

# 13

APR 12 2007



**Chandler • Arizona**  
*Where Values Make The Difference*

**MEMORANDUM**

**Planning & Development - CC Memo No. 07-071**

**DATE:** MARCH 23, 2007

**TO:** MAYOR AND CITY COUNCIL

**THRU:** W. MARK PENTZ, CITY MANAGER  
DOUG BALLARD, PLANNING & DEVELOPMENT DIRECTOR  
JEFF KURTZ, ASSISTANT PLANNING & DEVELOPMENT DIRECTOR  
BOB WEWORSKI, PLANNING MANAGER

**FROM:** ERIK SWANSON, CITY PLANNER

**SUBJECT:** PDP06-0059 WESTECH CORPORATE CENTER – LOT 15

**Request:** Request Preliminary Development Plan (PDP) approval for site layout and building architecture for an industrial building.

**Location:** 2352 N. Delaware Court (northeast of the NEC of Warner Road and Arizona Avenue)  
Westech Corporate Center – Lot 15

**Applicant:** Bob Winton  
Winton Architects

**RECOMMENDATION**

Upon finding the request to be consistent with the General Plan and the approved Planned Area Development (PAD) zoning for Westech Corporate Center, Planning Commission and Staff recommend approval of the Preliminary Development Plan subject to conditions.

**BACKGROUND**

The property is located within the Westech Corporate Center west of Nevada Street, north of Warner Road. Directly north of the site is the Essco Wholesale Electric building. Directly east of the site is the recent, Council approved Erickson Consulting development. South of the site is the Biscayne Bay apartments. Directly west of the site is a vacant lot zoned for industrial type uses.

The Westech Corporate Center is part of the Westech PAD that received conceptual zoning in 1985. The conceptual zoning included industrial (105.1 acres), commercial (46.4 acres), and multi-family (33.3 acres). In 1998, the multi-family portion received PDP approval for the Biscayne Bay apartment development. The subject property is bordered on the south by the Biscayne Bay apartments, and on all other sides by industrially zoned property.

The subject site is located in the southwest lot of Delaware Court. The building entrance faces east onto Delaware Court. Due to the site location and layout there will be one vehicular access point to the rear of the site from the cul-de-sac. Two loading docks located on the south side of the building are provided for the potential user. An entrance gate on the site's southeast side of the site will screen the outdoor storage area from the cul-de-sac.

The approximate 12,100 sq. ft. shell will be utilized for industrial type uses with approximately 775 square feet utilized as office space. The proposed building is located along the northern property line, with all associated parking and outdoor storage to the south of the building. A 6' wall will surround the site, with all outdoor storage below the 6' wall height. The 6' screen wall will be constructed of CMU. Additional 3' CMU screen walls at the site entrance will provide screening of the parking at the building entrance. Parking for the site meets current Zoning Code requirements for this distribution of office and industrial type uses, providing a total of 29 parking spaces.

The building design quality and architectural treatments are comparable with similarly sized industrial buildings in Westech. The 31-foot tall building consists of a mix of stucco, split face and center scored CMU. To provide variety in form, horizontal banding will be provided along with various vertical plane changes. The entry to the building will provide a pop-out element and a steel canopy over the entrance to provide a more pedestrian scale to the building. Pop-out elements will be utilized on all sides of the building, providing for a uniform look and alleviation from blank wall planes. The pop-out elements will utilize both stucco on CMU and center scored CMU. The building elevations show exterior metal downspouts, Staff has added a condition requiring that roof drainage shall be internalized

#### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- Notices were mailed to all property owners within a six-hundred (600') foot radius and all Registered Neighborhood Organizations (RNO's) within one ¼ mile.
- A legal notice was advertised in the newspaper.
- A 4' by 8' public hearing sign was installed on the property.
- A neighborhood meeting was held on Monday, February 12, 2007. No neighbors were in attendance.

As of the writing of this memo, Staff has received no calls or letters of opposition with this request.

#### **PLANNING COMMISSION VOTE REPORT**

Motion to Approve: In Favor: 7 Opposed: 0

Planning Commission had some concerns regarding the landscaping along the western and southern portions of the subject site, and the use of a “dooley” wall surrounding the site. Planning Commission recommended the addition of conditions 13 and 14 to address the concerns.

