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MEMORANDUM

Planning & Development - CC Memo No. 07-055

DATE: FEBRUARY 23, 2007

TO: MAYOR AND CITY COUNCIL

THRU: W. MARK PENTZ, CITY MANAGER *WMP*
DOUG BALLARD, PLANNING & DEVELOPMENT DIRECTOR *D. Ballard*
JEFF KURTZ, ASSISTANT PLANNING & DEVELOPMENT DIRECTOR *J. Kurtz*

FROM: BOB WEWORSKI, PLANNING MANAGER *BW*

SUBJECT: UP06-0093 SAN TAN BREWING COMPANY

Request: Use Permit approval for a Series 12 Restaurant license and Series 3 Domestic Microbrewery

Location: 8 South San Marcos Place

Applicant: Anthony Canecchia

RECOMMENDATION

Request Use Permit approval for a liquor license (Series 12 Restaurant) for on-premise consumption (all spirituous liquor) and a liquor license (Series 3 Domestic Microbrewery) to sell beer manufactured on premises for consumption on or off the premises within a new restaurant. Planning Commission and Staff, finding consistency with the General Plan and Planned Area Development (PAD) zoning, recommend approval subject to conditions.

BACKGROUND

The subject site is located at the southwest corner of San Marcos Place and Commonwealth Avenue within Historic Downtown Chandler. The building, originally a bank, is currently undergoing exterior and interior renovations. The front entrance is covered by a pedestrian colonnade as part of the Downtown square on San Marcos Place. The building is connected to the south with an office building and a series of in-line retail shops and restaurants. Directly to the east is public street parking and A.J. Chandler Park. To the north is the San Marcos Resort Hotel. Images Salon will occupy the other space within the building at the site's west end.

San Tan Brewing Company features a restaurant space, bar area, kitchen, brewing tanks, office and storage, and outdoor patio. The subject building space is approximately 5,096 sq. ft. The bar area along the north wall includes windows for future outdoor bar service for a limited amount of patrons. Tanks for beer production are displayed behind glass panels. Approximately 1,400 sq. ft. will be utilized for the main dining area, and 500 sq. ft. for the bar area. The restaurant interior space will provide seating for approximately 75 patrons. The business will be open seven days a week from 11 a.m. to 2 a.m. and will have 40-50 employees.

There will be an approximate 650 sq. ft. outdoor patio area at the building's north side along Commonwealth Avenue. The patio is currently not included in the Use Permit for alcohol sales. The outdoor patio will provide seating for approximately 50 patrons, including 14 bar stools. A roll up door provides open air access from the restaurant to the patio. Since the patio will be located in the current City right-of-way, alcohol sales are prohibited, however a City initiated code amendment is currently being pursued to allow liquor sales in the Downtown public areas. Alcohol sales may potentially be allowed in the future if either the right-of-way is vacated and becomes private property or a permit is granted. After such time, the Use Permit will have to be amended for an extension of premises to include the patio and allow alcohol sales. The patio improvement will have to comply with minimum pedestrian circulation clearances and any other requirements from the code amendment.

A Series 12 Restaurant License allows the on-site sale of beer, wine, and spirits for on-site consumption. The establishment must derive at least 40 percent of its gross revenue from the sale of food and non-alcoholic beverages. A Series 3 Domestic Microbrewery License allows beer to be produced or manufactured on premises for consumption on or off the premises, and sales and deliveries of beer to persons licensed to sell beer.

PUBLIC/NEIGHBORHOOD NOTIFICATION

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- Notices were mailed to all property owners within a six hundred foot radius and all Registered Neighborhood Organizations (RNOs) within ¼ mile.
- A description of the Use Permit request was advertised in the newspaper.
- An orange 11" X 17" placard public hearing sign was posted on the property.
- The Police Department has been informed of the application and has responded with no concerns.
- A neighborhood meeting was held on January 30, 2007 at the Downtown Vision Gallery. Four neighboring business owners were in attendance and issued support of the application.
- The Downtown Chandler Community Partnership (DCCP) was briefed about the new business at their meeting on February 23, 2007.
- A Downtown Merchant's meeting was held on January 18, 2007 where local shop merchants expressed support of the application.

