of signage throughout the Chandler Airport Center, including that wall signage utilize individually mounted letters unless cabinets are part of the tenant's recognized corporate identification program. Monument signage is specified by the Comprehensive Sign Plan to feature internally illuminated brushed aluminum finish cabinet signs of a maximum of 10 feet in height with a planter base.

### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on March 1, 2007 at the Chandler Municipal Airport. No citizens attended.
- At the time of this writing, Staff has received no communication from citizens opposed to this request.

### **COMMISSION VOTE REPORT**

Motion to approve.

In Favor: 7    Opposed: 0

### **RECOMMENDED ACTION**

Planning Commission and Staff, upon finding consistency with the General Plan and PAD zoning, recommend approval of PDP06-0057 PANATTONI – CHANDLER AIRPORT CENTER subject to the following conditions:

1. Completion of the construction of all required off-site improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
2. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "PANATTONI C.A.C." kept on file in the City of Chandler Current Planning Division, in file No. PDP06-0057, except as modified by condition herein.
3. The landscaping in all open spaces and rights-of-way shall be maintained by the adjacent property owner or property owners association.
4. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.
5. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Public Works for arterial street median landscaping.

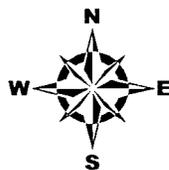
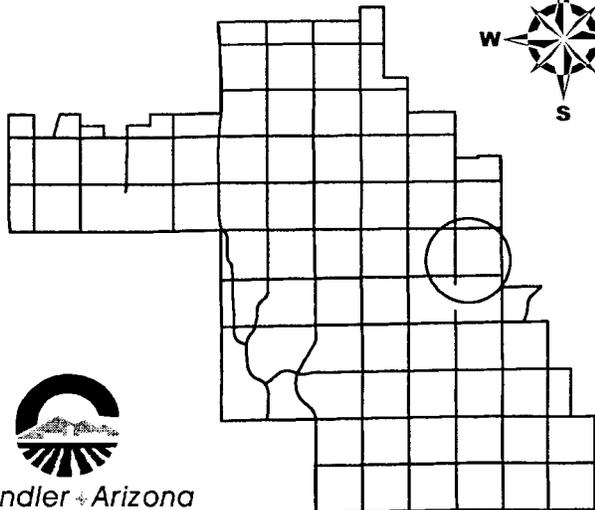
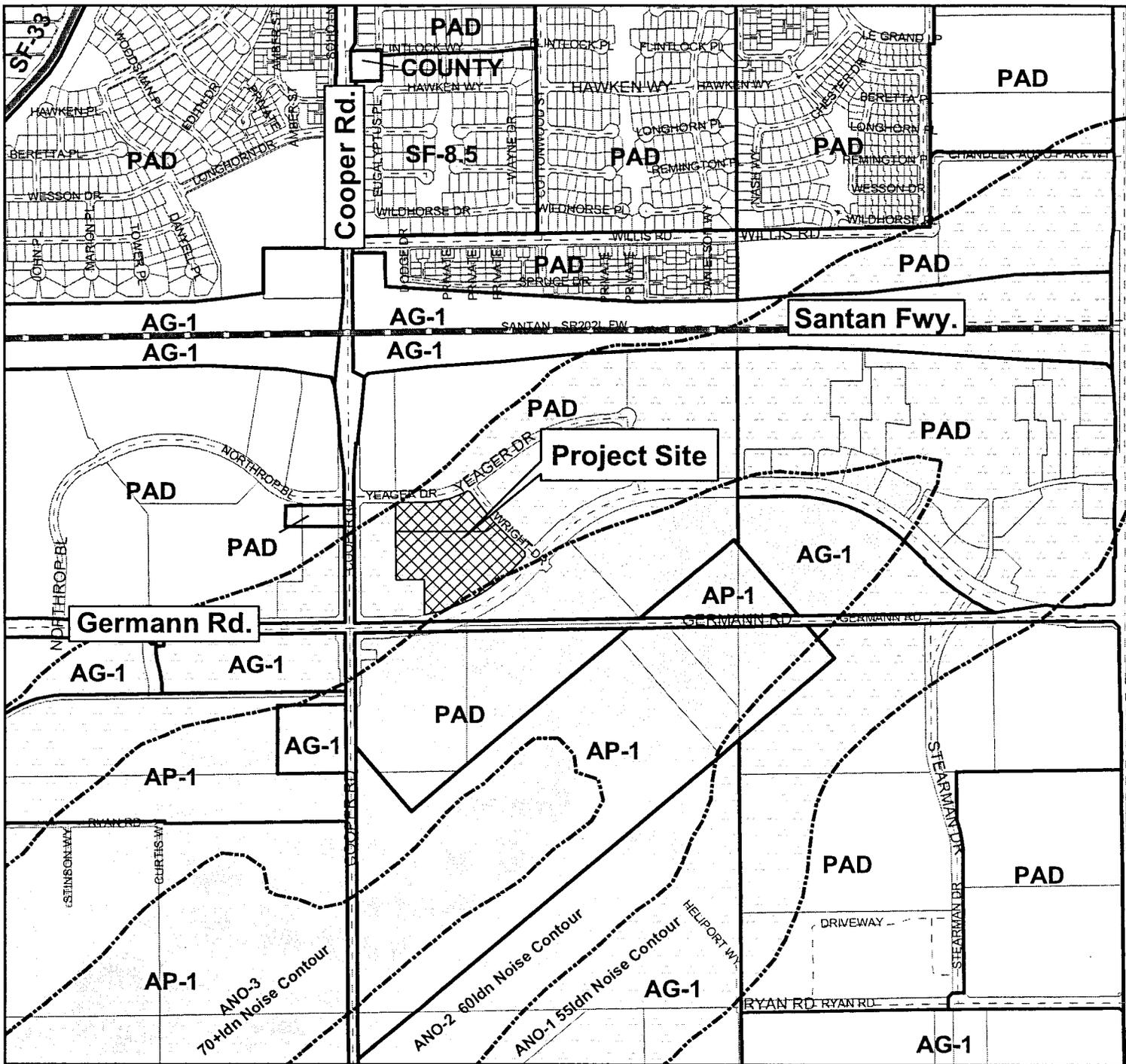
6. All raceway signage shall be prohibited within the development.
7. Tree planters shall be added to achieve the design guideline of one tree planter minimum per 10 parking spaces.
8. If Building 3 is constructed, its architecture shall be consistent with that of Buildings 1 and 2.
9. The development shall contribute a proportionate amount to the design plus construction cost for a traffic signal at Germann Road/Wright Drive, as determined by Traffic Engineering staff. The second development to receive building permit approval at the north intersection corners will be required to design and install the traffic signal.
10. The development shall provide additional trees adjacent to the buildings.
11. All parking space canopies shall incorporate building materials, forms, and colors to match the development.
12. Pedestrian features shall be added along the north side of Building One.