**RECOMMENDED ACTION**

Planning Commission and Staff, upon finding consistency with the General Plan, recommend approval of the Preliminary Development Plan subject to the following conditions:

1. Compliance with original stipulations adopted by the City Council as Ordinance No. 2858, in case PL98-0020 WESTECH PAD.
2. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled “Westech Lot 15 PAD/PDP”, kept on file in the City of Chandler Current Planning Division, in File No. PDP06-0059, except as modified by condition herein.
3. The landscaping in all open spaces and rights-of-way shall be maintained by the adjacent property owner or property owners association.
4. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.
5. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Director of Public Works for arterial street median landscaping.
6. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
7. No outside storage or display of any kind will be permitted for any business outside of the fenced yards behind buildings. Such storage shall not be taller than the perimeter fence and shall not reduce the amount of available parking spaces as required by Chandler Zoning Code.
8. Any building signage shall be halo-illuminated or non-illuminated.
9. All raceway signage shall be prohibited within the development.
10. All roof drainage shall be internalized.
11. Landscaping along Delaware Court shall conform to Commercial Design Standards.
12. Outdoor pedestrian seating shall be provided at the building entrance.

13. The landscaping along the southern and western property lines shall adhere to the dissimilar use landscape buffer requirements. The dissimilar use landscape buffer requires evergreen trees to be at 20' on center and 12' in height at the time of planting.

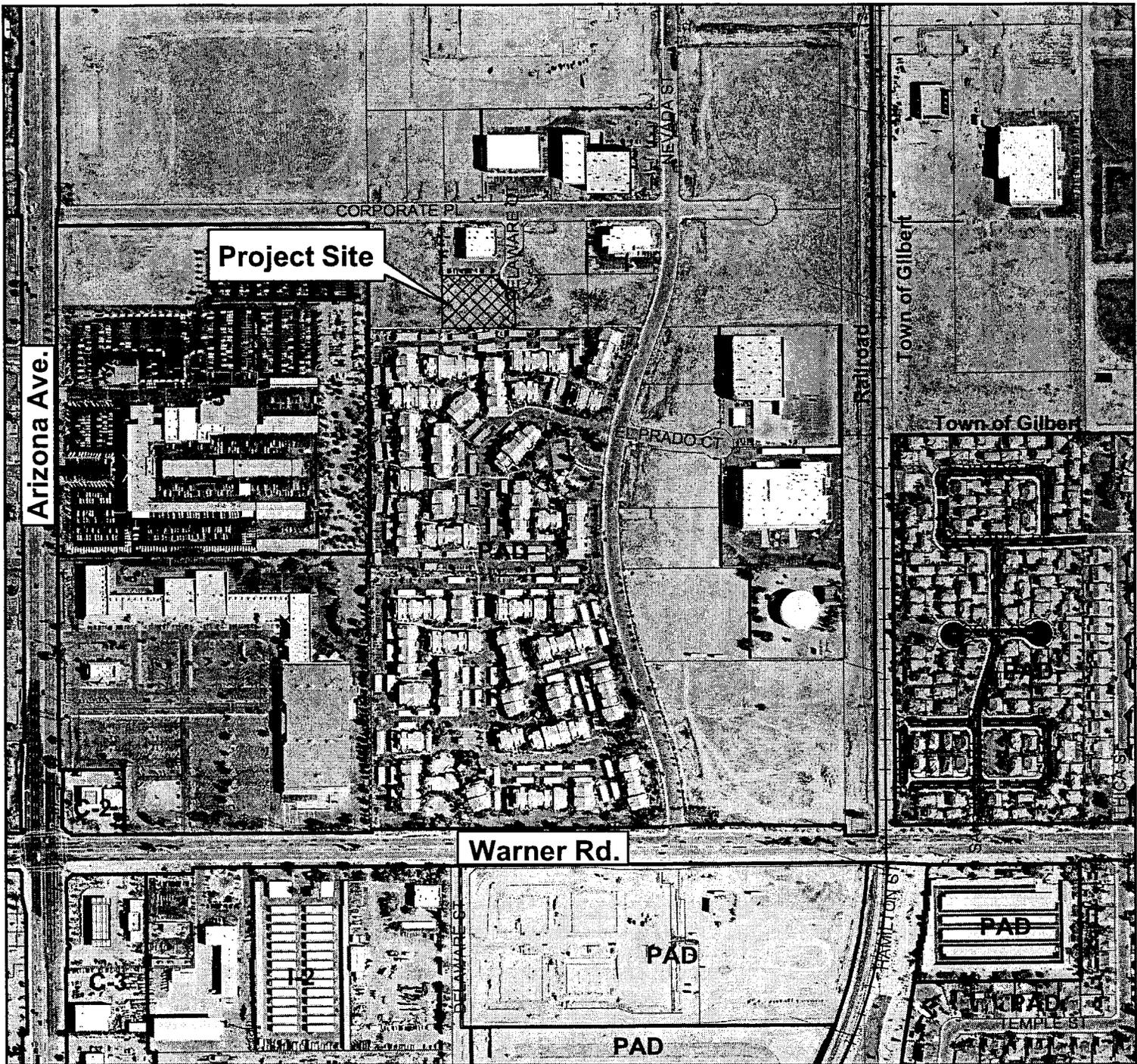
14. The perimeter wall shall be 6' tall and constructed of 8" split-faced CMU.