As of the writing of this memo, Staff has received no calls or letters of opposition to the Use Permit request.

PLANNING COMMISSION VOTE REPORT

Motion to approve.

In Favor: 7 Opposed: 0

RECOMMENDED ACTION

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of the Use Permit subject to the following conditions:

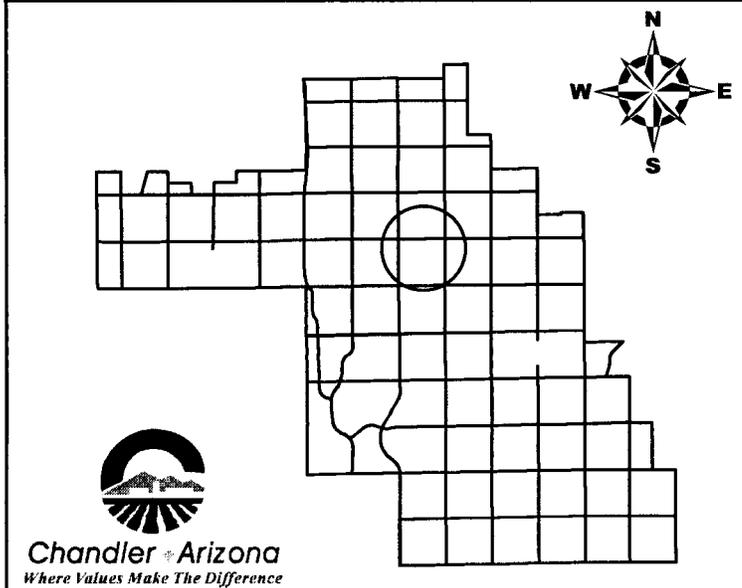
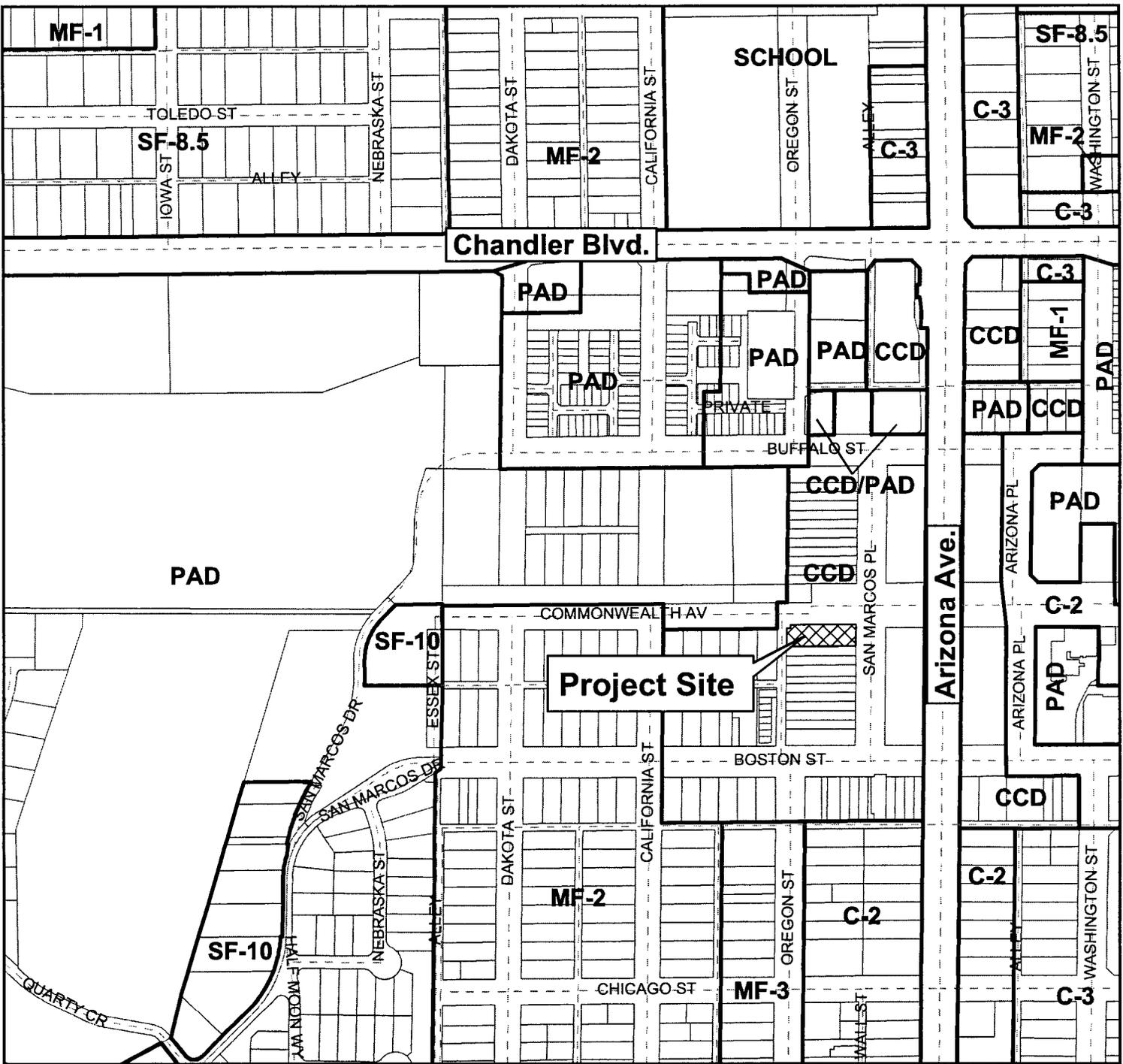
1. The Use Permit is granted for a Series 3 and Series 12 license only, and any change of license shall require reapplication and new Use Permit approval.
2. Expansion or modification beyond the approved exhibits (Site Plan, Floor Plan and Narrative) shall void the Use Permit and require new Use Permit application and approval.
3. The Use Permit is non-transferable to other store locations.
4. Alcohol sales shall be prohibited on the patio.