**PROPOSED MOTION**

Move to approve Preliminary Development Plan in case PDP06-0057 PANATTONI – CHANDLER AIRPORT CENTER subject to the conditions recommended by Planning Commission and Staff.

**Attachments:**

1. Vicinity Map
2. Development Booklet, Exhibit A
3. Site Plan
4. Landscape Plan
5. Elevations
6. Perspective View
7. Chandler Airport Center master plan



## Vicinity Map

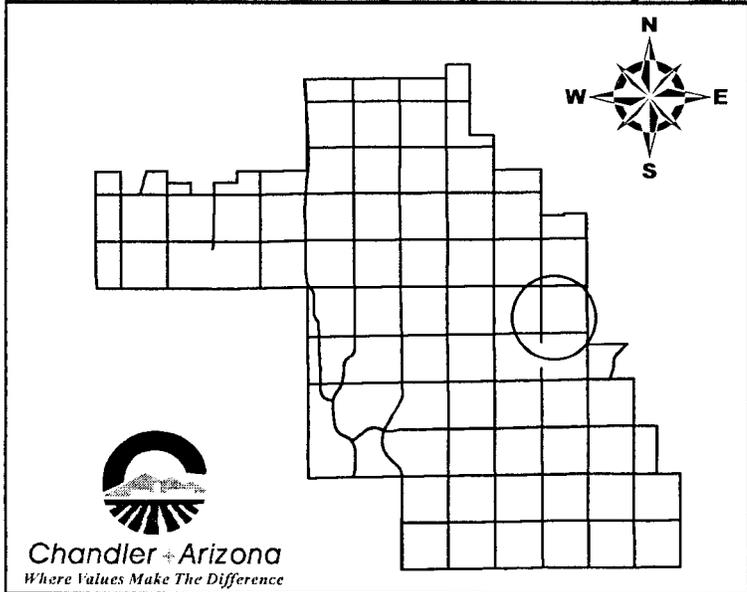
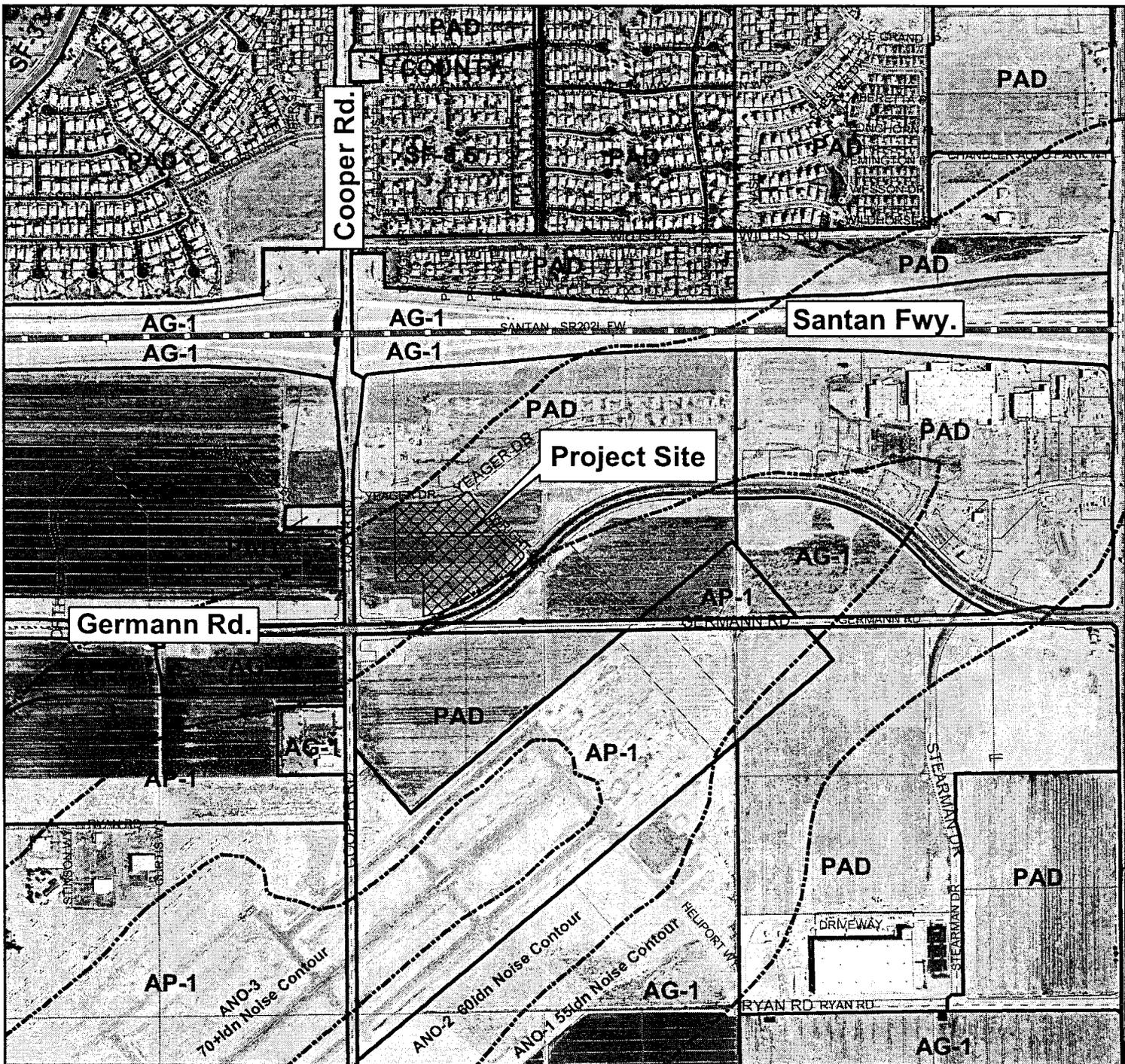