**PROPOSED MOTION**

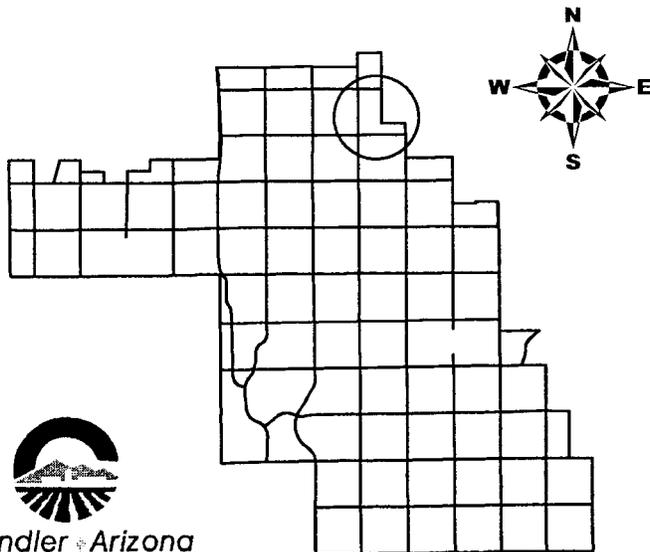
Move to approve PDP06-0059 WESTECH CORPORATE CENTER – LOT 15, subject to the conditions recommended by Planning Commission and Staff.

**Attachments:**

1. Vicinity Map
2. Site Plan
3. Building Elevations
4. Screen wall details
5. Applicant Narrative
6. Ordinance No. 2858
7. Development Booklet, Exhibit A