PROPOSED MOTION

Motion to approve UP06-0093 SAN TAN BREWING COMPANY, use permit for liquor sales and domestic microbrewery, subject to the conditions recommended by Planning Commission and Staff.

Attachments:

1. Vicinity Map
2. Site Plan
3. Floor Plan
4. Applicant Narrative



Vicinity Map

UP06-0093

San Tan Brewing Company, LLC

CITY OF CHANDLER 1/8/2007

Martene Imrizar & Associates LLC, Architects

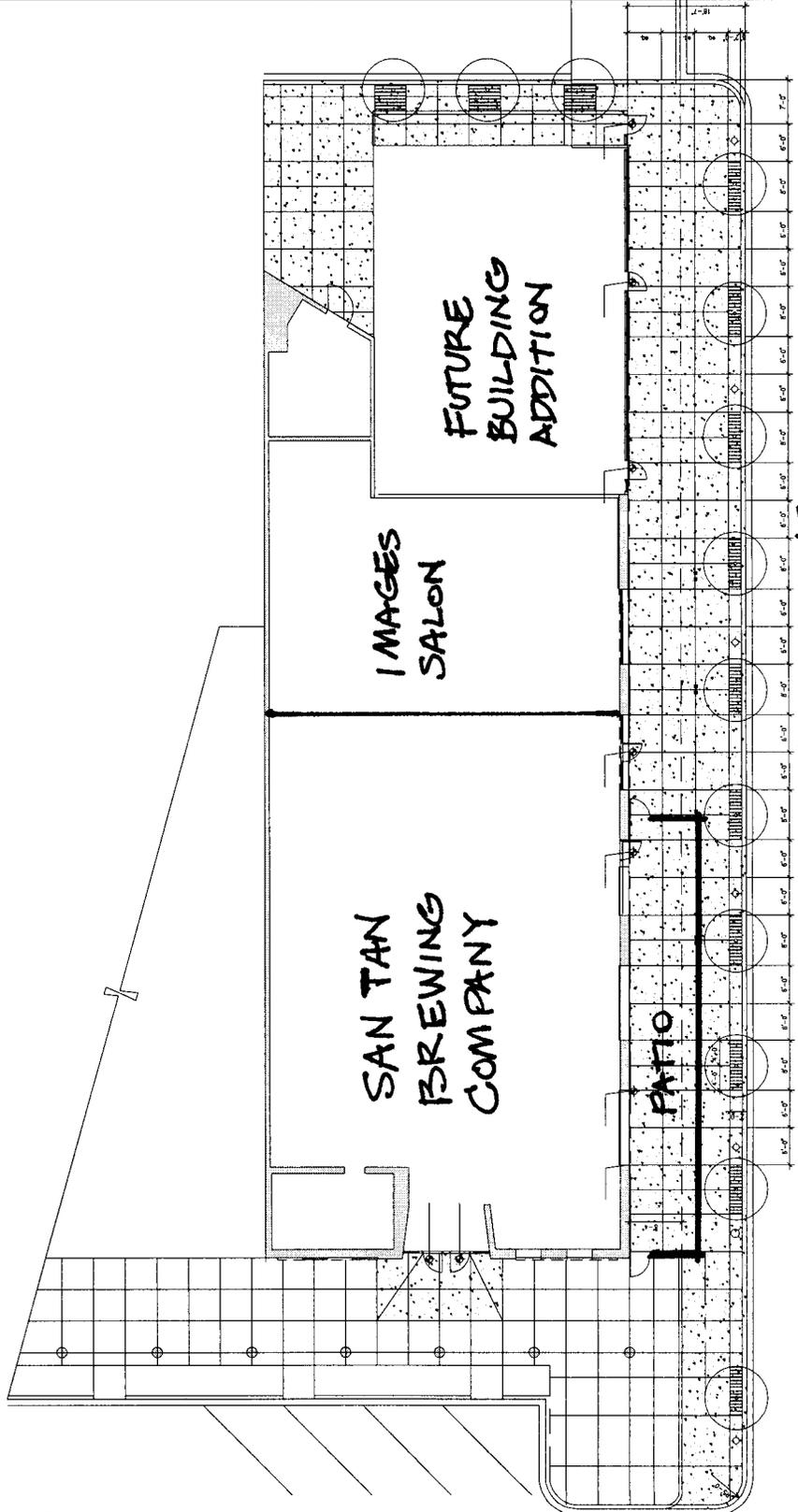
1901 N. Central Avenue
Phoenix, AZ 85004
602.940.8278
602.940.9071



Desert
Viking
Properties, LLC
Chandler Office
Renovation & Addition

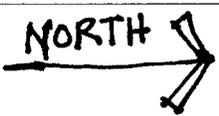
8 South San Marcos Place
Chandler, Arizona 85225
DATE: ISSUED FOR:

PROJECT NO.
1201
DRAWING NO.



