

#12
FEB 28 2008



Chandler • Arizona
Where Values Make The Difference

MEMORANDUM Planning and Development – CC Memo No. 08-039

DATE: FEBRUARY 11, 2008

TO: MAYOR AND CITY COUNCIL

THRU: W. MARK PENTZ, CITY MANAGER
DOUG BALLARD, PLANNING AND DEVELOPMENT DIRECTOR
JEFF KURTZ, ASSISTANT PLANNING AND DEVELOPMENT DIRECTOR
BOB WEWORSKI, PLANNING MANAGER

FROM: KEVIN MAYO, PRINCIPAL PLANNER

SUBJECT: DVR07-0037/PPT08-0001 ROCKEFELLER GROUP CROSSROADS
Introduction and Tentative Adoption of Ordinance No. 4031

Request: Rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) with Preliminary Development Plan (PDP) and Preliminary Plat (PPT) approval for a business park development consisting of industrial and commercial uses on approximately 80-acres

Location: Northwest corner of Gilbert and Queen Creek Roads

Project Info: Approximately 80-acre site, retail, office, light industrial and showroom uses

Applicant: Ed Bull
Burch & Cracchiolo, P.A.

RECOMMENDATION

Upon finding the request to be consistent with the General Plan and Airpark Area Plan, Planning Commission and Staff recommend approval subject to conditions.

BACKGROUND

The request is for rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) with Preliminary Development Plan (PDP) and Preliminary Plat (PPT) approval for a business park development consisting of industrial and commercial uses on approximately 80-acres located at the northwest of Gilbert and Queen Creek Roads. The subject site falls within

the 9 square-mile Airpark Area Plan. The Area Plan designates the subject site as Commercial/Office/Business Park permitting campus-like employment developments consisting of business park office and light industrial uses including retail commercial services. The request is consistent with the Airpark Area Plan.

The subject site is surrounded to the north by property zoned PAD for a business park. The future Emmett Drive alignment abuts the property's west side with vacant land zoned AG-1, identified within the Airpark Area Plan as Commercial/Office/ Business Park, located west of Emmett Drive. Gilbert Road abuts the site's east side with vacant and agricultural properties zoned Rural-43 within Maricopa County. Queen Creek Road is adjacent to the south, with the existing Carmel Village commercial development and Abralee Meadow residential subdivision located south of Queen Creek Road.

The request includes a variety of buildings organized within a campus setting. The proposed uses transition from commercial retail uses along the Gilbert Road frontage and showroom/warehouse uses west of the immediate corner, to office/light industrial uses located within the center, to office/light industrial/distribution uses at the subject site's western half. The buildings and landuse designations are designed in a 'flex' nature to allow the flexibility to respond to market demands, while maintaining a campus-like cohesive development. The retail component permits uses consistent with the Community Commercial (C-2) zoning district. The office component permits all general office uses including professional, business, administrative, and executive offices, with Building 3 permitting the addition of medical office uses. The industrial/office/warehouse component permits uses identified within the Planned Industrial (I-1) zoning district including office uses. The showroom/warehouse uses are permitted only within Buildings 2, 3, 13 and 14 limited to a maximum 80% of the floor area devoted to the display of goods. Refer to the Area & Use Exhibit under Tab 3 within the attached Development Booklet for additional details.

The development is organized around two primary entrance drives, one along Gilbert Road, and the other along Queen Creek Road. The Gilbert Road primary drive is designed as a tree-lined boulevard entrance highlighted with textured paving leading to a circular drive feature and circular parking lot, of which buildings 5, 6 and 8 front onto. The signature boulevard entrance along Queen Creek Road includes two large lakes with water features flanking either side of the drive. This tree-lined drive serves as the primary focal point for the campus environment. Additionally, a water feature is provided at the immediate Gilbert Road and Queen Creek Road intersection helping to establish a high-quality image. The development provides a significant amount of angled-building orientation that in combination with the lakes and water features creates a very attractive street scene. The project is proposed to develop in two Phases. Phase I will include all right-of-way and perimeter landscaping along the three street frontages, as well as all improvements associated with Buildings 1-16 including the signature landscaped boulevard entrance drive with lakes along Queen Creek road. Phase II will include the balance of the site's western half.

Based upon the project's 'flex' mixed-use nature, the proposal includes a requested parking reduction of up to 13-percent. The final number will be determined by the size and mix of the future tenants. A parking contingency plan has been provided that demonstrates the ability to recover the deficient spaces through the under grounding of two large retention basins within the business park as well as re-stripping areas not utilized for truck dock loading. At the determination

of the Zoning Administrator, the installation of these additional parking spaces would bring the development into full compliance with Code requirements. Based upon the submitted parking study, as well as the future ability to 're-cover' the deficient parking spaces, Staff supports the requested parking reduction.

The site incorporates a significant amount of special features and pedestrian amenities. These include numerous outdoor pedestrian patios with seating benches and large shade trees, seating cubes along primary pedestrian pathways, and large turf areas for outdoor pedestrian activities. In addition, the three signature water features include interactive fountains that incorporate stair-stepped radial landscaped planters and seat walls. The majority of pedestrian pathways are tree-lined to create shaded walkways between buildings. Additionally, a significant effort has been made to separate the various traffic patterns including the pedestrian walkways, passenger vehicle routes and the on-site truck circulation routes.

The attached building elevation exhibits establish the development's architectural theme and intent for the different uses while maintaining a campus-like cohesive development. With 21 individual buildings and the project's flexible nature, elevations for every building are not provided. The provided elevations include examples of the various building types. The buildings are constructed with a combination of building materials including smooth-face, split-face and center-score concrete block, as well as concrete tilt panels. Horizontal and vertical plane changes break up the building massing. In addition, a significant number of buildings include a 'curved' front façade that creates a unique arc-skyline while helping to break up the building's horizontality. Finally, suspended steel shade canopies, steel beam accents and decorative steel cornice details provide further architectural interest. The building design in conjunction with the buildings orientations adequately screen any potential overhead doors and loading docks from street views. Staff will utilize the attached building elevations as the established architectural intent as all future final building plans are reviewed administratively.

The request includes a comprehensive sign package. The sign package's intent is to establish a high-quality image for the business park while maintaining a consistent unified development. Building mounted signage is proposed as individual mounted internally-illuminated pan-channel or halo-illuminated reverse pan-channel lettering. Corporate colors and logos are permitted. Additionally, the retail buildings encourage storefront canopy mounted signage. Various types of freestanding monument signs are proposed. 12-foot tall center identification signs are shown at the two street intersection corners as well as flanking the signature entry drive along Queen Creek Road. These signs are incorporated into the fountain water features and include split-faced concrete block and marble bands with halo-illuminated reverse pan-channel lettering. Three multi-tenant freestanding monument signs are proposed along each arterial street. The signs include a marble base, with a semi-opaque ½-inch thick internally illuminated glass face supported by an internal aluminum frame with stainless steel attaching hardware. The tenant panels consist of applied vinyl cut lettering. The multi-tenant monument signs continue the intended high-quality business park image.

DISCUSSION

Staff supports the request finding the proposed business park to represent a high-quality addition to the Chandler Airpark area. The development's building orientation, extensive pedestrian amenities

and signature boulevard entrance drive with flanking lakes exemplifies the goals and objectives of the Airpark Area Plan. The projects 'flex' nature will allow continuous flexibility to respond to the ever change market demands, while the established high-quality architectural design will serve to maintain consistency within the campus-like business park.

The applicant has represented to Staff the intent to submit for building permits on Phase I shortly following City Council approval.

AIRPORT RECOMMENDATION

The Airport Commission reviewed the zoning request in accordance with the Airport Conflicts Evaluation Process. The Airport Manager has issued a conflicts evaluation report indicating that the Airport Commission found that no airport conflicts exist with this application.

PLANNING COMMISSION VOTE REPORT

Motion to approve:

In Favor: 6 Opposed: 0 Conflict: 1 (Kelly)

PUBLIC / NEIGHBORHOOD NOTIFICATION

- This request was noticed according to the provisions of the City of Chandler Zoning Code.
- A neighborhood meeting was held on 12/17/07 at the Chandler Airport Conference Room. 4 neighboring property owners attended the meeting. No opposition to the request was offered.

Staff has received no phone calls or letters from residents opposing this proposal.

RECOMMENDED ACTION

Upon finding consistency with the General Plan, Planning Commission and Staff recommend approval of the rezoning from Agricultural District (AG-1) to Planned Area Development (PAD) with Preliminary Development Plan (PDP) approval for a business park development consisting of industrial and commercial uses, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "ROCKEFELLER GROUP CROSSROADS" kept on file in the City of Chandler Current Planning Division, in file number DVR07-0037, except as modified by condition herein.
2. Right-of-way dedications to achieve full half widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
3. The landscaping in all open spaces and rights-of-way shall be maintained by the adjacent property owner or property owners association.
4. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls.

5. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. Completion of the construction, where applicable, of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
8. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
9. The developer shall be required to install landscaping in the arterial street median adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
10. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's

option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the ROCKEFELLER GROUP CROSSROADS development shall use treated effluent to maintain open space, common areas, and landscape tracts.

11. All raceway signage shall be prohibited within the development.
12. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.

Planning Commission and Staff recommend approval of the Preliminary Plat subject to:

1. Approval by the City Engineer and Director of Planning and Development with regard to the details of all submittals required by code or condition.

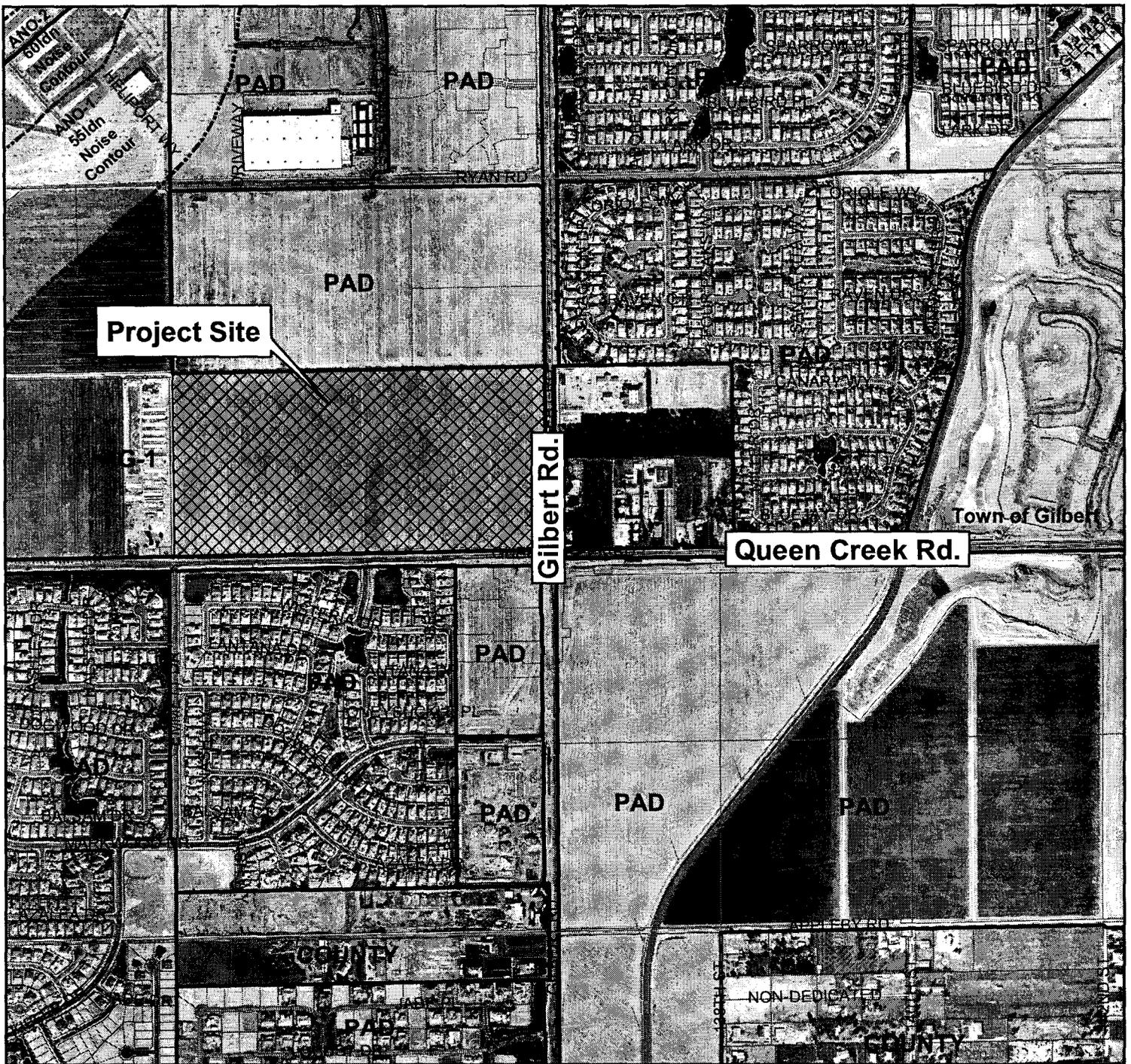
PROPOSED MOTION

Move to introduce and tentatively adopt Ordinance No. 4031 approving DVR07-0037 ROCKEFELLER GROUP CROSSROADS rezoning, as recommended by Planning Commission and Staff.

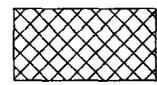
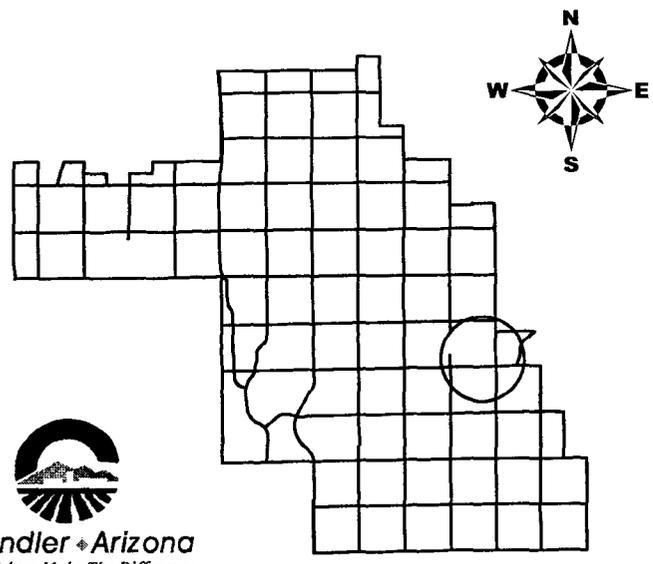
Move to approve the Preliminary Plat PPT08-0001 ROCKEFELLER GROUP CROSSROADS, as per Planning Commission and Staff recommendation.

Attachments

1. Vicinity Map
2. Ordinance No. 4031
3. Site Plan
4. Landscape Plan
5. Preliminary Plat
6. Building Elevations
7. Sign/Amenity Exhibits
8. Development Booklet, Exhibit 'A'



Vicinity Map



DVR07-0037

**Rockefeller Group
Chandler Crossroads**

ORDINANCE NO. 4031

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM AGRICULTURAL DISTRICT (AG-1) TO PLANNED AREA DEVELOPMENT (PAD) (DVR07-0037 ROCKEFELLER GROUP CROSSROADS) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Attachment 'A'

Said parcel is hereby rezoned from Agricultural District (AG-1) to Planned Area Development (PAD) for a business park development consisting of industrial and commercial uses, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "ROCKEFELLER GROUP CROSSROADS" kept on file in the City of Chandler Current Planning Division, in file number DVR07-0037, except as modified by condition herein.

2. Right-of-way dedications to achieve full half widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
3. The landscaping in all open spaces and rights-of-way shall be maintained by the adjacent property owner or property owners association.
4. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls.
5. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
6. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
7. Completion of the construction, where applicable, of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
8. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
9. The developer shall be required to install landscaping in the arterial street median adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
10. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas

will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas.

In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the ROCKEFELLER GROUP CROSSROADS development shall use treated effluent to maintain open space, common areas, and landscape tracts.

11. All raceway signage shall be prohibited within the development.
12. The landscaping shall be maintained at a level consistent with or better than at the time of planting. The site shall be maintained in a clean and orderly manner.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

ORDINANCE NO. 4031
Attachment 'A'

**LEGAL DESCRIPTION
TOTAL EXISTING PROPERTY
FOR
ROCKEFELLER GROUP CROSSROADS**

The South half of the Southeast quarter of Section 12, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona,