## Vicinity Map



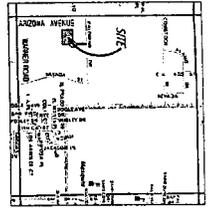
PDP06-0059

Westech Corporate Center  
Lot 15



Chandler Arizona  
Where Values Make The Difference

CITY OF CHANDLER 12/12/2006



VICINITY MAP  
SCALE: NONE

**PROJECT DATA**

**ADDRESS**  
4222 N. 12th Street, Suite 102, Chandler, AZ 85014

**OWNER**  
Westech Corporate Center, Inc.

**ARCHITECT**  
Winton Architects, Inc.

**DATE**  
12/06/07

**LOT INFORMATION**  
LOT 15, WESTECH CORPORATE CENTER TRACT

**CONTRACT NO.**  
00910515151

**ALTERNATE NO.**  
None

**PREVIOUS REVISIONS**  
None

**PLANNING REVISIONS**  
None

**ACCESSIBLE PARKING SPACES**  
23 Spaces

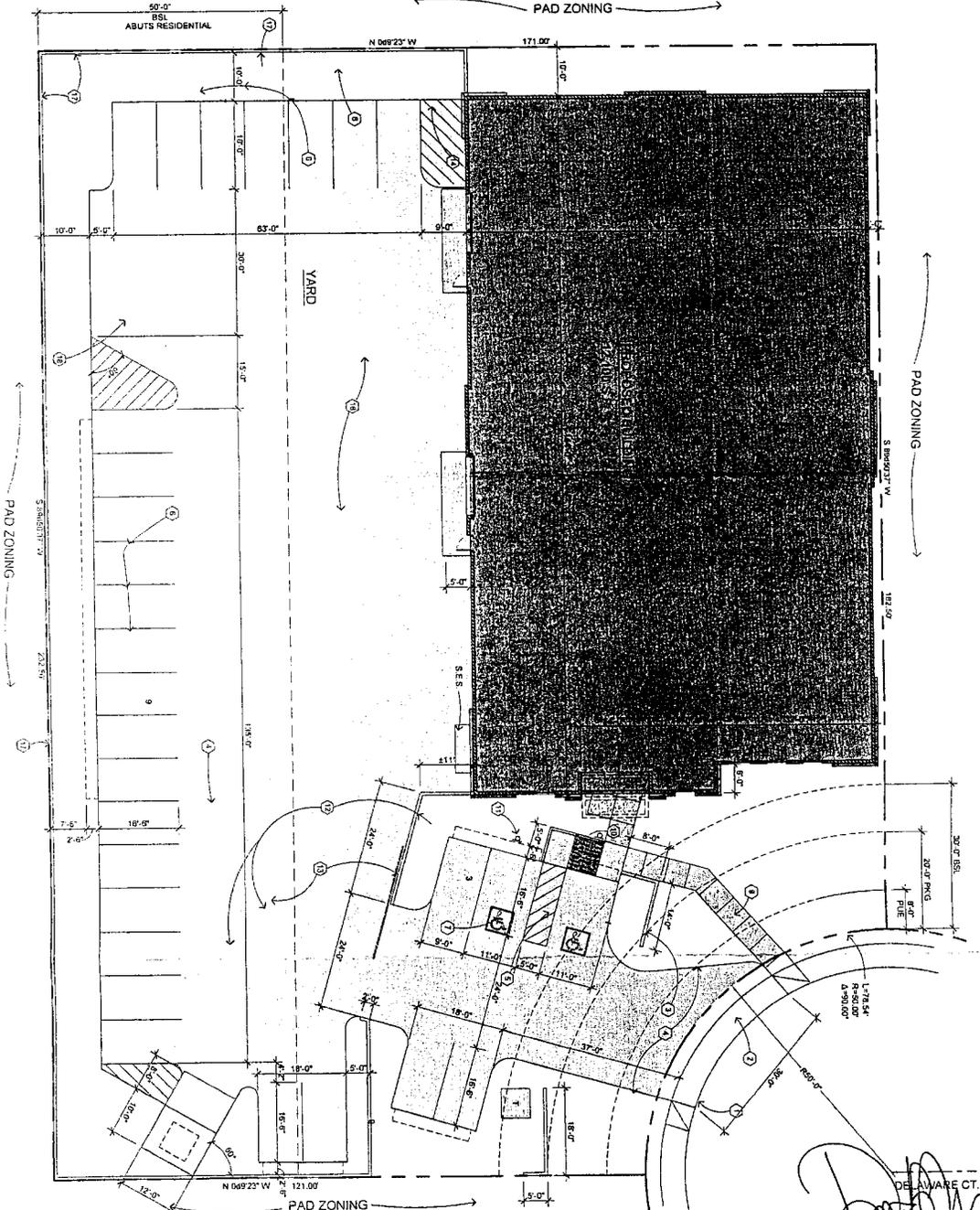
**ACCESSIBLE TRAVEL SPACES**  
2 Spaces

**VEHICLE SPACES**  
1 Space

**NOTES**  
1. See Site Plan for details of accessible parking and travel spaces.  
2. See ADAAG for details of accessible parking and travel spaces.  
3. See ADAAG for details of accessible parking and travel spaces.  
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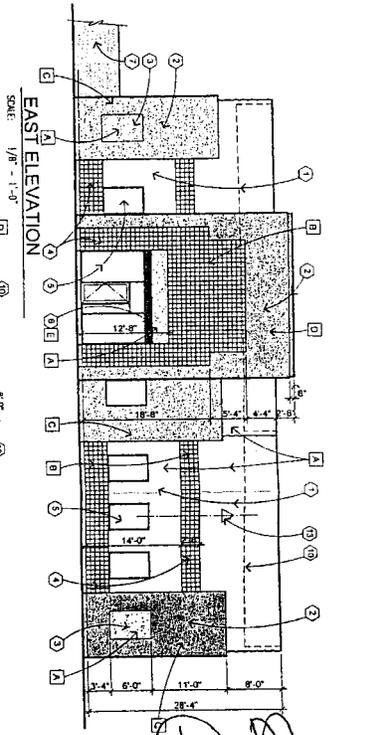
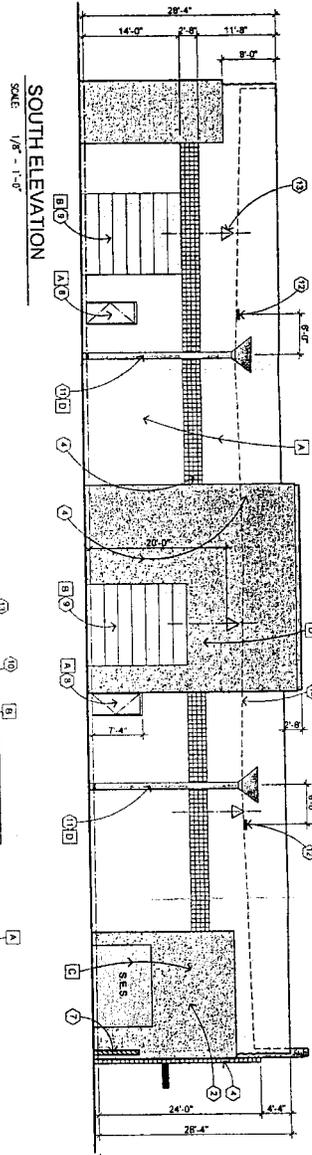
