

#12

APR 12 2007



Chandler • Arizona
Where Values Make The Difference

MEMORANDUM

Planning and Development – CC Memo No. 07-065

DATE: MARCH 22, 2007

TO: MAYOR AND CITY COUNCIL

THRU: W. MARK PENTZ, CITY MANAGER
DOUG BALLARD, PLANNING & DEVELOPMENT DIRECTOR
JEFF KURTZ, ASSISTANT PLANNING & DEVELOPMENT DIRECTOR
BOB WEWORSKI, PLANNING MANAGER

FROM: KEVIN MAYO, SENIOR CITY PLANNER

SUBJECT: PDP06-0054 CHANDLER AIRPORT CENTER – MARK IV

Request: Preliminary Development Plan (PDP) approval for site layout, landscaping, and building architecture for a multi-tenant office/industrial development

Location: Northeast corner of Wright Drive and Germann Road (Approximately ¼ mile east of the northeast corner of Cooper and Germann Roads)

Applicant: Wes Balmer
Balmer Architectural Group

Project Info: 14-acre site, three single-story flex-multi-tenant office/industrial buildings, 133,142 total building square footage

RECOMMENDATION

Upon finding the request to be consistent with the General Plan and Planned Area Development (PAD) zoning, Planning Commission and Staff recommend approval of the Preliminary Development Plan (PDP) subject to conditions.

BACKGROUND

The request is for PDP approval of site layout, architecture, and landscaping for an approximate 14-acre flex office/light industrial project located east of the northeast corner of Germann and Cooper Roads. The subject site is part of the 245-acre Chandler Airport Center, master planned

employment center, that flanks both sides of Cooper Road south of the Santan Freeway (Loop 202). The Chandler Airport Center received conceptual zoning approval in 2005. The master plan established the subject site for office, showroom, and light industrial uses. Adjacent to the east and northeast are vacant sites with the same zoning designation. South across Germann Road is vacant land designated for office, light industrial, and hangar uses. To the west is vacant land planned for a similar office/industrial/showroom development.

The proposed development is surrounded by streets on all 4 sides. This type of 4-sided visibility has been addressed through the site's organization. The request includes three single-story flex industrial and office buildings organized around an internal service area. The building's placement not only provides for attractive street scenes for all 4 sides, but internalizes the overhead doors and service areas as well. Additionally, the buildings are placed at various angles in relation to the streets to further the site's design. Although the majority of parking is placed along the street frontages, the parking/landscape setback has been enhanced to tapered angled orientations as well as increased distances to minimize the appeared parking impacts.

The provided 473 parking spaces accommodate a build-out of 50-percent office uses and 50-percent industrial/warehouse uses. A strong pedestrian circulation system is provided throughout the site that leads to a centralized unique pedestrian area. The pedestrian outdoor area includes a collection of umbrella tables surrounded by a circular bench system. A specimen tree is provided in the middle as a focal point. Adjacent to the centralized pedestrian outdoor feature, and at the terminus of the main vehicular drive aisle off Germann Road, is a "Red-Rock" boulder sculpture featuring up-lighting highlighted with Date Palm trees. Staff has added a condition requiring the applicant to provide additional trees adjacent to the buildings for more foundation landscaping, to be consistent with a recently approved project adjacent to the subject site. Additionally, Staff has added a condition requiring the applicant to work with Staff to adjust the retention basin designs to a more 'natural and pleasing' configuration.

The buildings are proposed as concrete-tilt construction. The building's facades are broken up through angled corners with offset tenant entry elements highlighted through the use of extensive amounts of glazing. Melbourne sandstone is applied upon large segments of the buildings providing a high quality image. Accent steel banding and horizontal steel canopies provide additional visual interest as well as a pedestrian scale. The buildings include earth-tone paint colors consistent with the Chandler Airport Center's Design Guidelines.