PDP06-0057

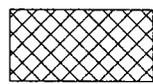
**Panattoni  
Chandler Airport Center**



Chandler Arizona  
Where Values Make The Difference

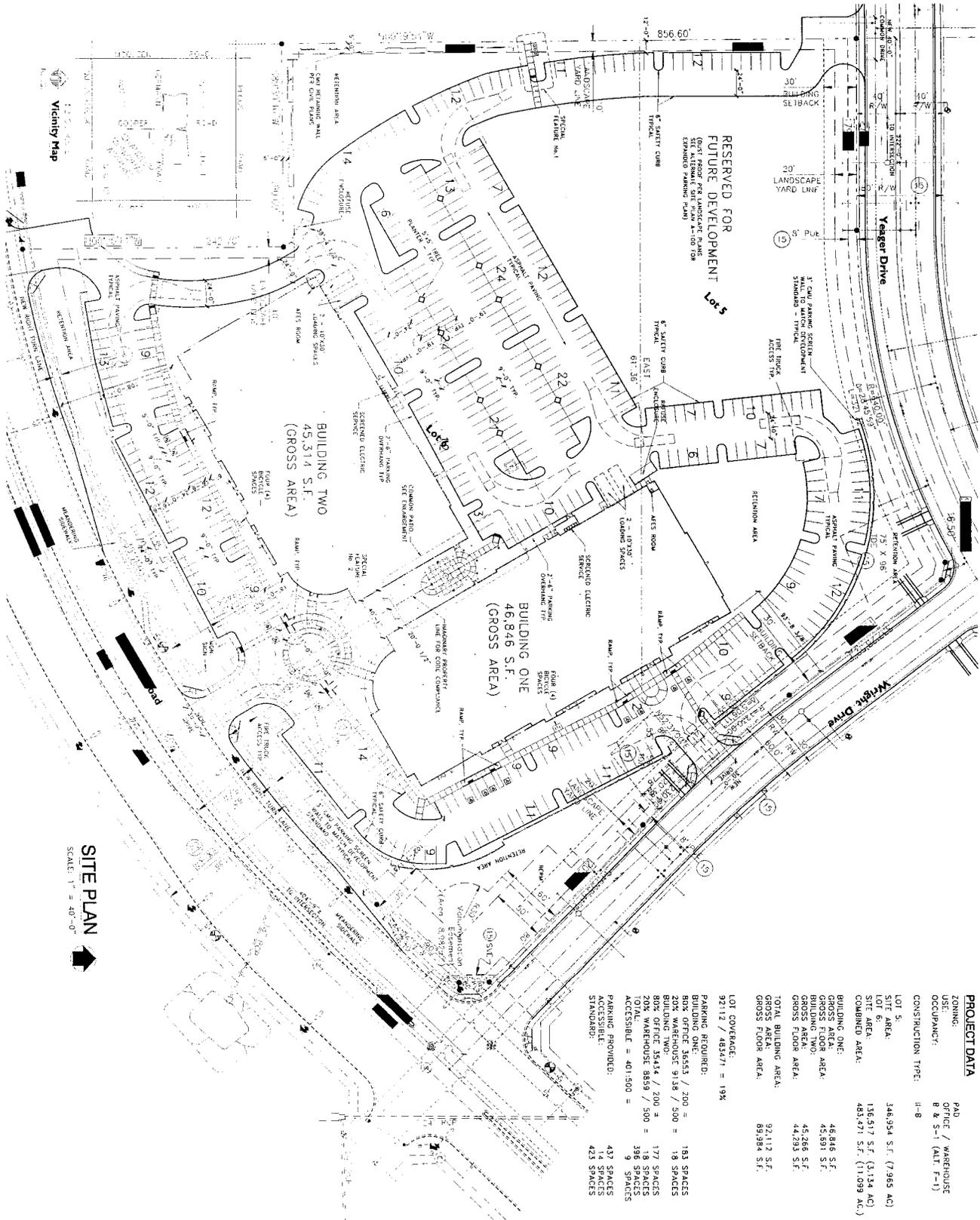


## Vicinity Map



PDP06-0057

**Panattoni  
Chandler Airport Center**



**SITE PLAN**  
SCALE: 1" = 40'-0"



**PROJECT DATA**

ZONING:	PUD
OCCUPANCY:	OFFICE / WAREHOUSE B & S-1 (ALT. F-1)
CONSTRUCTION TYPE:	I-8
LOT 5:	346,934 S.F. (7.965 AC)
LOT 6:	136,317 S.F. (3.134 AC)
SITE AREA:	483,251 S.F. (11.059 AC)
COMBINED AREA:	
BUILDING ONE:	46,846 S.F.
GROSS FLOOR AREA:	45,266 S.F.
GROSS AREA:	44,293 S.F.
TOTAL BUILDING AREA:	92,112 S.F.
GROSS FLOOR AREA:	89,384 S.F.
LOT COVERAGE:	92,112 / 483,251 = 19%
PARKING PROVIDED:	
BUILDING ONE:	183 SPACES
BOX OFFICE:	36653 / 200 = 18 SPACES
BUILDING TWO:	137 SPACES
20% WAREHOUSE:	9138 / 500 = 18 SPACES
TOTAL:	398 SPACES
ACCESSIBLE:	9 SPACES
PARKING PROVIDED:	437 SPACES
ACCESSIBLE:	14 SPACES
STANDARD:	423 SPACES

**AREA INCREASE CALCULATIONS:**

(NOTE: ALTERNATE OCCUPANCY GROUPS ARE NOT PERMITTED IN THIS ZONING DISTRICT UNLESS THE RESTRICTIVE OCCUPANCY OF F-1.)

F-1: DEC. TYPE I-8 - 15,000 S.F.  
F-2: STORE, MAINT. - 15,000 S.F.