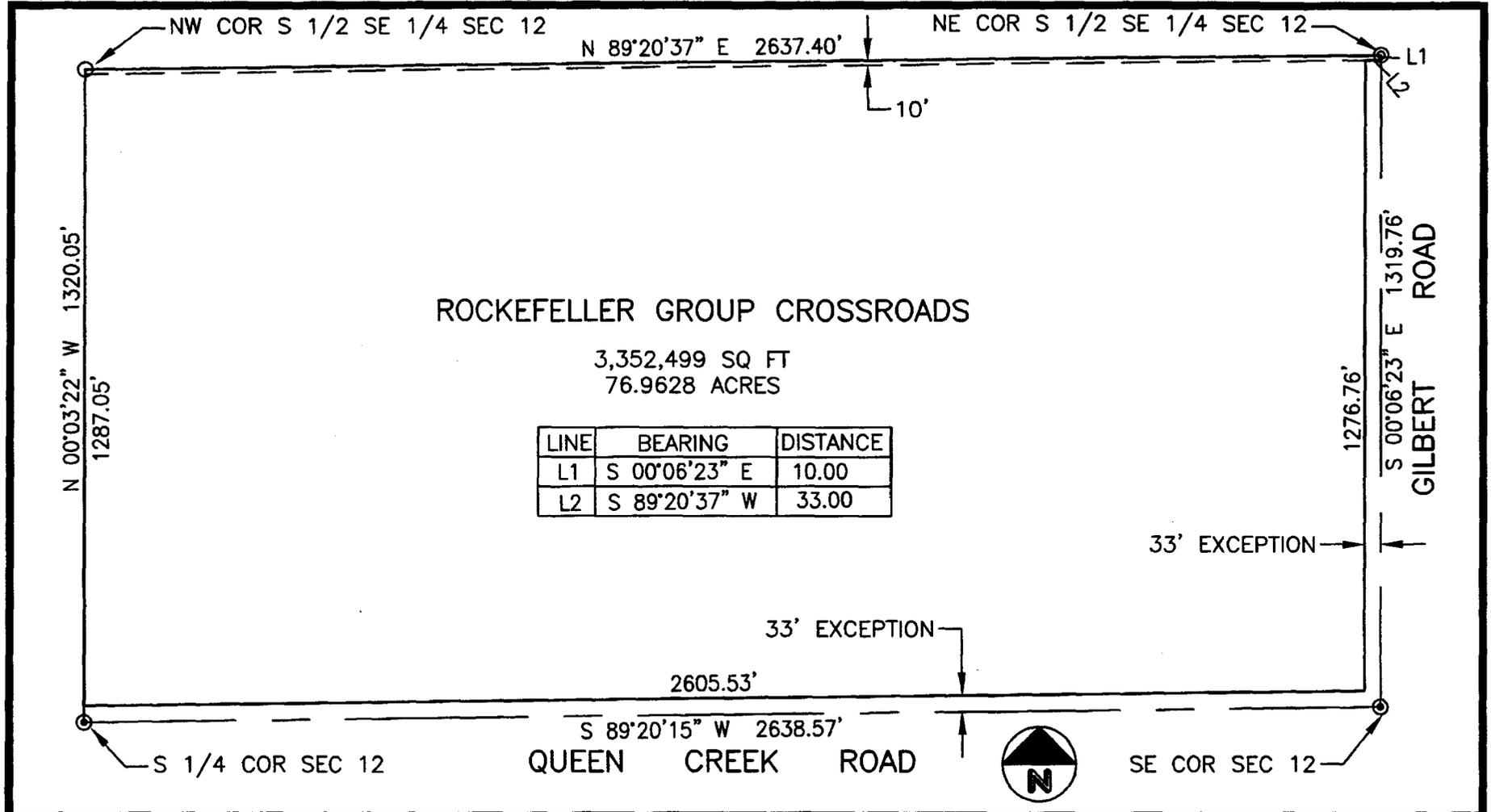
EXCEPT the South 33 feet thereof; and

EXCEPT the East 33 feet of said South half, Except the North 10 feet of said East 33 feet.

Said parcel contains 3,352,499 square feet or 76.9628 acres more or less.



N.E.G. #2317
01-07-08



N NORMAN
ENGINEERING GROUP, INC.

7330 N. 16th Street A-200 Consulting Civil Engineers
Phoenix, Arizona 85020
Fax: 602-861-3473 Phone: 602-371-0397

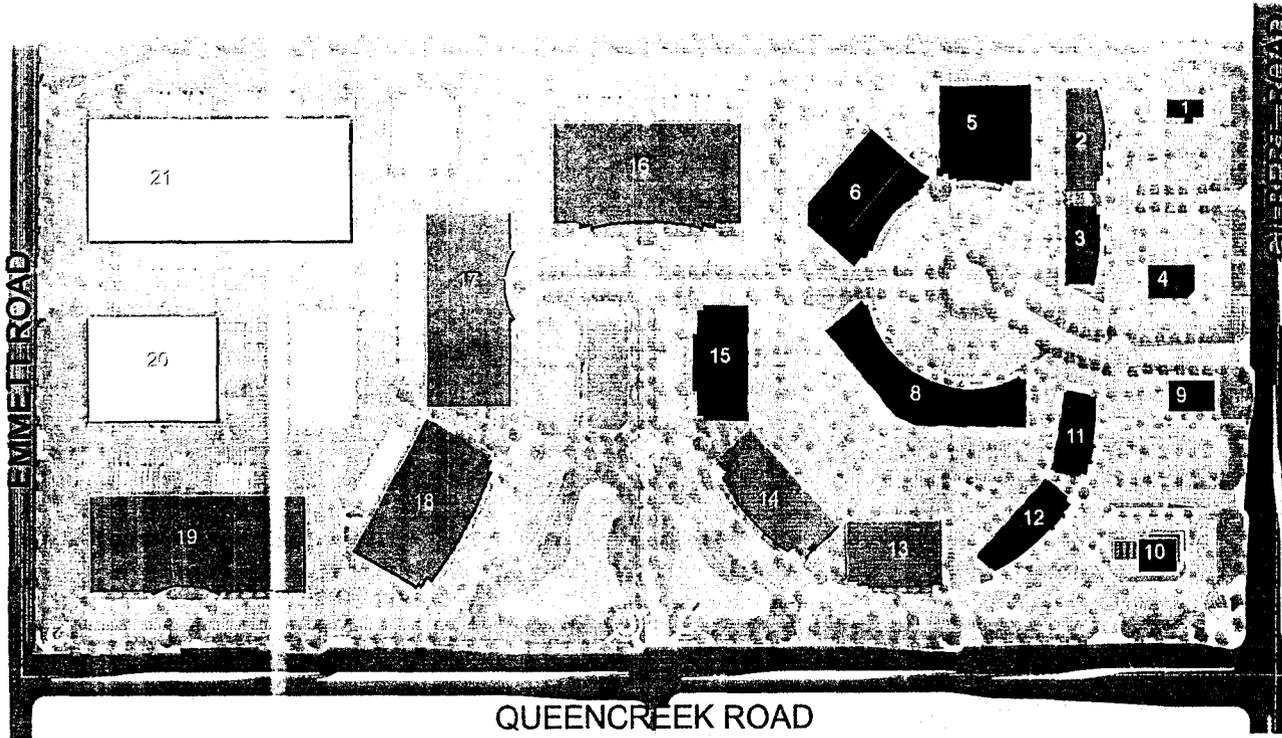


PARCEL EXHIBIT
ROCKEFELLER GROUP CROSSROADS

DRN: JB	SCALE: 1" = 300'
CHK: JN	JOB NO.: 2317
DES:	SHT 1 OF 1
DATE: 01-07-08	

All information contained in this document is the property of Norman Engineering Group, Inc. and may not be used or reproduced for any other purpose without the expressed written consent of Norman Engineering Group, Inc. Dimensions shown on this drawing are for reference only. Do not scale this drawing.