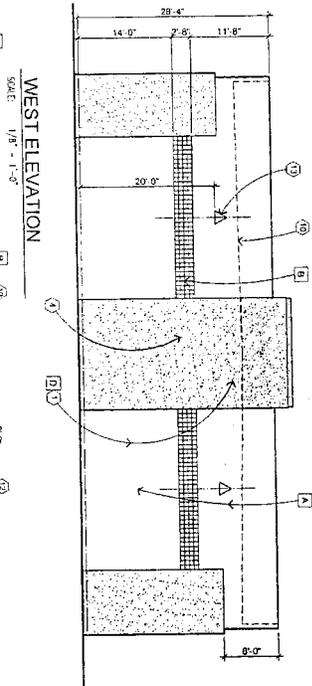
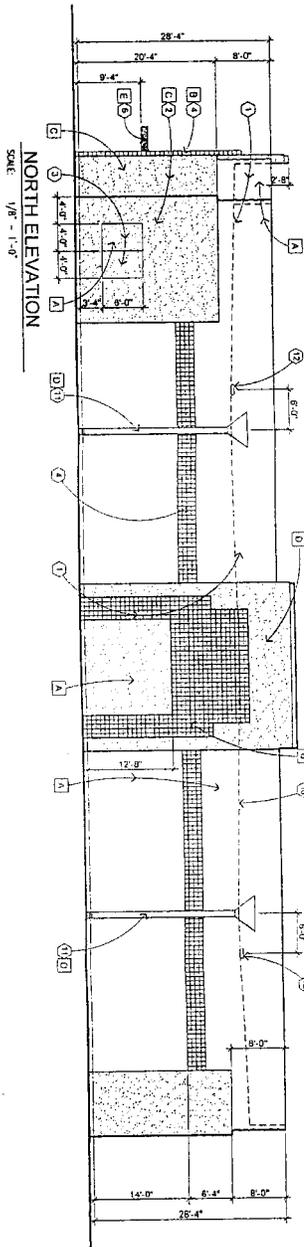
- SITE PLAN NOTES**
- Existing concrete vertical curb and gutter.
  - New 30" wide concrete drive.
  - 3'-0" high, 6" Architectural CMU screen wall.
  - 6" poured-in-place concrete curbing.
  - 4" wide yellow painted diagonal striping at 30' o.c. and at the perimeter.
  - 4" wide white painted parking striping.
  - Accessible symbol painted on the pavement.
  - 6"x6" long precast concrete bumper.
  - 4" concrete sidewalk with score joints at 5'-0" o.c. max. and expansion joints at 30' o.c. max. Includes call finish.
  - Ramp up 1:12 max. Provide truncated domes per detail, Sheet SP-2.
  - 6'-0" high, 6" vinyl board CMU screen wall.
  - Flue 12'-0" x 6'-0" subflooring above grille. Provide 1-D shoe box.
  - 4" wide yellow painted diagonal striping at 30' o.c. and at perimeter.
  - 5'-0" wide 7" thick (5500 psi) concrete stoop, built with lean flow and epoxy pavement.
  - Asphalt pavement per Civil drawings.
  - High "Timber" block wall.
  - Single lean post and rafter per City of Chandler's Standard Details.