**BUILDING ONE:**  
FRONTAGE INCREASE PER EQUATION S-2:  
1 = 100 (7.91/92)  
1 = 50

**BUILDING TWO:**  
FRONTAGE INCREASE PER EQUATION S-2:  
1 = 100 (3.134/100)  
1 = 50

**TOTAL INCREASE PER EQUATION S-1:**  
1 = 100 (19.0/100)  
1 = 50

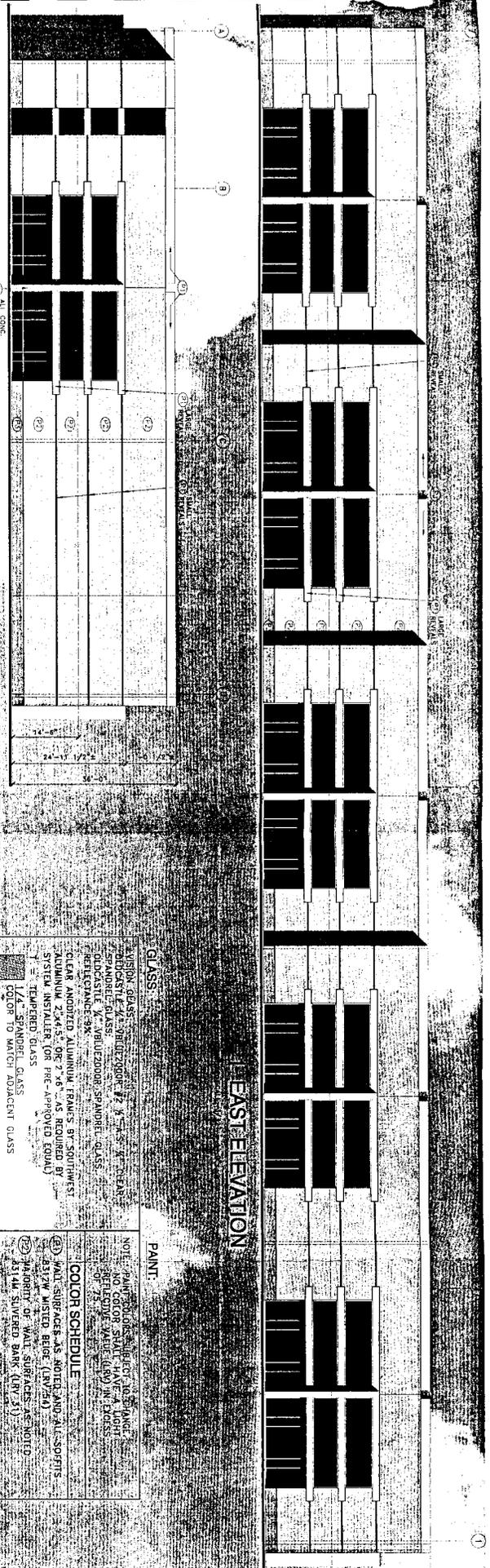
**TOTAL INCREASE PER EQUATION S-2:**  
1 = 100 (19.0/100)  
1 = 50

**LEGAL DESCRIPTION**  
LOT 5 AND 6, QUINCY LARSEN CENTER PHASE TWO, SUBDIVISION, 144 S. 14TH ST., RECORDS OF MARICOPA COUNTY, ARIZONA, PARCEL 144-001-001, 144-001-002, 144-001-003, 144-001-004, 144-001-005, 144-001-006, 144-001-007, 144-001-008, 144-001-009, 144-001-010, 144-001-011, 144-001-012, 144-001-013, 144-001-014, 144-001-015, 144-001-016, 144-001-017, 144-001-018, 144-001-019, 144-001-020, 144-001-021, 144-001-022, 144-001-023, 144-001-024, 144-001-025, 144-001-026, 144-001-027, 144-001-028, 144-001-029, 144-001-030, 144-001-031, 144-001-032, 144-001-033, 144-001-034, 144-001-035, 144-001-036, 144-001-037, 144-001-038, 144-001-039, 144-001-040, 144-001-041, 144-001-042, 144-001-043, 144-001-044, 144-001-045, 144-001-046, 144-001-047, 144-001-048, 144-001-049, 144-001-050, 144-001-051, 144-001-052, 144-001-053, 144-001-054, 144-001-055, 144-001-056, 144-001-057, 144-001-058, 144-001-059, 144-001-060, 144-001-061, 144-001-062, 144-001-063, 144-001-064, 144-001-065, 144-001-066, 144-001-067, 144-001-068, 144-001-069, 144-001-070, 144-001-071, 144-001-072, 144-001-073, 144-001-074, 144-001-075, 144-001-076, 144-001-077, 144-001-078, 144-001-079, 144-001-080, 144-001-081, 144-001-082, 144-001-083, 144-001-084, 144-001-085, 144-001-086, 144-001-087, 144-001-088, 144-001-089, 144-001-090, 144-001-091, 144-001-092, 144-001-093, 144-001-094, 144-001-095, 144-001-096, 144-001-097, 144-001-098, 144-001-099, 144-001-100.