AREA & USE EXHIBIT

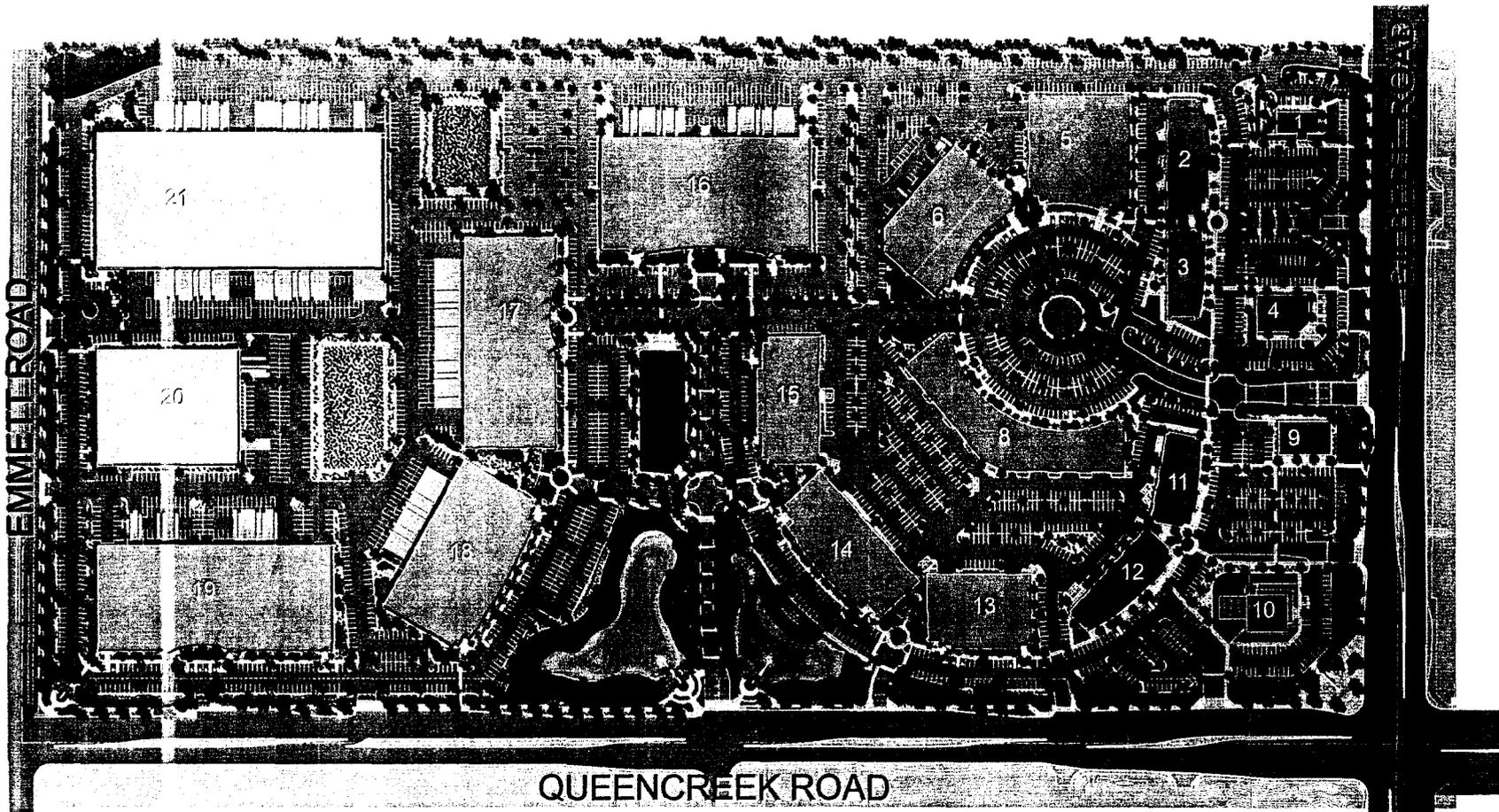


NO	AREA	USES	NOTES
1.	3-6,000	DRIVE THRU FOOD	
2.	16,500	OFC / LT IND / RETAIL	
3.	11,300	OFC / RETAIL / MEDICAL	
4.	6-9,000	RETAIL/FOOD PAD	
5.	38,650 +3,000 mezz	OFC / LT IND	POSSIBLE ADD'L 2ND FLR
6.	37,500 +3,000 mezz	OFC / LT IND	POSSIBLE ADD'L 2ND FLR
8.	41,300	OFC / LT IND	
9.	6,000	RETAIL / FOOD PAD	
10.	5,400	FINANCIAL / RETAIL	DRIVE THRU
11.	13,200	RETAIL	
12.	16,000	RETAIL	
13.	27,200	SHOWROOM / OFC LT IND	
14.	32,700	SHOWRM/OFC / LT IND	
15.	27,000	OFC / LT IND	
16.	85,000	OFC / LT IND DISTRIBUTION	POSSIBLE ADD 2ND FLR
17.	70,800	OFC / LT IND DISTRIBUTION	POSSIBLE ADD 2ND FLR
18.	57,500	OFC / LT IND / DISTRIBUTION	POSSIBLE ADD 2ND FLR
19.	89,000	OFC / LT IND / DISTRIBUTION	POSSIBLE ADD 2ND FLR
20.	58,800	OFC / LT IND / DISTRIBUTION	
21.	142,000	OFC / LT IND / DISTRIBUTION	
TOTAL 790,850sf +/-			88,000+/- POSSIBLE MEZZ

879,000 SF +/- TOTAL
IF MEZZANINES
ARE ADDED

MASTER SITE PLAN

Rockefeller Group Crossroads



CONCEPTUAL LANDSCAPE LEGEND

TREES	ACCENTS/ VINES	SHRUBS	GROUNDCOVERS
<ul style="list-style-type: none"> Plantain Tree 40' tall Desert Ash 40' tall Mulberry 40' tall Sycamore 40' tall Olive 40' tall Desert Holly 40' tall San Diego Redwood 40' tall Fraxino 40' tall Eucalyptus 40' tall Southern Live Oak 30' tall Avocado 25' tall Shady Side 25' tall Ficus 25' tall Phoenix 25' tall Date Palm 25' tall Eucalyptus 25' tall Eucalyptus 25' tall 	<ul style="list-style-type: none"> Chamaecyparis Phlox Papyrus Magnolia Cypripedium Magnolia 	<ul style="list-style-type: none"> Euonymus 	<ul style="list-style-type: none"> Phlox

MASTER SITE PLAN

Rockefeller Group Crossroads

PRELIMINARY PLAT FOR ROCKEFELLER GROUP CROSSROADS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 2
SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY ARIZONA.

SHEET INDEX

- SHEET 1 - COVER SHEET 1 (NOTES)
- SHEET 2 - COVER SHEET 2 (NOTES)
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- SHEET 3 - KEY MAP
- SHEET 4 - GRADING AND DRAINAGE PLAN
- SHEET 5 - GRADING AND DRAINAGE PLAN
- SHEET 6 - GRADING AND DRAINAGE PLAN
- SHEET 7 - GRADING AND DRAINAGE PLAN
- SHEET 8 - GRADING AND DRAINAGE PLAN
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- CONCEPTUAL WATER, SEWER, AND FIRE PLANS**
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LEGAL DESCRIPTION:

THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 2
SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA,
EXCEPT THE EAST AND SOUTH 33 FEET THEREOF, AND
EXCEPT THE NORTH 10 FEET THEREOF.

LOT/TRACT AREAS

- LOT 1 NET SITE AREA = 39,893.35 S.F. OR 915.8 ACRES
- LOT 1 GROSS SITE AREA TO STREET MONUMENT LINES = 55581.70 S.F. OR 1,275.9 ACRES
- LOT 2 NET SITE AREA = 93,697.17 S.F. OR 2,150.3 ACRES
- LOT 2 GROSS SITE AREA TO STREET MONUMENT LINES = 101737.82 S.F. OR 2,335.5 ACRES
- LOT 3 NET SITE AREA = 86116.92 S.F. OR 1,978 ACRES
- LOT 4 NET SITE AREA = 55619.06 S.F. OR 1,276.8 ACRES
- LOT 4 GROSS SITE AREA TO STREET MONUMENT LINES = 72553.05 S.F. OR 1,665.5 ACRES
- LOT 5 NET SITE AREA = 181,178.08 S.F. OR 4,137.0 ACRES
- LOT 6 NET SITE AREA = 129,902.89 S.F. OR 2,982.1 ACRES
- LOT 7 NET SITE AREA = 1,240,604.90 S.F. OR 28,480.3 ACRES
- LOT 7 GROSS SITE AREA TO STREET MONUMENT LINES = 1,338512.44 S.F. OR 30,682.1 ACRES
- LOT 8 NET SITE AREA = 142,910.48 S.F. OR 3,280.7 ACRES
- LOT 9 NET SITE AREA = 41,291.18 S.F. OR 947.8 ACRES
- LOT 9 GROSS SITE AREA TO STREET MONUMENT LINES = 56977.79 S.F. OR 1,308.0 ACRES
- LOT 10 NET SITE AREA = 70274.27 S.F. OR 1,613.2 ACRES
- LOT 10 GROSS SITE AREA TO STREET MONUMENT LINES = 88583.21 S.F. OR 2,035.5 ACRES
- LOT 11 NET SITE AREA = 84,682.06 S.F. OR 1,948.4 ACRES
- LOT 12 NET SITE AREA = 99,183.29 S.F. OR 2,278.9 ACRES
- LOT 12 GROSS SITE AREA TO STREET MONUMENT LINES = 109012.89 S.F. OR 2,502.5 ACRES
- LOT 13 NET SITE AREA = 85,433.18 S.F. OR 1,968 ACRES
- LOT 13 GROSS SITE AREA TO STREET MONUMENT LINES = 124204.46 S.F. OR 2,851.3 ACRES
- LOT 14 NET SITE AREA = 80,870.51 S.F. OR 1,865.5 ACRES
- LOT 15 NET SITE AREA = 321,103.06 S.F. OR 7,371.5 ACRES
- TRACT A NET SITE AREA = 48405.17 S.F. OR 1,111.2 ACRES
- TRACT B NET SITE AREA = 31613.37 S.F. OR 1,848 ACRES
- TRACT C NET SITE AREA = 12570.31 S.F. OR 285.5 ACRES
- TRACT C GROSS SITE AREA TO STREET MONUMENT LINES = 42187.06 S.F. OR 968.4 ACRES
- TRACT D NET SITE AREA = 243000.77 S.F. OR 5,578.5 ACRES
- TRACT D GROSS SITE AREA TO STREET MONUMENT LINES = 297034.09 S.F. OR 6,818.9 ACRES
- TRACT E NET SITE AREA = 6466.30 S.F. OR 148.3 ACRES
- TRACT E GROSS SITE AREA TO STREET MONUMENT LINES = 22158.71 S.F. OR 508.6 ACRES
- NET SITE BOUNDARY = 3134360.24 S.F. OR 71,855.0 ACRES
- GROSS SITE AREA TO STREET MONUMENT LINES = 3481682.98 S.F. OR 79,928.4 ACRES