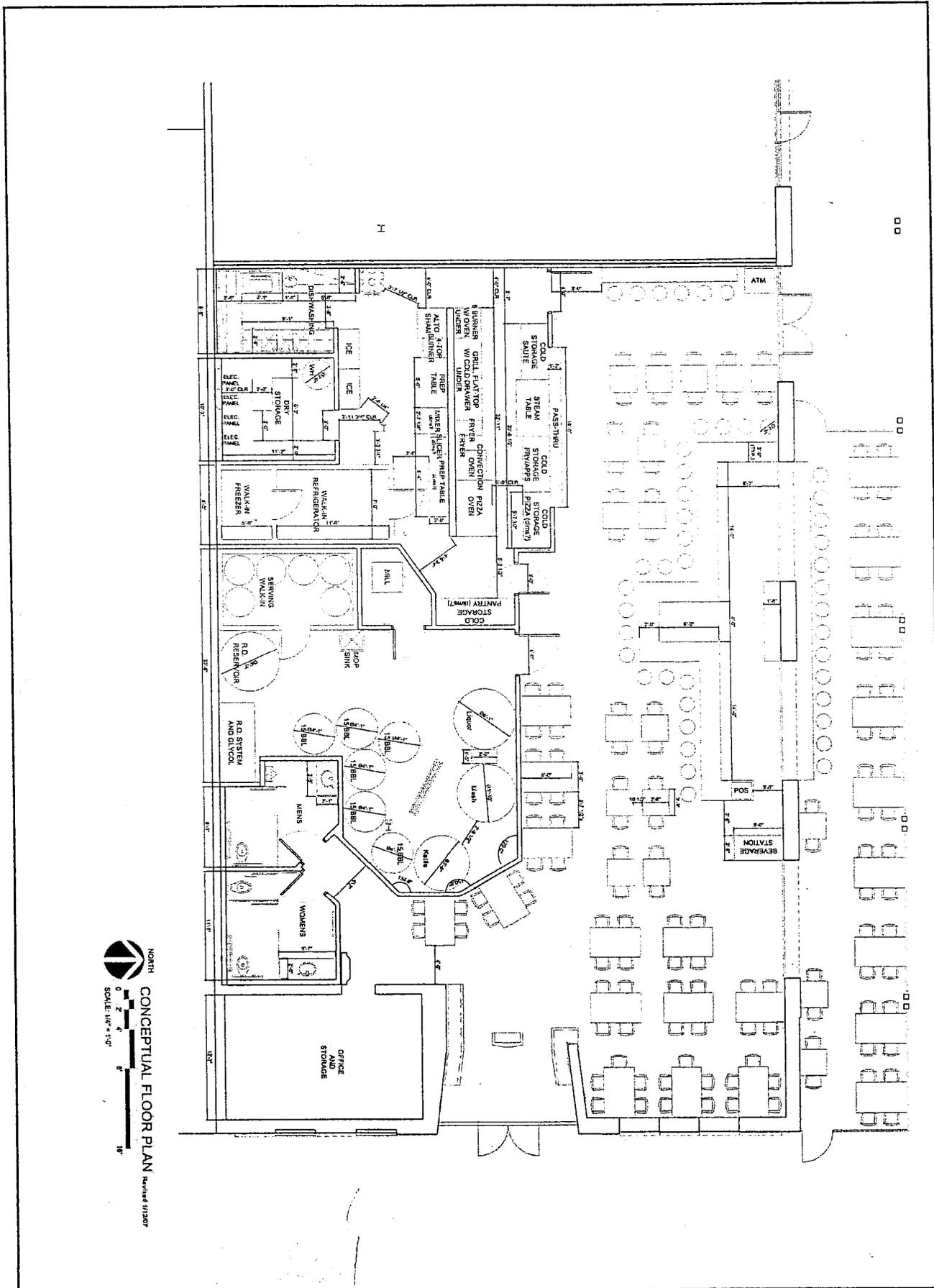
COMMONWEALTH AVENUE

SAN MARCOS PLACE



PAVING PLAN
SCALE: 1/8" = 1'-0"
NORTH

SITE PLAN




 NORTH
CONCEPTUAL FLOOR PLAN Revised 11/2007
 SCALE: 1/4" = 1'-0"

SAN TAN BREWERY
 8 South San Marcos Place
 Chandler, AZ 85224



108 West Main Street, Suite 201
 Mesa, Arizona 85201
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U s e P e r m i t A p p l i c a t i o n N a r r a t i v e
S a n T a n B r e w i n g C o m p a n y , L L C
December 13, 2006

San Tan Brewing Company (San Tan) wishes to occupy and use 5096 square feet of the property at 8 S. San Marcos Pl. in the Historic Downtown for the purpose of an upscale Microbrewery/Restaurant. This is approximately 40% of the total area of the property. Ales and Lagers will be brewed, packaged, and served on-site from scratch. These hand-crafted products will compliment a Chef-Designed menu centered around upscale pub cuisine. Anticipated sales will be primarily food with an estimated split of 70/30 food to beverage ratio. According to a report by Dun & Bradstreet of national eateries, these numbers are common for Brewpubs. San Tan will be employing 40-50 workers from the local area and will encourage participation in carpooling and municipal transportation. Working hours of operation for San Tan will be between 11 a.m. and 2 a.m., 7 days a week ; catering to the lunch, dinner, and late night consumer. There are no plans to host live entertainment.

Façade renovations have been approved and are being undertaken by the property owner and landlord, Desert Viking Holdings. One specific area of improvement will be the addition of a 650 square foot patio area on the north side of the building which will be used by San Tan as an outside dining space. Thank you for your time and consideration.

Anthony Canecchia
San Tan Brewing Company, LLC