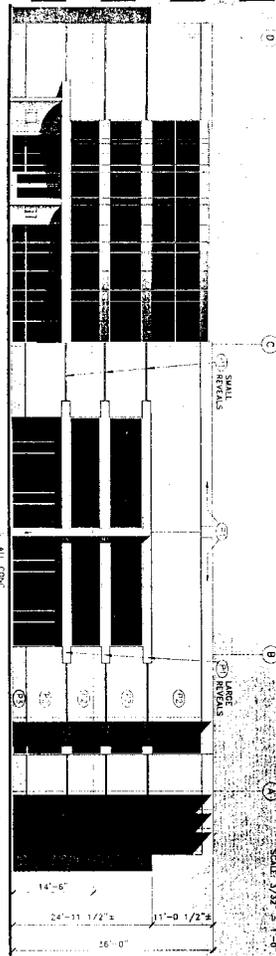




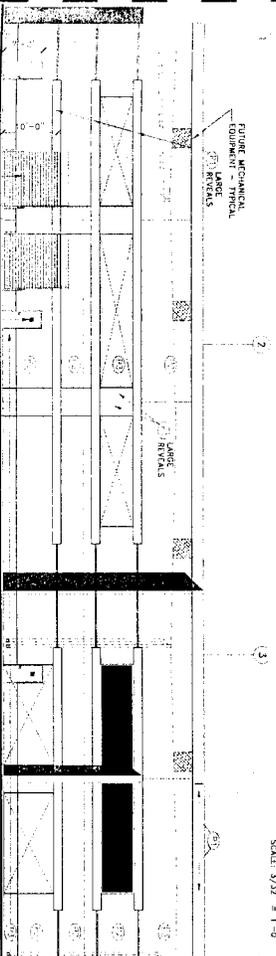
**EAST ELEVATION**



**2 NORTH ELEVATION**



**3 SOUTH ELEVATION**



**4 WEST ELEVATION**



**GLASS**

VISION GLASS: SPANDREL GLASS #2 & #3'S & CLEAR SPANDREL GLASS. SPANDREL GLASS: OLDCASTLE X-Y VIBULEXOR SPANDREL GLASS. CLEAR ANODIZED ALUMINUM FRAMES BY SOUTHWEST ALUMINUM 2-3/4\"/>

**NOTES:**

- COLOR SUBJECT TO ARCHITECT'S APPROVAL. ALL BUILDING SAMPLES MAY BE REQUIRED PRIOR TO FINAL APPROVAL.
- SHELL BUILDING ONLY. NO MECHANICAL UNITS INSTALLED UNDER THIS PHASE. ALL MECHANICAL SUBMITTALS BE PROVIDED AS PART OF THE ILL. ALL ROOF TOP MECHANICAL EQUIPMENT MUST BE FULLY SCREENED BY BUILDING PARAPET WALLS.
- CONCRETE TILT PANELS TO RECEIVE A SMOOTH UNIFORM FINISH.
- WINDOW WALL SYSTEM LATERAL DESIGN LOADS AS CALCULATED BY WINDOW SYSTEM MFR. & STRUCT. ENGR.
- ALL SIGNAGE REQUIRES SEPARATE REVIEW AND PERMIT PROCESS, EXCEPT ADDRESS NUMBERS.

**PAINT**

NOTE: FINISHES TO BE APPLIED TO ALL EXPOSED SURFACES AND COLOR SHALL BE IDENTIFIED BY REFERENCE (WALL, CURB) IN EXPRESS SCHEDULE.

**COLOR SCHEDULE**

- 1) WALL SURFACES AS NOTED AND ALL OFFSETS 8317W MISTED BEIGE (LUV 24.0)
- 2) MANTLE OF WALL SURFACES AS NOTED 8314W SILVERED BARK (LUV 23.1)
- 3) WALL BASE 8313D RAVENWOOD (LUV 22)
- 4) ALL COLORS TO BE FRAMED OR EQUAL.

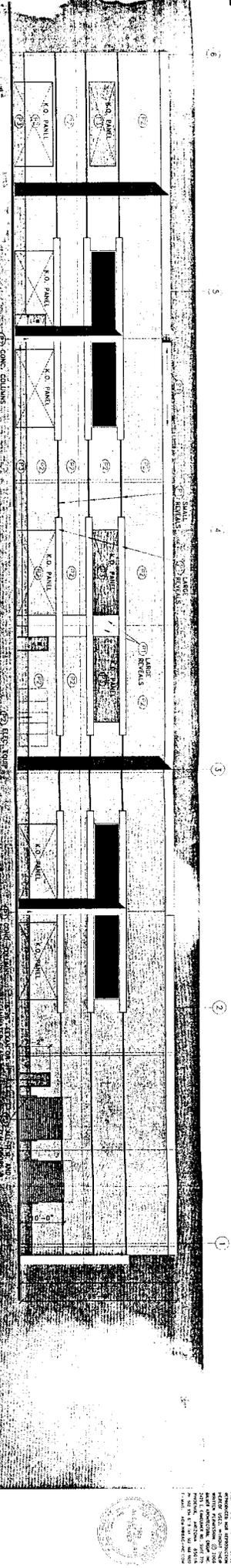
**PAINT SPECIFICATIONS**

ALL EXPOSED CONCRETE AND MASONRY SURFACES SEALER: ONE COAT 211-1 QUICK DRY CONC. SEALER BY GORHAM PAINT CO.

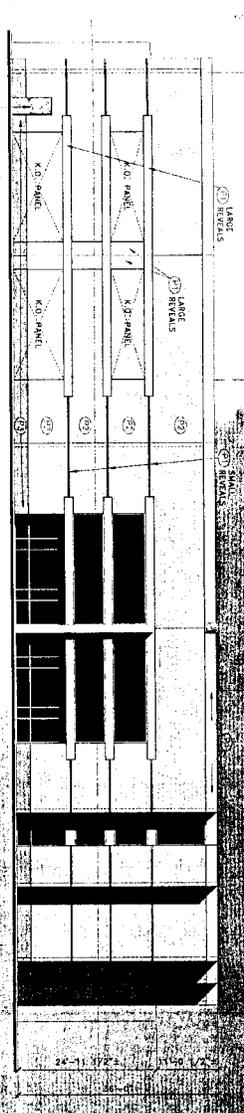
PAINT: 2 COATS PREMIUM EXTERIOR LATEX PAINT MINIMUM 1/2\"/>