LEGEND

- EXISTING RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- PROPOSED RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE

P.U.E. = PUBLIC UTILITY EASEMENT

R/W = RIGHT-OF-WAY

R.W.C.D. = ROOSEVELT WATER CONSTRUCTION DISTRICT

M.L. = MONUMENT LINE

OWNER / DEVELOPER

ROCKEFELLER GROUP
4 PARK PLAZA, SUITE 540
IRVINE, CALIFORNIA 92614
CONTRACT: GLENN P. MULEVICS
PHONE: (973) 446-3882
FAX: (973) 347-4047

CIVIL ENGINEER

NORMAN ENGINEERING GROUP, INC.
7330 N. 18TH ST. A200
PHOENIX, ARIZONA 85020
PHONE: (602) 371-0397
FAX: (602) 861-3473

NOTE:

1. CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES, FENCES AND DRIVEWAYS.

2. NO STRUCTURES OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF WATER THROUGH THE EASEMENTS MAY BE CONSTRUCTED, PLANTED OR ALLOWED TO GROW WITHIN DRAINAGE EASEMENTS.

VISIBILITY EASEMENT RESTRICTIONS

ANY OBJECT, WALL STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE VISIBILITY EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 4' ABOVE THE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS THE CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, 200' NORTH OF INTERSECTION OF QUEEN CREEK ROAD AND COOPER ROAD; 23' EAST OF EDGE OF PAVEMENT HAVING AN ELEVATION OF 1237.90, CITY OF CHANDLER DATUM.

NOTE:

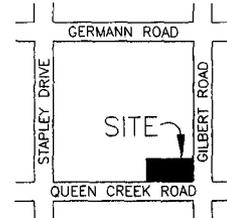
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

NOTE:

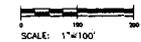
THE BASIS OF BEARING IS THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 12, USING A BEARING OF SOUTH 00 DEGREES 06 MINUTES 23 SECONDS EAST.

AIRPORT IMPACT OVERLAY DISTRICT

THIS SUBDIVISION IS WITHIN THE CHANDLER MUNICIPAL AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION EASEMENT SHALL BE PROVIDED AT THE TIME OF FINAL PLATTING.



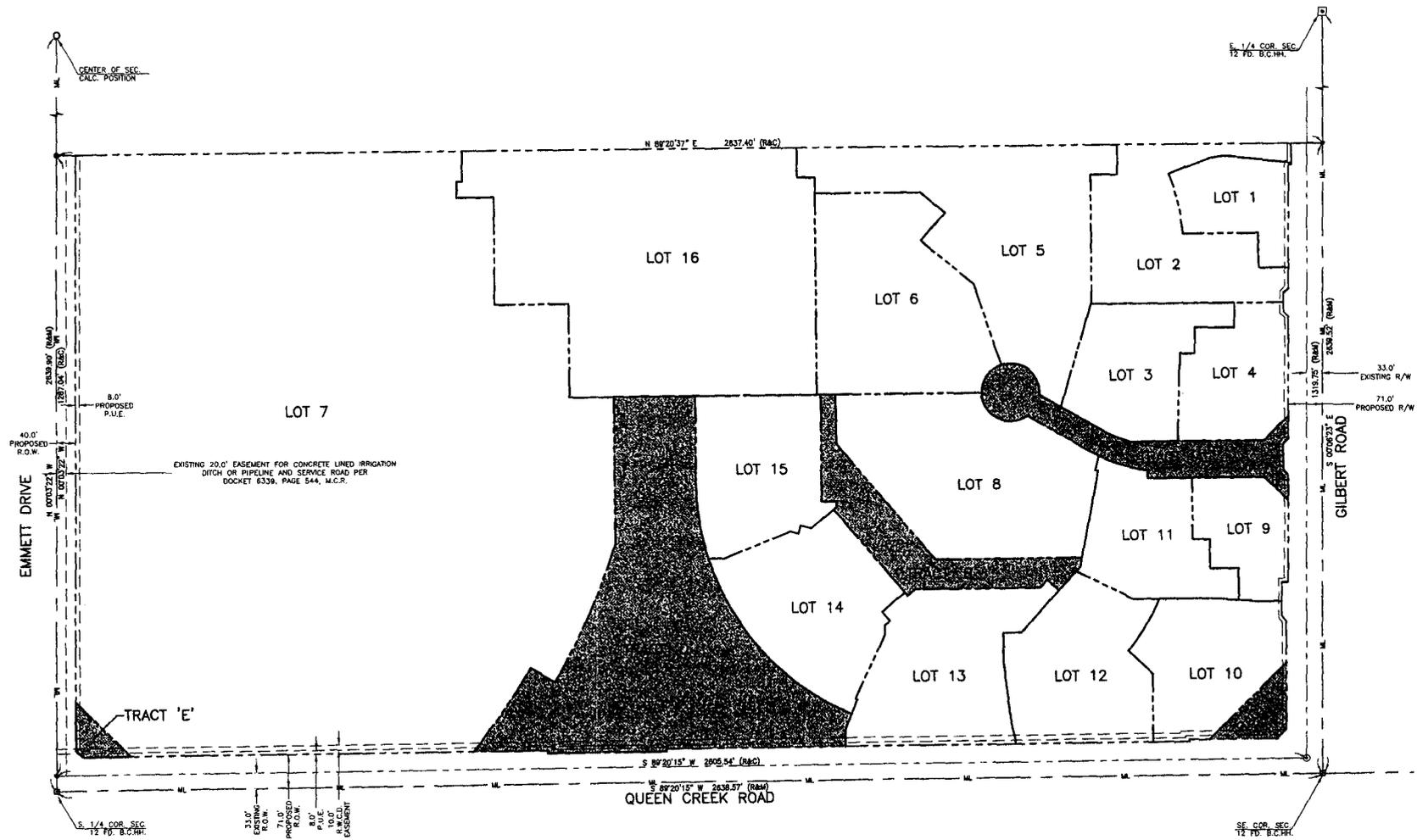
VICINITY MAP
SCALE: NONE



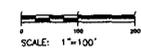
ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT			
DES: RLS	DRN: ELR	CKD: RLS	DATE: DEC, 2007
		SCALE: NONE JOB NO.: 2317	
7330 N. 18th Street, A-200 Phoenix, Arizona 85020 Fax: 602-861-3473		Consulting Civil Engineers Phone: 602-371-0397	
1		SHEET OF 16	

I:\2317_Rockefeller_Crossroads\2317 RP 12.11.07.dwg - CS-01 - Job - 04 - 2008 - 11.36am - Phoenix - Final.dwg