SITE PLAN  
SCALE: 1"=10'-0"



SP-1	revisions	job no.	05152	<b>LOT 15</b> <b>WESTECH CORPORATE CENTER</b> CHANDLER, ARIZONA	 <b>winton architects, inc.</b> 4222 N. 12th Street, Suite 102, Phoenix, Arizona 85014 (602) 230-9778	
	drawn	WAB/D	approved			

- EXTERIOR ELEVATION NOTES:**
- 1 8" solid CMU
  - 2 Sluice on CMU
  - 3 6" x 8" deep recess
  - 4 8" center solid CMU
  - 5 Finished steel door frame
  - 6 12" deep lobe steel framed canopy per detail
  - 7 8" O' High, 8" solid CMU screen wall
  - 8 Hollow metal door and frame
  - 9 Steel structural overhead door
  - 10 Lites of roof beyond parapet
  - 11 Metal downspout per detail
  - 12 Secondary scupper opening
  - 13 Wall Peak Light fixture
- EXTERIOR PAINT COLORS**  
(Fresno Paints)
- A Plaza Blue, BS211W
  - B Swamp Pines, BS234L
  - C Chestnut Spec, BS258M
  - D Jamboula, BS253D
  - E Herringwood, BS281H

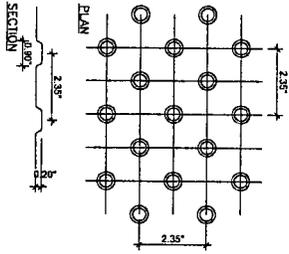


<b>A-2</b>	Job no. 05152	LOT 15
	drawn MGO	<b>WESTECH CORPORATE CENTER</b>
approved RHW	date 1/23/07	CHANDLER, ARIZONA
revisions		

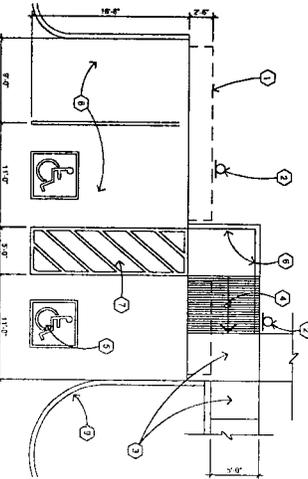
**WA** winton architects, inc  
4222 N. 12th Street, Suite 102, Phoenix, Arizona 85014  
(602) 230-9778 FAX (602) 265-9739



**F TRUNCATED DOME PATTERN @ ADA RAMP**  
SCALE: 6"=1'-0"



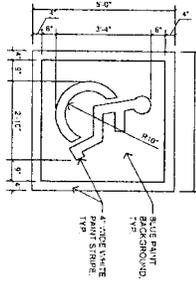
**E BLOW-UP @ ACCESSIBLE PARKING**  
SCALE: 3/16"=1'-0"



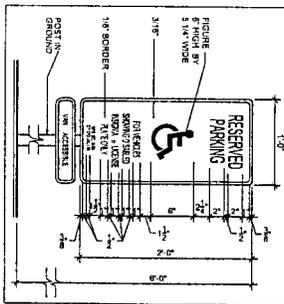
**ACCESSIBLE PARKING KEYNOTES**

- 1 Indicates opening of vehicle.
- 2 Accessible signage per detail, this sheet.
- 3 4" concrete sidewalk, salt finish.
- 4 Ramp up maximum 1:12 slope. Provide truncated domes per Detail X.
- 5 Accessible symbol on pavement per detail this sheet.
- 6 6" poured in place concrete curbing.
- 7 4" wide yellow painted diagonal striping at 24" o.c.
- 8 Asphalt pavement per Civil drawings.
- 9 6" extruded concrete curbing.