SEE WALL SECTIONS FOR TYPICAL VERTICAL DIMENSIONS, TYPICAL DETAILS AND ADDL. INFORMATION

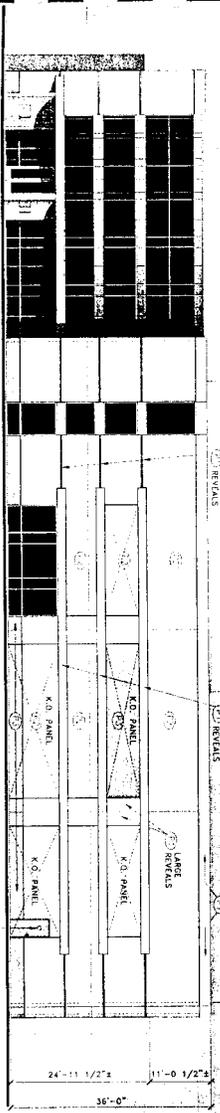




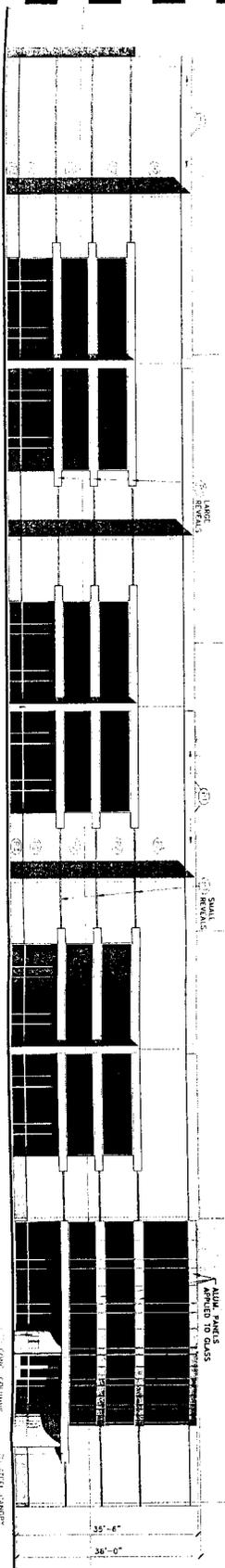
**1 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**WEST**  
 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**GLASS:**  
 WINDOW GLASS: 1/2" SPANDREL GLASS  
 GLASS: 1/2" SPANDREL GLASS  
 COLOR TO MATCH ADJACENT GLASS

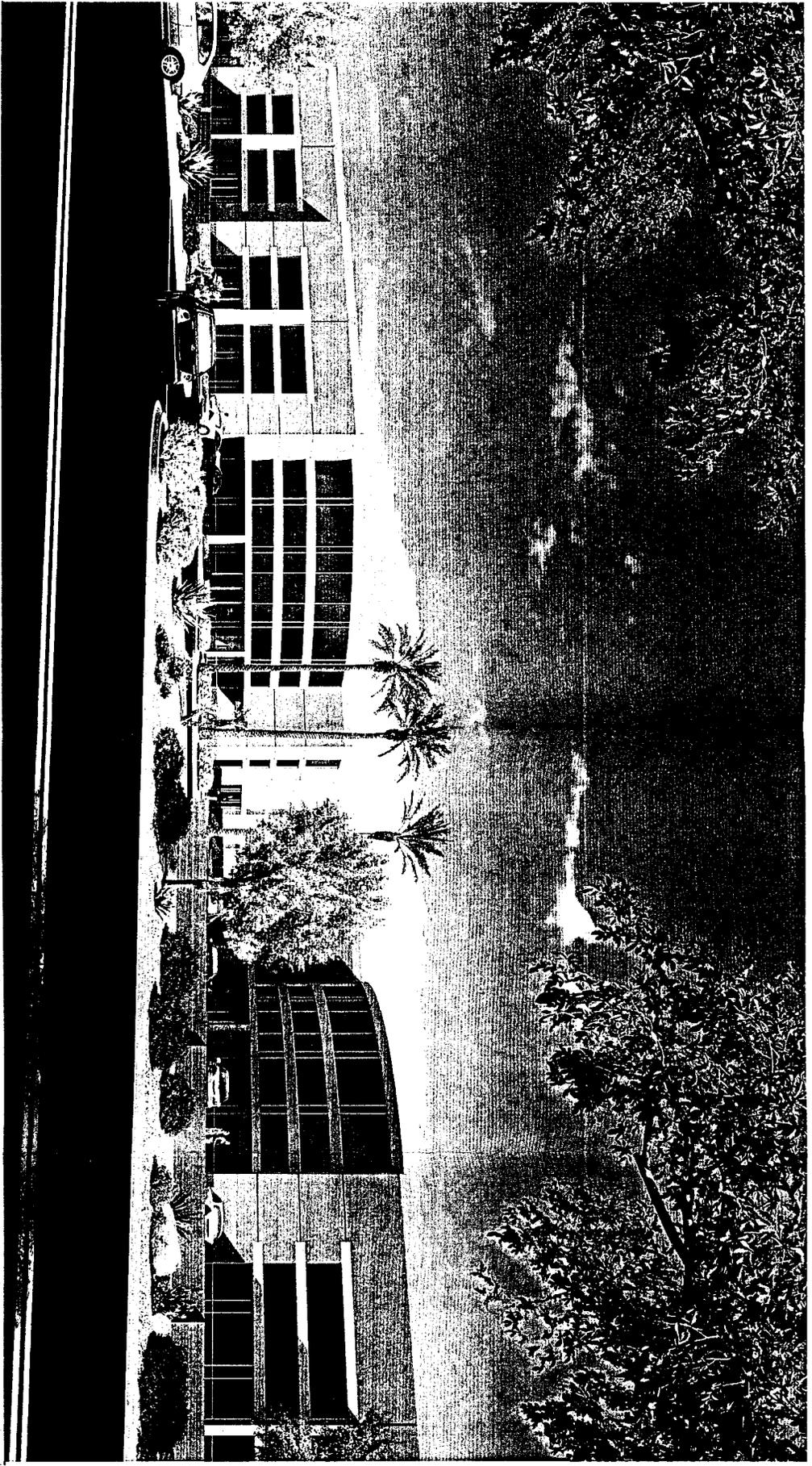
**NOTES:**  
 • COLORS SUBJECT TO ARCHITECT'S APPROVAL OF 4 X 4' BUILDING APPLIED SAMPLES. TYPICAL APPROVAL.  
 • SHELL BUILDING ONLY. NO MECHANICAL UNITS INSTALLED UNDER THIS PHASE. ALL MECHANICAL UNITS SHALL BE PROVIDED AS PART OF THE I.I. SUBMITTAL.  
 • ALL ROOF TOP MECHANICAL EQUIPMENT MUST BE FULLY SCREENED BY BUILDING PARAPET WALLS.  
 • CONCRETE TILT PANELS TO RECEIVE A SMOOTH UNIFORM FINISH.  
 • WINDOW AND DOOR STEEL DESIGN LOADS AS PER AIA. STORAGE REQUIRES SEPARATE REVIEW AND PERMIT PROCESS. (SEEPT ADDRESS NUMBERS)

**PAINT:**  
 NOT PAINT. COLORED SILENT TO CHANGE. THE SPRING SHALL HAVE A LIGHT COLORED FINISH. (SEEPT ADDRESS NUMBERS)

**COLOR SCHEDULE:**  
 (1) WALL SURFACES AS NOTED AND ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (2) ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE PAINTED AS NOTED.  
 (3) SITE-GROWN WILDS EQUIPMENT SHALL BE PAINTED AS NOTED.  
 (4) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (5) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (6) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (7) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (8) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (9) ALL SURFACES SHALL BE PAINTED AS NOTED.  
 (10) ALL SURFACES SHALL BE PAINTED AS NOTED.