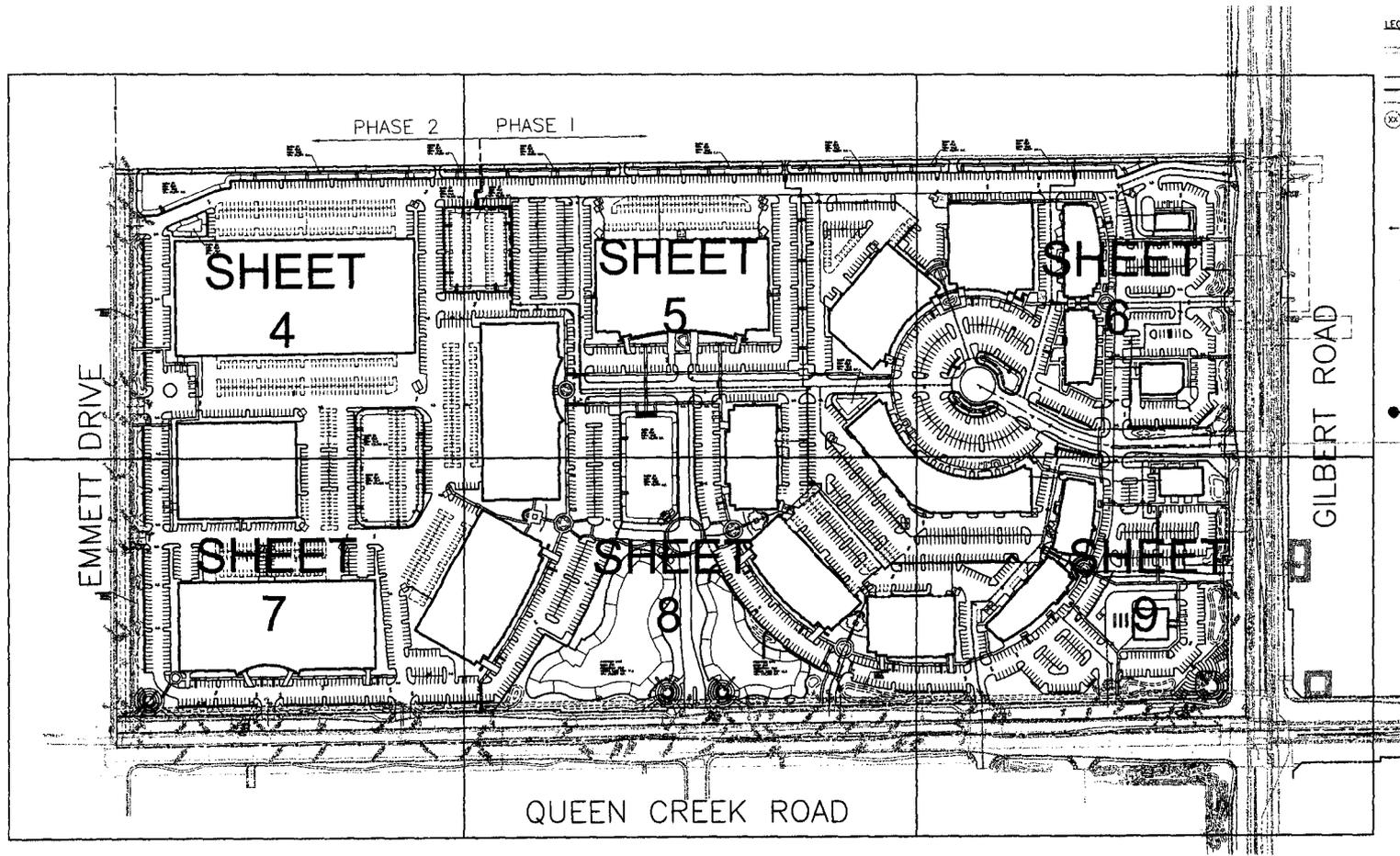
H:\2317 Rockefeller Queen Creek\2317 PP 12.1.07.DWG - PP-02 - Jun 04, 2008 - 1:08pm - Filizola LD



ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT			
DES: JN	DRN: ELR	CHKD: JN	DATE: DEC. 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=100'	
2330 N. 16th Street A-200 Phoenix, Arizona 85020 Fax: 602-957-3473		Consulting Civil Engineers Phone: 602-371-0287	
JOB NO.: 2317		SHEET 2 OF 16	



W:\2317_Rockefeller\Queen Creek\ - 2317_P\02_12_11_07.DWG - CP_CD_KEY_MAP - Jan 31, 2008 - 4:08pm - F:\arcade_0



LEGEND		ABBREVIATIONS	
---	EXISTING STORM DRAIN	BC	BACK OF CURB
---	NEW STORM DRAIN	BW	BACK OF WALK
---	CENTERLINE	CATV	CABLE TV
---	PROPERTY LINE	C	CONCRETE
---	EXISTING LINE	CB	CATCH BASIN
---	EXISTING LINE	CL	CENTERLINE
---	EXISTING LINE	CO	CURB OPENING
XX OR XX	EXISTING MANHOLES, VALVES AND BOXES	E	ELECTRIC
XXXX	EXISTING ELEVATION	ESMT	EASEMENT
620	BACKFLOW PREVENTER	FC	FACE OF CURB
■	CATCH BASIN	FG	FINISH GRADE
○	CLEANOUT	FF	FINISH FLOOR
○	FIRE HYDRANT	FH	FIRE HYDRANT
○	FLOW ARROW	FL	FLOW LINE
○	ROOF DRAIN ARROW	FM	FORCE MAIN
○	FLOWLINE ARROW	FO	FIBER OPTICS
○	FOUND BRASS CAP	FW	FACE OF WALK
○	FOUND MONUMENT	G	GRADE BREAK
○	FOUND REBAR	GR	GRATE
○	LIGHT POLE	IRV	IRREG. CONTROL VALVE
XXXX	PROPOSED ELEVATION	ML	MONUMENT LINE
○	POWER POLE	NG	NATURAL GRADE
○	SET BRASS CAP	OHE	OVERHEAD ELECTRIC
○	SET MONUMENT	P	PAVEMENT
○	SET REBAR	PC	POINT OF CURVE
○	SET REBAR	PT	POINT OF TANGENCY
○	ROOF DRAIN	RD	ROOF DRAIN
○	ROOF DRAIN	SDO	SEWER CLEANOUT
○	ROOF DRAIN	ROW	RIGHT OF WAY
○	ROOF DRAIN	SL	STREET LIGHT
○	ROOF DRAIN	SS	SANITARY SEWER
○	ROOF DRAIN	SW	SIDEWALK
○	ROOF DRAIN	T	TELEPHONE
○	ROOF DRAIN	TC	TOP CURB
○	ROOF DRAIN	TW	TOP WALL
○	ROOF DRAIN	TS	TRAFFIC SIGNAL
○	ROOF DRAIN	UV	UNDERGROUND ELEC
○	ROOF DRAIN	WM	WATER METER
○	ROOF DRAIN	W	WATER
○	ROOF DRAIN		DRYWELL

EMMETT DRIVE

GILBERT ROAD

QUEEN CREEK ROAD

SHEET 4

SHEET 5

SHEET 6

SHEET 7

SHEET 8

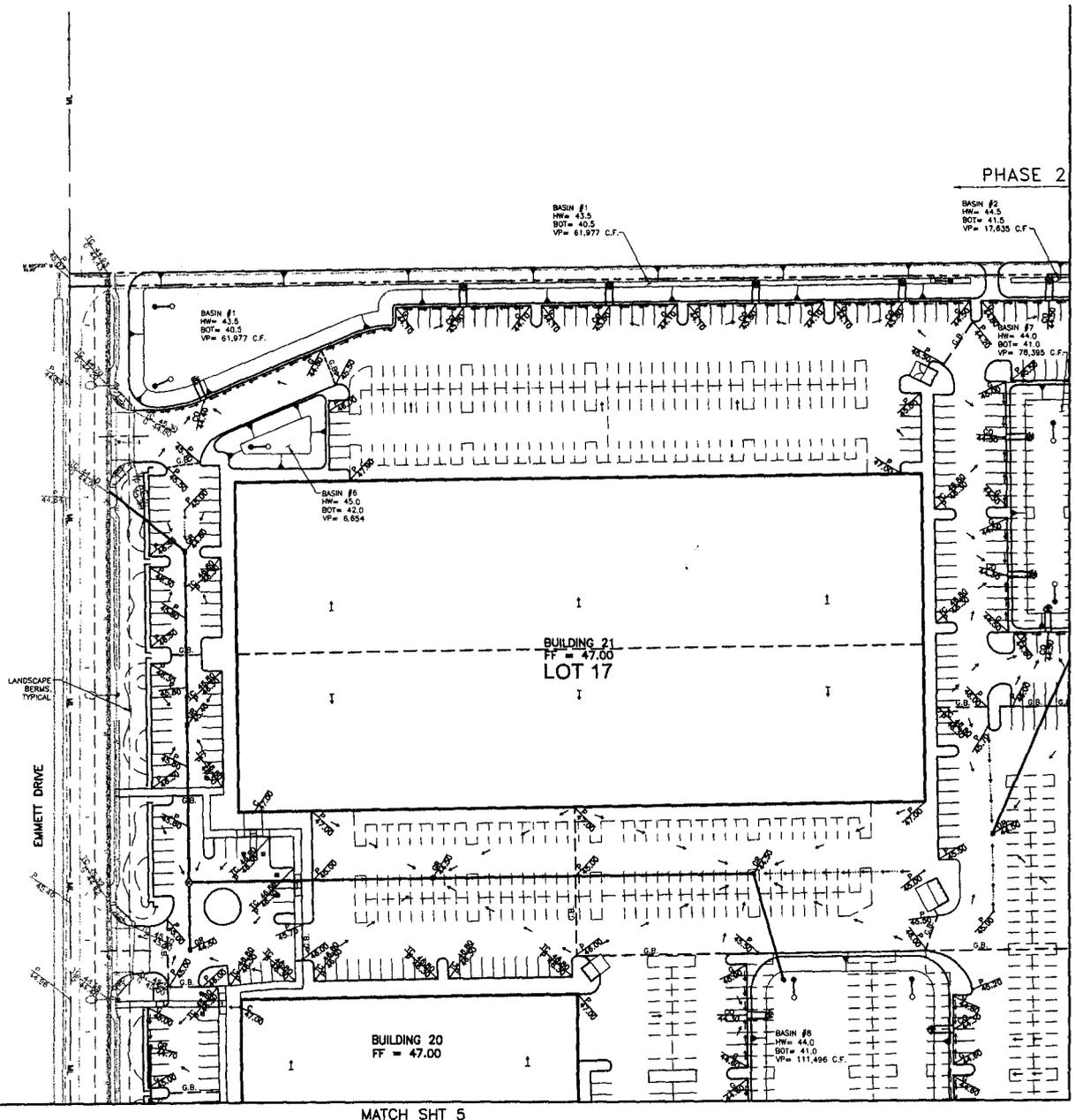
SHEET 9

PHASE 2 PHASE 1



ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAN CONCEPTUAL GRADING AND DRAINAGE PLAN KEY MAP			
DES: JN	DRN: ELR	CHK: JN	DATE: DEC, 2007
		SCALE: N/A JOB NO.: 2317	
7330 N. 18th Street, #200 Consulting Civil Engineers Phoenix, Arizona 85020 Phone: 602-371-3387 Fax: 602-851-3473		3 SHEET OF 16	