The development's signage is governed by the Comprehensive Sign Plan that applies to the Chandler Airport Center master plan. The Comprehensive Sign Plan limits the size, amount, and type of signage throughout the Chandler Airport Center, including that wall signage utilize individually mounted letters unless cabinets are part of the tenant's recognized corporate identification program. Monument signage is specified by the Comprehensive Sign Plan to feature internally illuminated brushed aluminum finish signs of a maximum of 10 feet in height with a planter base.

Staff supports the proposed Preliminary Development Plan finding it to represent a high-quality addition to the Chandler Airport Center master plan. The site's organization provides for

attractive street scenes while adequately screening the internal overhead doors. Additionally, the increased landscape setbacks along the street rights-of-way further the 'curb' appeal of the proposed development.

PUBLIC/NEIGHBORHOOD NOTIFICATION

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on March 1, 2007 at the Chandler Municipal Airport. No citizens attended.
- At the time of this writing, Staff has received no communication from citizens opposed to this request.

PLANNING COMMISSION VOTE REPORT

Motion to approve:

In Favor: 4 Opposed: 0 Absent: 3 (Anderson, Creedon, Gulsvig)

RECOMMENDED ACTION

Upon finding consistency with the General Plan and PAD zoning, Planning Commission and Staff recommend approval of PDP06-0054 CHANDLER AIRPORT CENTER – MARK IV subject to the following conditions:

1. Completion of the construction of all required off-site improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
2. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "CHANDLER AIRPORT CENTER – MARK IV." kept on file in the City of Chandler Current Planning Division, in file No. PDP06-0054, except as modified by condition herein.
3. The landscaping in all open spaces and rights-of-way shall be maintained by the adjacent property owner or property owners association.
4. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.
5. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Public Works for arterial street median landscaping.
6. All raceway signage shall be prohibited within the development.
7. The development shall contribute a proportionate amount to the design plus construction cost for a traffic signal at Germann Road/Wright Drive, as determined by Traffic Engineering staff. The second development to receive building permit approval at the north intersection corners will be required to design and install the traffic signal.

8. The development shall provide additional trees adjacent to the buildings.
9. All potential future parking space canopies shall incorporate building materials, forms, and colors to match the development.
10. The perimeter landscaping shall be installed as part of Phase I.
11. The applicant shall work with Staff to adjust the retention basin design to be more 'natural and pleasing'. Details to be worked out with Staff.
12. The canopy design shall include materials and elements found upon the buildings.

PROPOSED MOTION

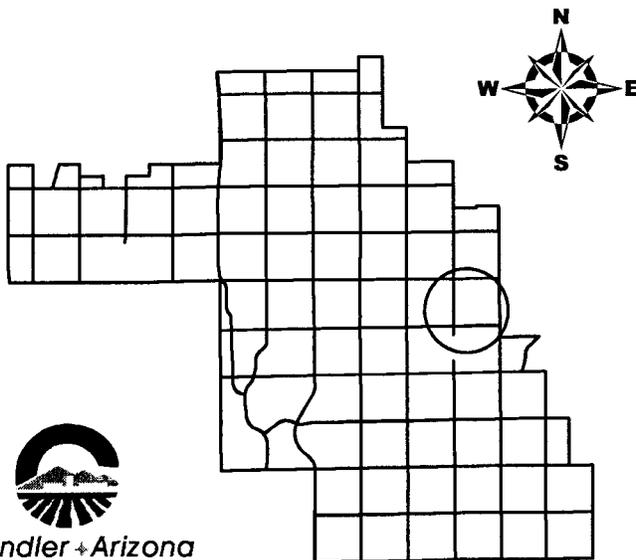
Move to approve the Preliminary Development Plan in case PDP06-0054 CHANDLER AIRPORT CENTER – MARK IV subject to the conditions recommended by Planning Commission and Staff.