**PAINT SPECIFICATIONS:**  
 ALL EXPOSED CONCRETE AND MASONRY SURFACES SEALER: ONE COAT 21-11.  
 PAINT: EAST-O-MERIC OILC DRY CONC. SEALS 98 PERCENT PREMIUM EXTERIOR LATEX PER COAT. APPLY SEALER AND PAINT IN SECTIONS.  
 SEE WALL SECTIONS FOR TYPICAL VERTICAL DIMENSIONS, TYPICAL DETAILS AND ADDL INFORMATION

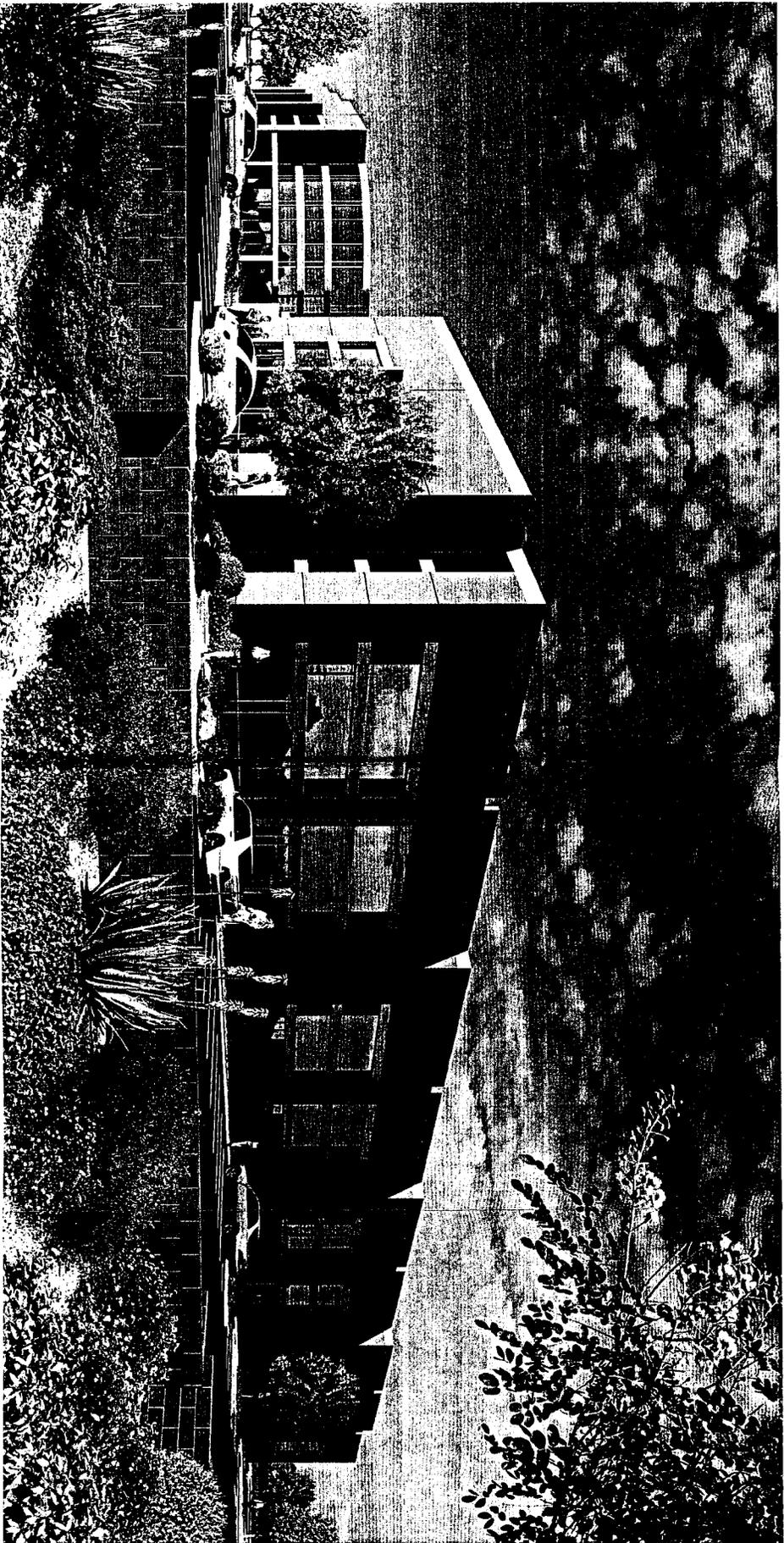
GERMANN FRONTAGE



PA N A T T O N I  
CHANDLER AIRPORT CENTER



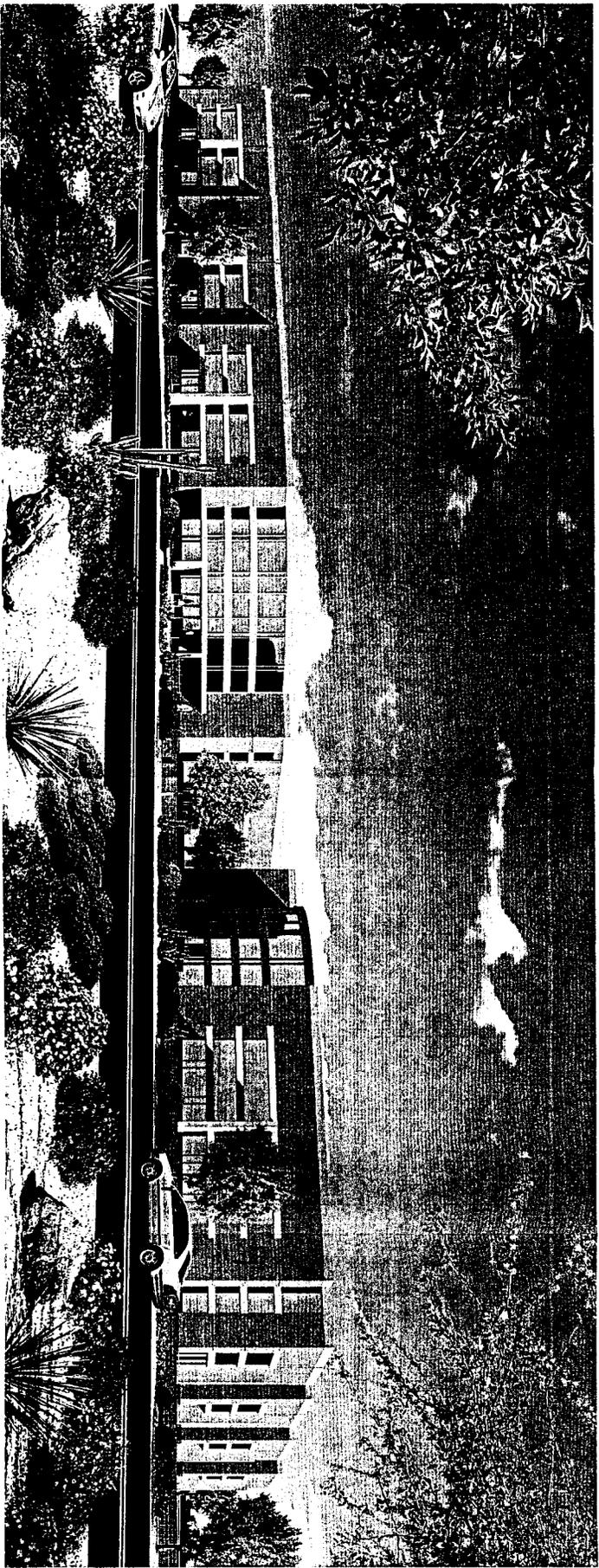
BUILDING ONE EAST



W P A N A T T O N I  
CHANDLER AIRPORT CENTER