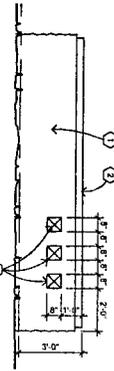
**D SYMBOL OF ACCESSIBILITY**  
SCALE: 1/2"=1'-0"



**C ACCESSIBILITY SIGN**  
SCALE: 1/2"=1'-0"



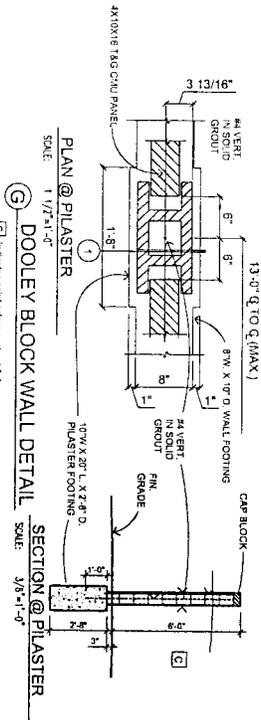
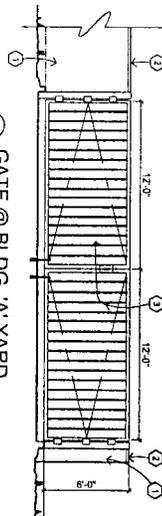
**B TYPICAL SCREEN WALL @ STREET**  
SCALE: 3/8"=1'-0"



**GATE & WALL ELEVATION KEYNOTES**

- 1 8" galvanized CNU.
- 2 2" solid cap block.
- 3 Tube steel gates with metal track, refer per Door Schedule.
- 4 6" diameter steel pipes by 100-0" long. Set in 3'-0" diameter concrete footing. Provide 3 heavy duty hinges refer to gate and pipe.
- 5 1-1/2" square, 6" concrete square CNU. Set flush to back of wall.

**A GATE @ BLDG. 'A' YARD**  
SCALE: 1/4"=1'-0"



**D DOOLEY BLOCK WALL DETAIL**  
SCALE: 1/2"=1'-0"

**SECTION @ PILASTER**  
SCALE: 3/8"=1'-0"

1 Indicates paint color per sheet A.4

SP-2

JOB NO. 03152  
DRAWN TCH  
APPROVED RBW  
DATE 1/23/07  
REVISIONS

LOT 15  
**WESTECH CORPORATE CENTER**  
CHANDLER, ARIZONA



winton architects, inc.  
4222 N. 12th Street, Suite 102, Phoenix, Arizona 85014  
(602) 230-9778 FAX (602) 265-9739

# **SPEC OFFICE/WAREHOUSE - LOT 15 - WESTECH**

## **PROJECT NARRATIVE**

It is the intent of our client to develop a small spec office/warehouse with a yard on a parcel just under an acre.

The proposed project would allow a small business to build a building with its own secured yard.

The exterior of the building will be a combination of split faced CMU, center scored CMU and stucco.

The building fronts onto a cul-de-sac and the East portion of the building will have pop-out elements and a high element at the entry.

The entry will also have a steel canopy to lower the scale of a pedestrian entry to the building.

This style will be compatible with adjacent buildings in the park.

ORDINANCE NO. 2858

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY EXTENDING THE PAD ZONING OF A PARCEL (PL98-020 WESTECH) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

A parcel of land located in the West half of Section 15, Township 1 South, Range 5 East, Gila and Salt River Base and Meridian, Maricopa County, Arizona; more particularly described in Planning File PL98-020 WESTECH PAD

Said parcels PAD zoning is hereby extended subject to the following conditions:

1. Development shall be in general conformance with Exhibit A, Development Plan; Exhibit B, Illustrative Site Plans; Exhibit C, Entryway Details; and Exhibit D, Development Quality Exhibits.