Attachments:

1. Vicinity Map
2. Site Plan
3. Landscape Plan
4. Elevations
5. Perspective View
6. Development Booklet, Exhibit A



Vicinity Map



PDP06-0054

Chandler Airport Center-Mark IV



Chandler + Arizona
Where Values Make The Difference

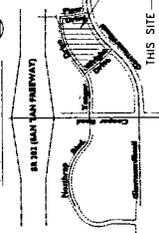
CITY OF CHANDLER 11/21/2006

LEGAL DESCRIPTION:
 Lot 4 Chandler Airport Center, Phase 1, defined in Book 858 of Maps, Page 9, records of Maricopa County, Arizona.

APN:

N/A AT THIS TIME. PLAT HAS NOT BEEN RECORDED AND APN'S HAVE NOT YET BEEN ASSIGNED / MADE PUBLIC.

VICINITY MAP



CHANDLER BUILDING CODES:

- UNIFORM ADMINISTRATIVE CODE, 1994 EDITION
- INTERNATIONAL BUILDING CODE, 2003 EDITION
- ARIZONANS WITH DISABILITIES ACT NATIONAL ELECTRICAL CODE, 2002 EDITION
- INTERNATIONAL PLUMBING CODE, 2003 EDITION
- INTERNATIONAL MECHANICAL CODE, 2003 EDITION
- INTERNATIONAL FUEL GAS CODE, 2003 EDITION
- ALL WITH CITY OF CHANDLER AMENDMENTS

BUILDING DATA:

BUILDING 1 AREA:	50,083 S.F.
NET:	47,859 S.F.
BUILDING 2 AREA:	41,306.6 S.F.
NET:	38,817.8 S.F.
BUILDING 3 AREA:	41,335.3 S.F.
NET:	38,922.4 S.F.

PROJECT DATA:

ZONING: I-1 PAD
 OCCUPANCY: B, S-1
 NON-SEPARATED PER SECTION 302.3.1
 CONSTRUCTION TYPE: ONE STORY

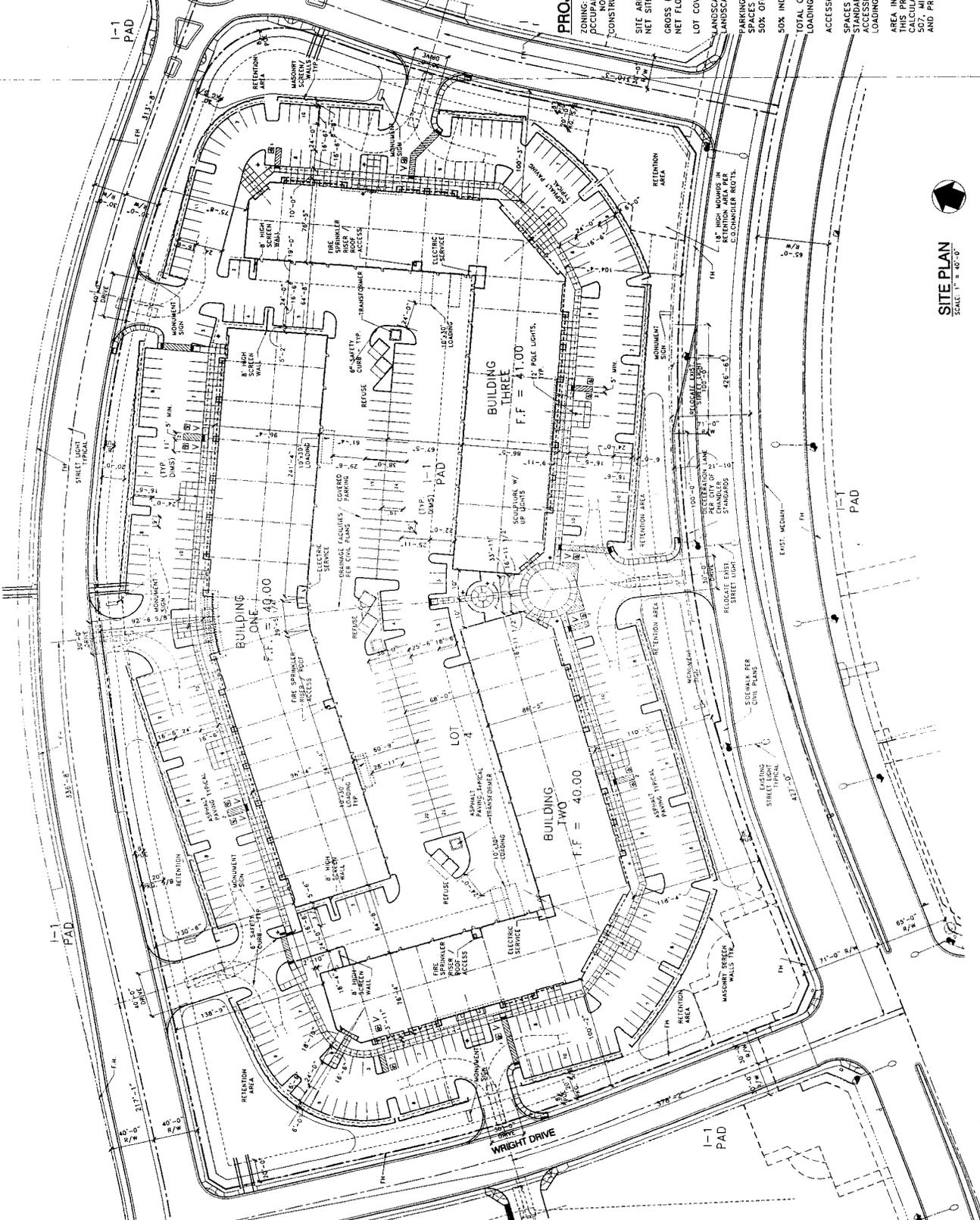
SITE AREA GROSS: 633,247 S.F. 14.537 AC.
 NET SITE AREA: 502,227 S.F. 11.529 AC.
 GROSS BLDG. AREA: 133,142 S.F. (DRIP LINE)
 NET FLOOR AREA: 124,730.2 S.F. (NET BLDG)

LOT COVERAGE: 26.5%
 LANDSCAPING PROVIDED: 184,898 S.F. 4.2 AC.
 LANDSCAPE COVERAGE: 36.8%

PARKING REQUIREMENTS:
 SPACES REQUIRED:
 50% OFFICE @ 1:200 S.F. = 62,365/200 = 312 SPACES
 50% INDUSTRIAL @ 1:500 S.F. = 62,365/500 = 125 SPACES
 TOTAL CARS: = 437 SPACES
 LOADING @ 1:25,000 = 124,730.2 / 25000 = 5 SPACES
 ACCESSIBLE REQUIRED: 401 : 500 = 9

SPACES PROVIDED: 459 SPACES
 STANDARD: 447 SPACES
 ACCESSIBLE: 12 SPACES
 LOADING: 6 SPACES

AREA INCREASE CALCULATIONS:
 THIS PROJECT IS CONSIDERED AS ONE BUILDING WHEN THE TOTAL GROSS FLOOR AREA IS LESS THAN 567,000 S.F. PER SECTION 903.3.1.1 AND PROVIDED WITH A.F.E.S. PER SECTION 903.3.1.1.



SITE PLAN
 SCALE: 1" = 40'-0"

REDROCK BUSINESS PLAZA
 CHANDLER, ARIZONA

A101
 08/18/10
 08/04/07



THE MAKING OF AN ARCHITECTURAL DRAWING IS A COMPLEX TASK THAT REQUIRES A HIGH LEVEL OF SKILL AND ATTENTION TO DETAIL. WE ARE PLEASSED TO BE PART OF YOUR PROJECT AND TO PROVIDE YOU WITH THE BEST POSSIBLE SERVICE. IF YOU HAVE ANY QUESTIONS OR NEEDS, PLEASE CONTACT US AT 480.440.1000. WE WILL BE GLAD TO ASSIST YOU.