W:\2317 Rockefeller Crossroads\ - 2317_P02_12.11.07.DWG - CP, GD, 01 - Jan. 31, 2008 - 4:08pm - Drawn: AG



PHASE 2

MATCH SHT 3

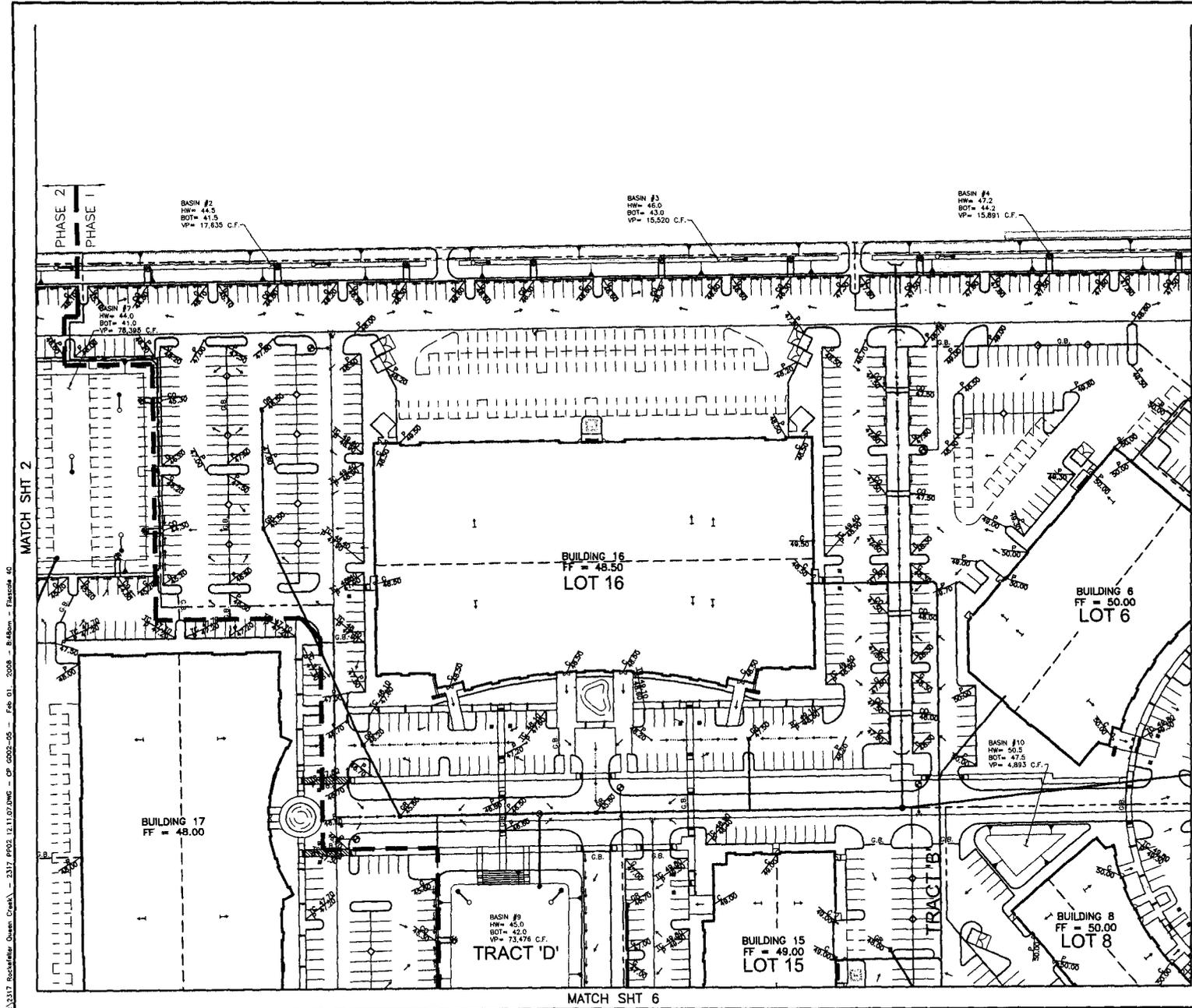
MATCH SHT 5

602-263-1100
1"=80'-STAKE-IT
©2008, Norman Engineering Group, Inc.



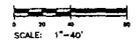
SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DES: JN	DRN: ELR	CHKD: JN	DATE: DEC, 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40'	
3330 N. 16th Street, Suite 200 Phoenix, Arizona 85016 Fax: 602-581-3173		Consulting Civil Engineers Phone: 602-581-3000 Phone: 602-371-0397	
JOB NO.: 2317		SHEET 4 OF 16	