2. Zoning is granted for Conceptual Plan only. Preliminary Development Plan(s) must be submitted and approved in compliance with Section 1700, Planned Area Development, Chandler Zoning Code, prior to development.
3. Dedication of the following half or full street right-of-ways per standards of the City's Transportation Plan unless determined otherwise by the City Transportation Engineer :
  - a) Arizona Ave. 65 ft. half-street (71 ft. for deceleration lane)
  - b) Warner Rd. 65 ft. half-street (71 ft. for deceleration lane)
  - c) El Prado Rd. 66 ft. full street
  - d) Internal Rd. 80 ft. full street
4. The applicant/owner shall install required off-site street improvements (i.e. travel, turn and deceleration lanes, curb, gutter, and sidewalk) in accordance with the Council adopted 1993 Transportation Plan and Technical Design Manual No. 4.
5. The applicant/developer shall provide a traffic impact study for the overall site at the time of submittal of the first Preliminary Development Plan.
6. The applicant/owner shall install required water and sewer infrastructure in accordance with the City adopted standards. The applicant/developer shall provide an infrastructure analysis at the time of Preliminary Development Plan submittal in order to verify compliance with the City of Chandler Water and Wastewater Master Plan.
7. Irrigation ditches and/or canals within or adjacent to the subject property shall be undergrounded (tiled) or abandoned per Council-adopted standards at the time of Preliminary Development Plan approval.
8. Overhead utility lines, less than 69kv in size, shall be undergrounded per Council-adopted standards at the time of Preliminary Development Plan approval.
9. Street lights design and installation per adopted City standards shall be provided at the time of Preliminary Development Plan.
10. The applicant/property owner shall be responsible for all standard "buy ins" to existing public works facilities as required by City code.
11. A Preliminary Master Map of Dedication shall be submitted prior to the sale of parcels and approved by the Staff prior to or in conjunction with the first Preliminary

- Development Plan. Said Master Map of Dedication shall address right-of-way (arterials and collectors) and parcel lines.
12. Development phasing is to be determined at the time of the Preliminary Map of Dedication or Preliminary Development Plan whichever occurs first. Construction of needed subdivision infrastructure and installation of street frontage landscaping shall occur in conjunction with the timing of development construction on adjoining parcels.
  13. A unified landscape design theme for all streetscape and entryway features shall be established with the first Preliminary Development Plan.
    - i)
  14. Construction shall commence above foundation walls within two (2) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
  15. Multifamily density, as warranted by proposed development quality (i.e. architectural design, site design, amenity package, landscaping, etc.) shall be a function of Preliminary Development Plan review and approval.
  16. The number, nature, and design of commercial land uses, which will be more specifically defined through the Preliminary Development Plan approval process, shall be planned in accordance with the following guidelines:
    - a) The City wishes to encourage the development of larger scaled businesses (e.g. auto dealers, furniture and carpet stores, appliance stores, home improvement centers, hardware stores, etc.) which require large sites and are, on a square foot basis, lower traffic generators. Smaller scaled businesses are also encouraged if functionally and aesthetically well integrated with the larger businesses.
    - b) Future commercial Preliminary Development Plans shall encompass sufficient area to provide for the orderly development of significant portions of Tracts A and B. Such Preliminary Development Plans may include a large scale single tenant user (i.e. auto dealer), a collection of smaller scale commercial users, or a combination thereof. Small piecemeal developments, one to two acres, which are not part of larger master planned areas are prohibited.

17. Due to the impact of the development, a development agreement in the form approved by the City as required to provide necessary public infrastructure.

SECTION II. Except where provided, nothing contained herein shall be construed to be and abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this 35 day of JUNE, 1998.

ATTEST:

*Coralyn Renna*  
CITY CLERK

*Jay Libbey*  
MAYOR

PASSED AND ADOPTED by the City Council this 13 day of JULY, 1998.

ATTEST:

*Coralyn Renna*  
CITY CLERK

*Jay Libbey*  
MAYOR