CAC-MARK IV
CHANDLER, ARIZONA
CONCEPTUAL LANDSCAPE FOR PDP

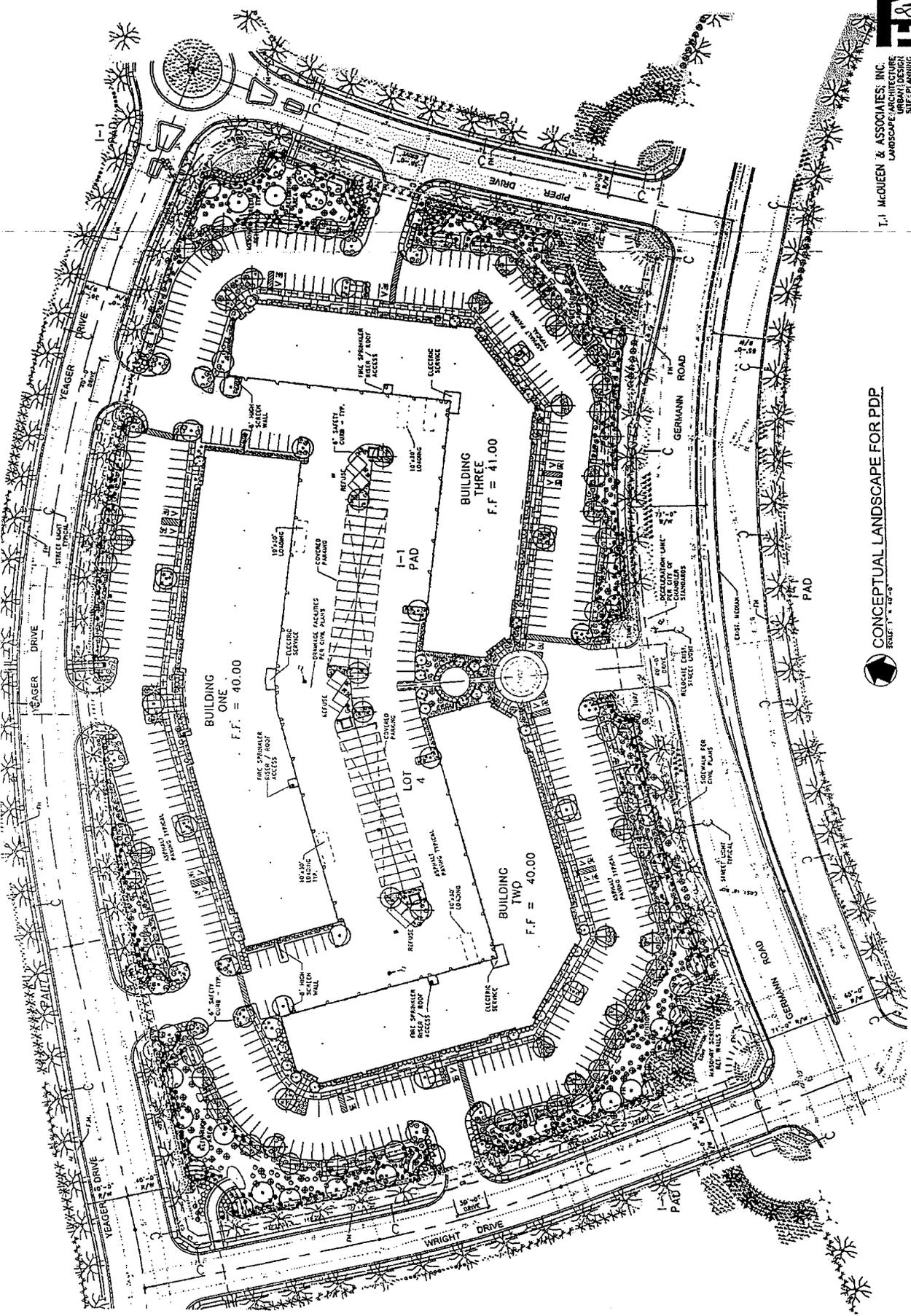
1/10
SCALE
24.000000

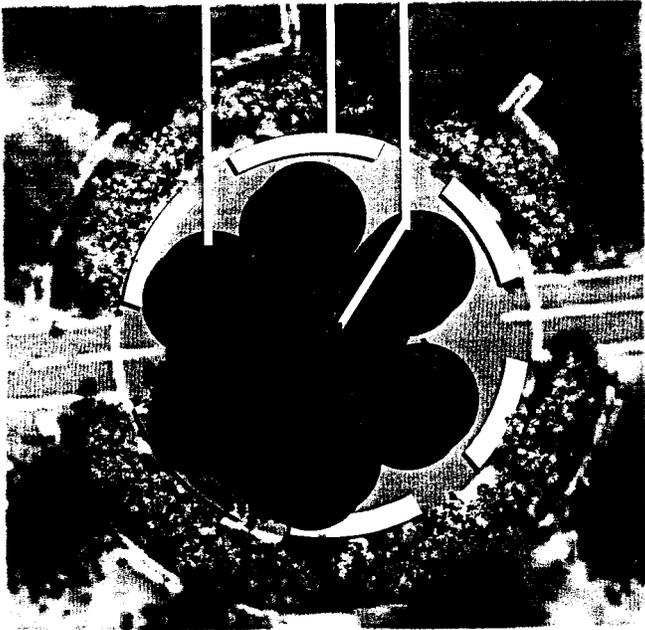
bolmer
architectural
group
inc.



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
1121 East McDowell
Phoenix, Arizona 85014
(602) 965-0330