GERMANN FRONTAGE

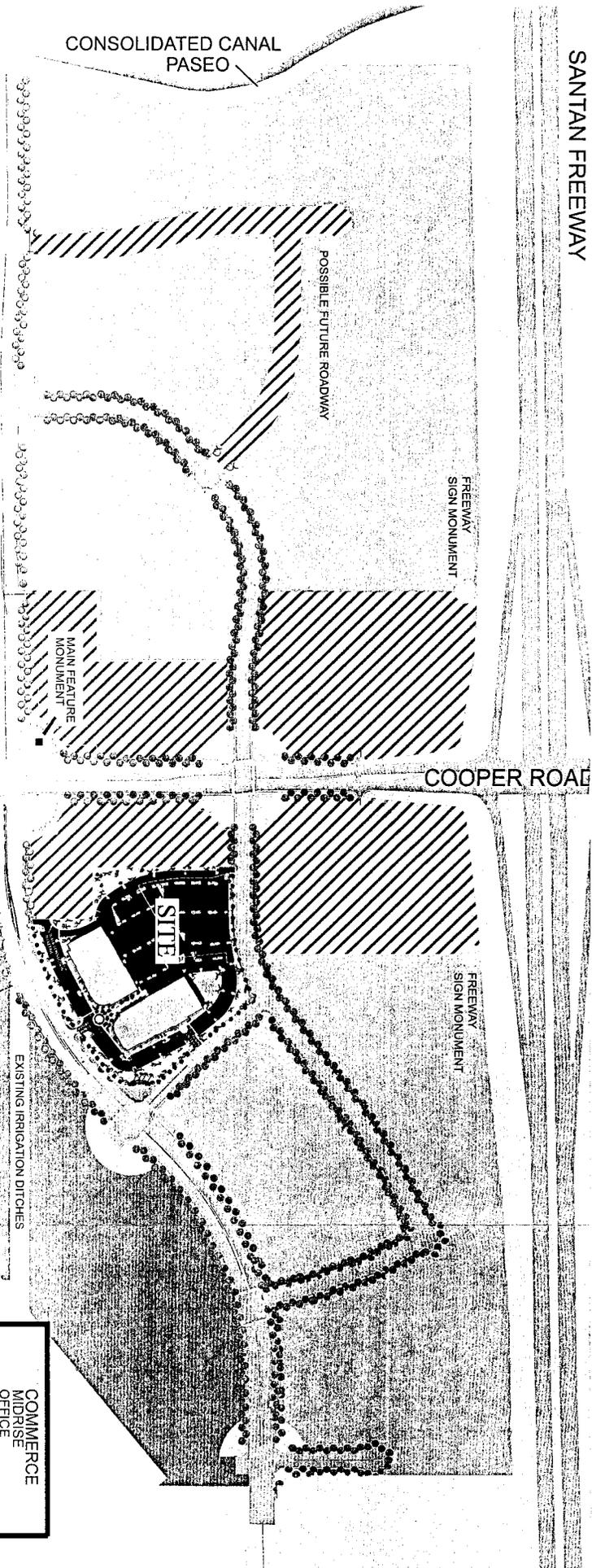


**BALMER**  
architectural group

**IN P A N A T T O N I**  
CHANDLER AIRPORT CENTER



SANTAN FREEWAY



# Chandler Airport Center

master plan uses

## MASTER PLAN GENERAL USES



COMMERCE MIDRISE OFFICE SHOWROOM LIGHT INDUSTRIAL	FAST FOOD, GAS RESTAURANT, RETAIL	OFFICE / LIGHT INDUSTRIAL / HANGAR
COMMERCIAL HOTEL/RETAIL MIDRISE SERVICE RETAIL HOSPITALITY OFFICE, RESTAURANT	COMMERCIAL HOTEL/RETAIL MIDRISE SERVICE RETAIL HOSPITALITY OFFICE, RESTAURANT	