CONCEPTUAL LANDSCAPE FOR PDP.
SHEET 1 OF 22-02





LOW COURT WALL
 UMBRELLA TABLES
 BENCHES
 SPECIMEN TREE

A-2 PATIO

BERM LAWN

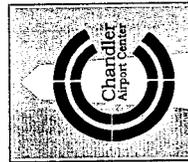
RED ROCK BOULDER SCULPTURE



RED ROCK BOULDER SCULPTURE

A-1 ENTRY SCULPTURE

CHANDLER AIRPORT CENTER - MARK IV
 CHANDLER, ARIZONA

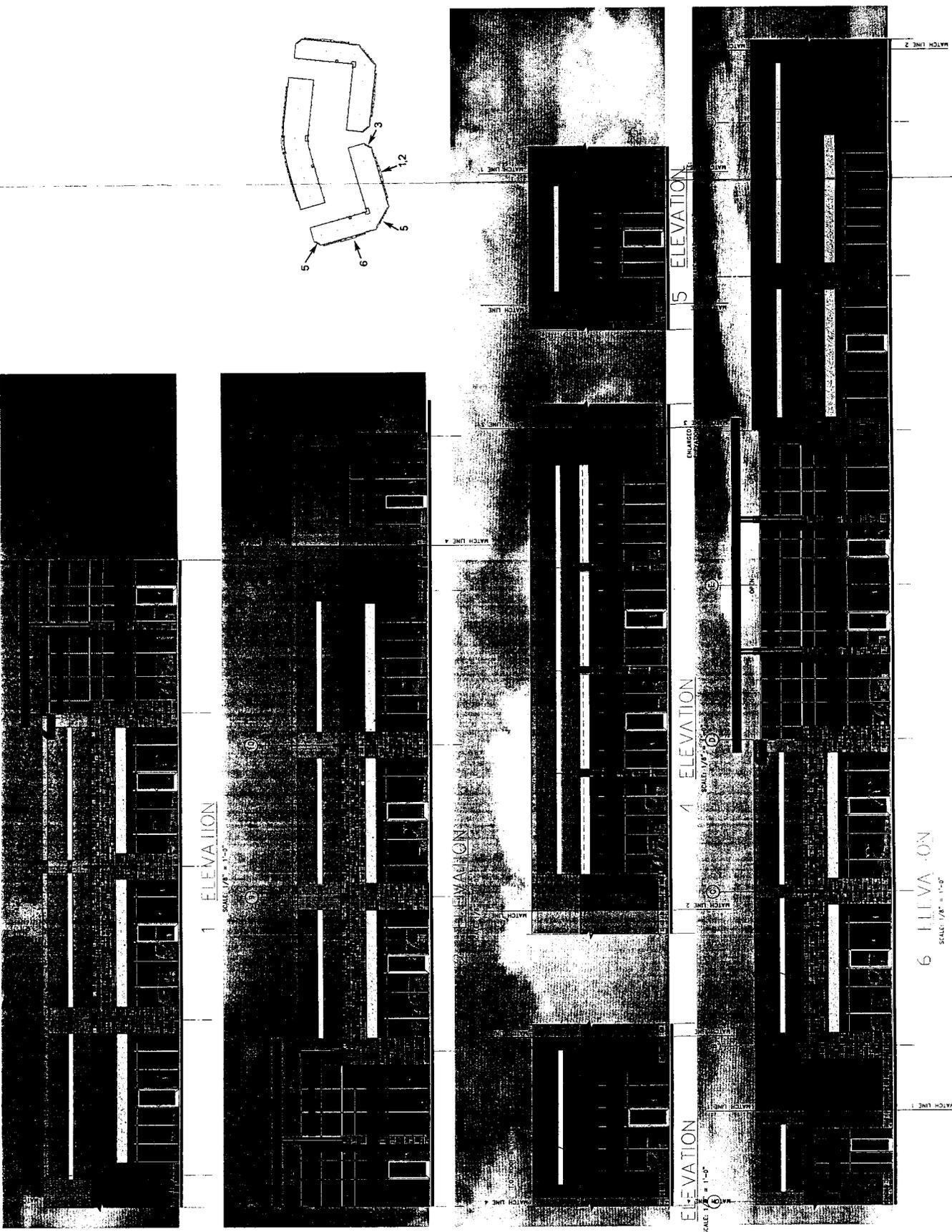




© 2008 Balmier Architectural Group, Inc.
 All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Balmier Architectural Group, Inc.
 1001 East Camelback Road, Suite 100
 Phoenix, Arizona 85014
 Phone: (602) 955-1234
 Fax: (602) 955-5678
 Email: info@balmiergroup.com
 Website: www.balmiergroup.com

CAC - MARK IV
 CHANDLER, ARIZONA
 BUILDING 2 EXTERIOR ELEVATIONS

B2-A201
 2008
 26 JAN 07
 PRELIMINARY



1 ELEVATION
 SCALE 1/8" = 1'-0"

2 ELEVATION
 SCALE 1/8" = 1'-0"

3 ELEVATION
 SCALE 1/8" = 1'-0"

4 ELEVATION
 SCALE 1/8" = 1'-0"

5 ELEVATION
 SCALE 1/8" = 1'-0"

6 ELEVATION
 SCALE 1/8" = 1'-0"

MATERIALS

ALUMINUM

P1 - FRAZEE PAINT - 8275D ROUND-UP; LRV23

P2 - SHERWIN WILLIAMS - SW 6099 SAND DOLLAR

P3 - PITTSBURGH PAINTS - NUTMEG 326-6; LRV 20

P4 - FRAZEE PAINT - 8276A MESQUITE CANYON; LRV 17

P5 - FRAZEE PAINT - 8336N BAVARIAN CHALET

GLASS:

AQUA LIGHT REFLECTIVE MEDIUM PERFORMANCE GLASS

STONE:

MELBOURNE SANDSTONE

FRAME:

ALUMINUM METAL

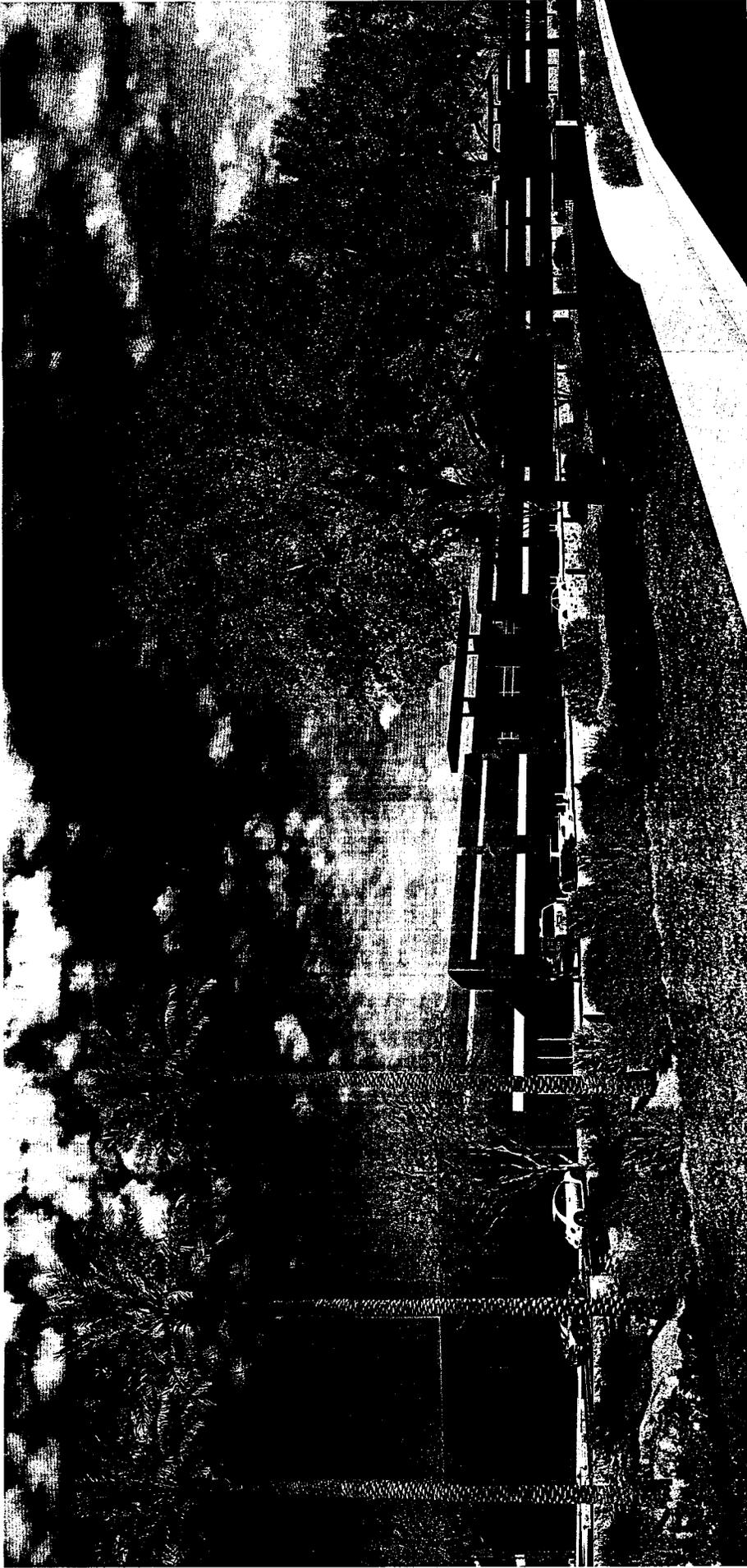
8
MATCH LINE



METAL DETAIL (P5)

EIFS (P2)

WALL SCONCE3 (P5)



CHANDLER AIRPORT CENTER - MARK IV

CHANDLER, ARIZONA