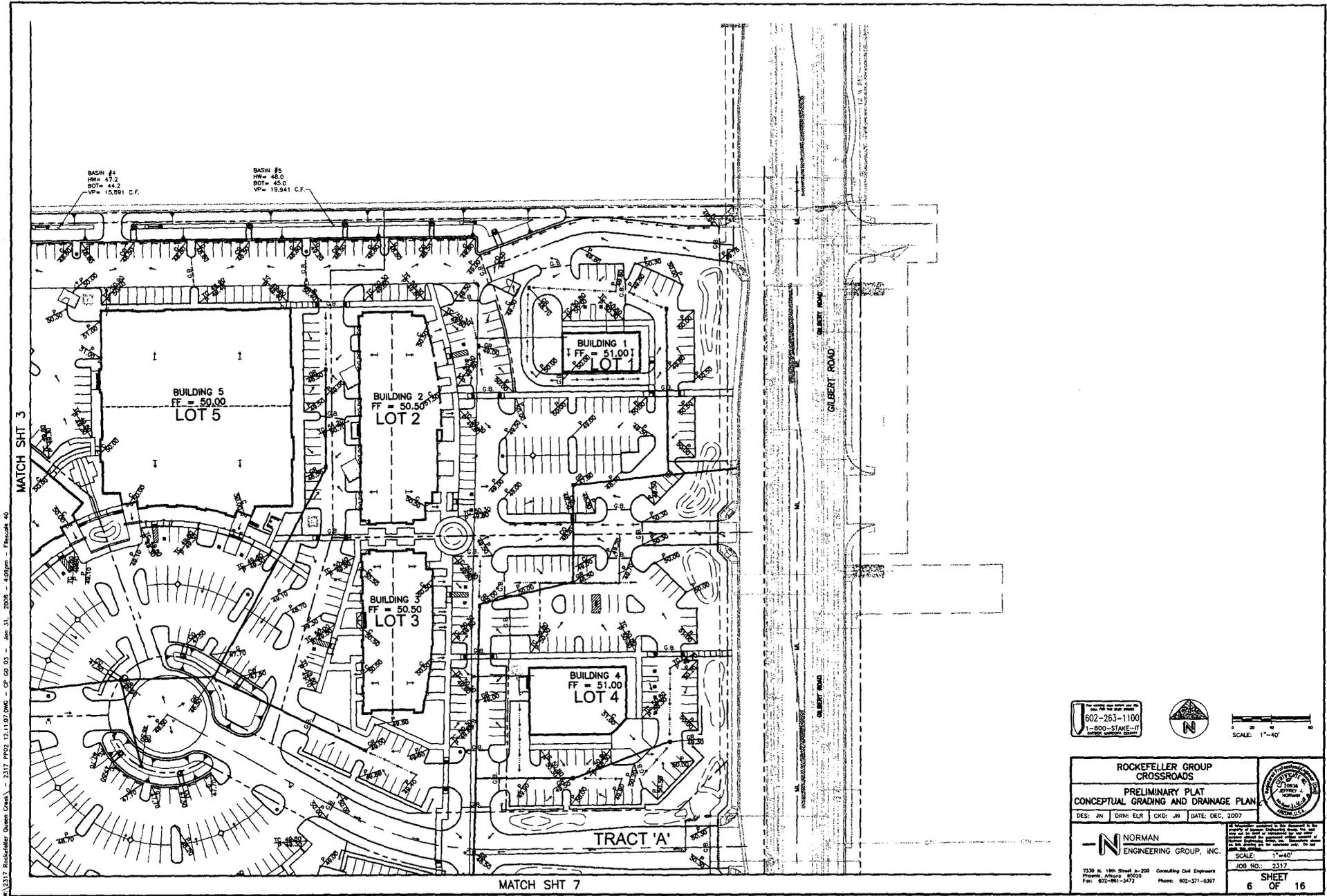


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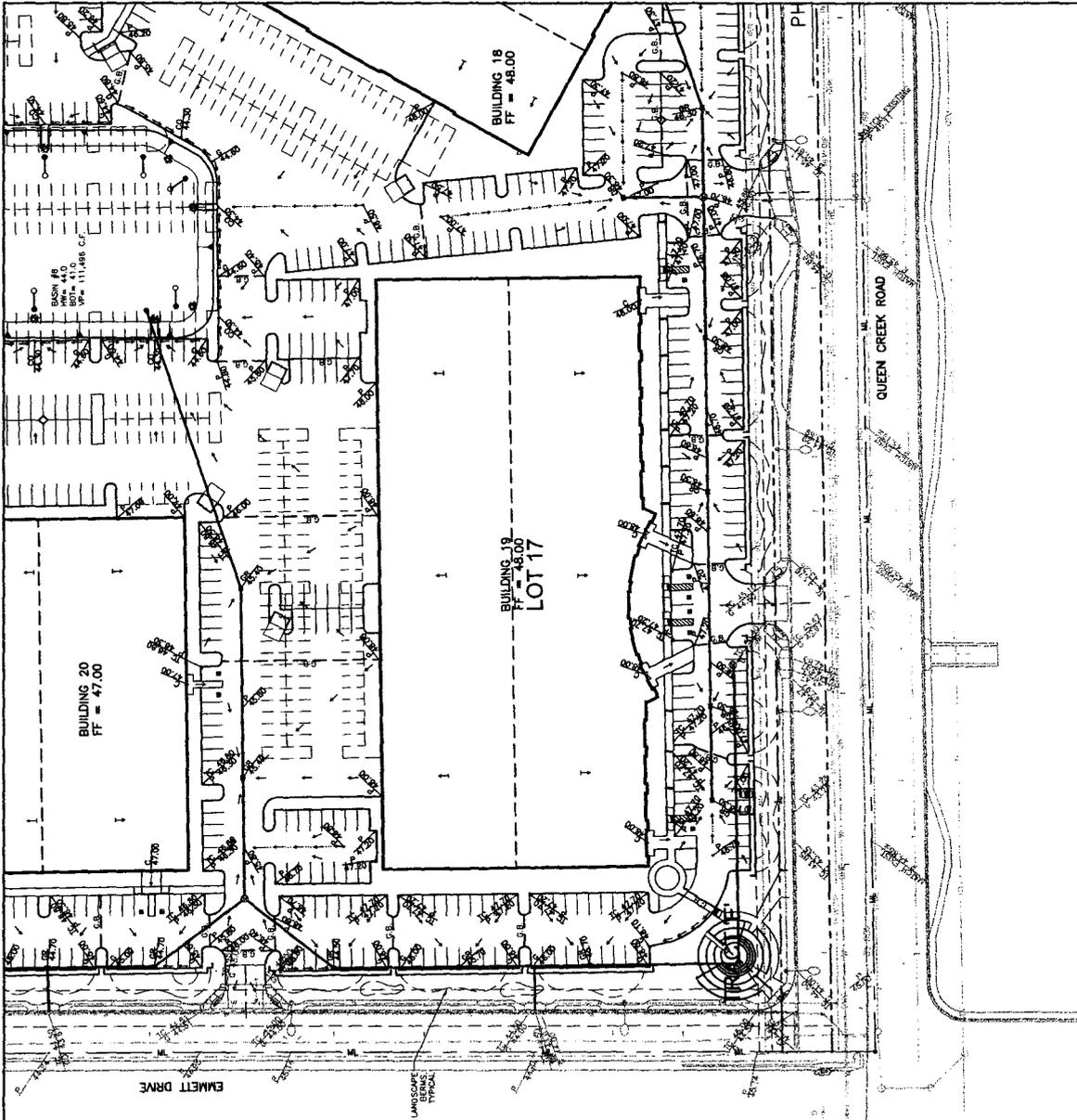
602-263-1100
1-800-STAKE-IT
www.nnorman.com



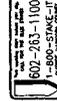
ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DES: JN	DRN: ELR	CKD: JN	DATE: DEC. 2007
 NORMAN ENGINEERING GROUP, INC.			
7336 N. 18th Street A-200 Coral Gables, FL 33134 Phone: 305-461-5000 Fax: 305-461-3173		SCALE: 1"=40' JOB NO.: 2317 SHEET 5 OF 18	



MATCH SHT 2

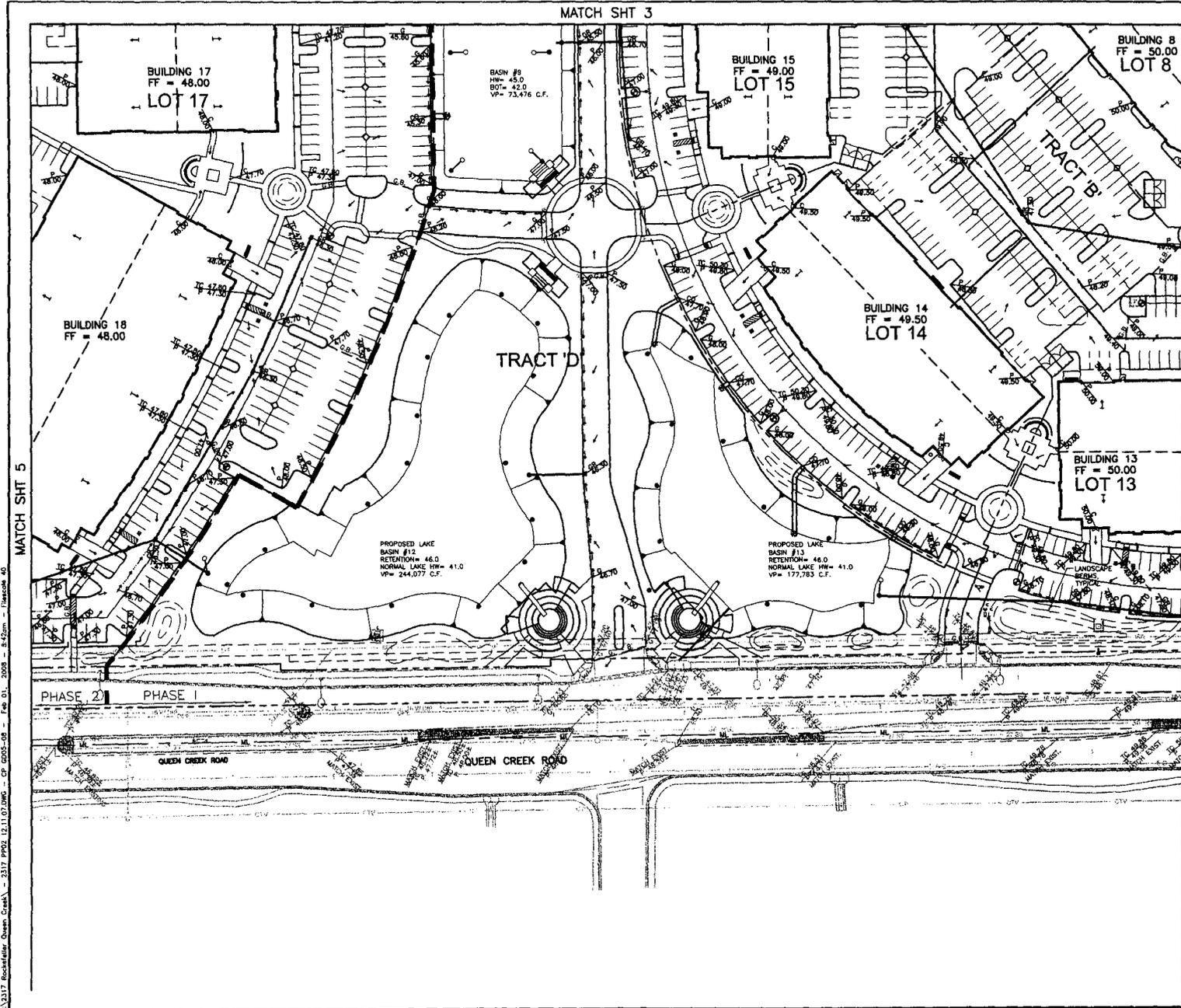


MATCH SHT 6

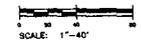


SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS PRELIMINARY PLAN CONCEPTUAL GRADING AND DRAINAGE PLAN	
DES: JH	DATE: DEC. 2007
DRW: EDJ	DATE: DEC. 2007
NORMAN ENGINEERING GROUP, INC. 1328 N. 14th Street, Suite 400 Phoenix, Arizona 85010 Phone: 602-271-5387	
JOB NO.: 2317	SCALE: 1"=40'
7 SHEET OF 16	

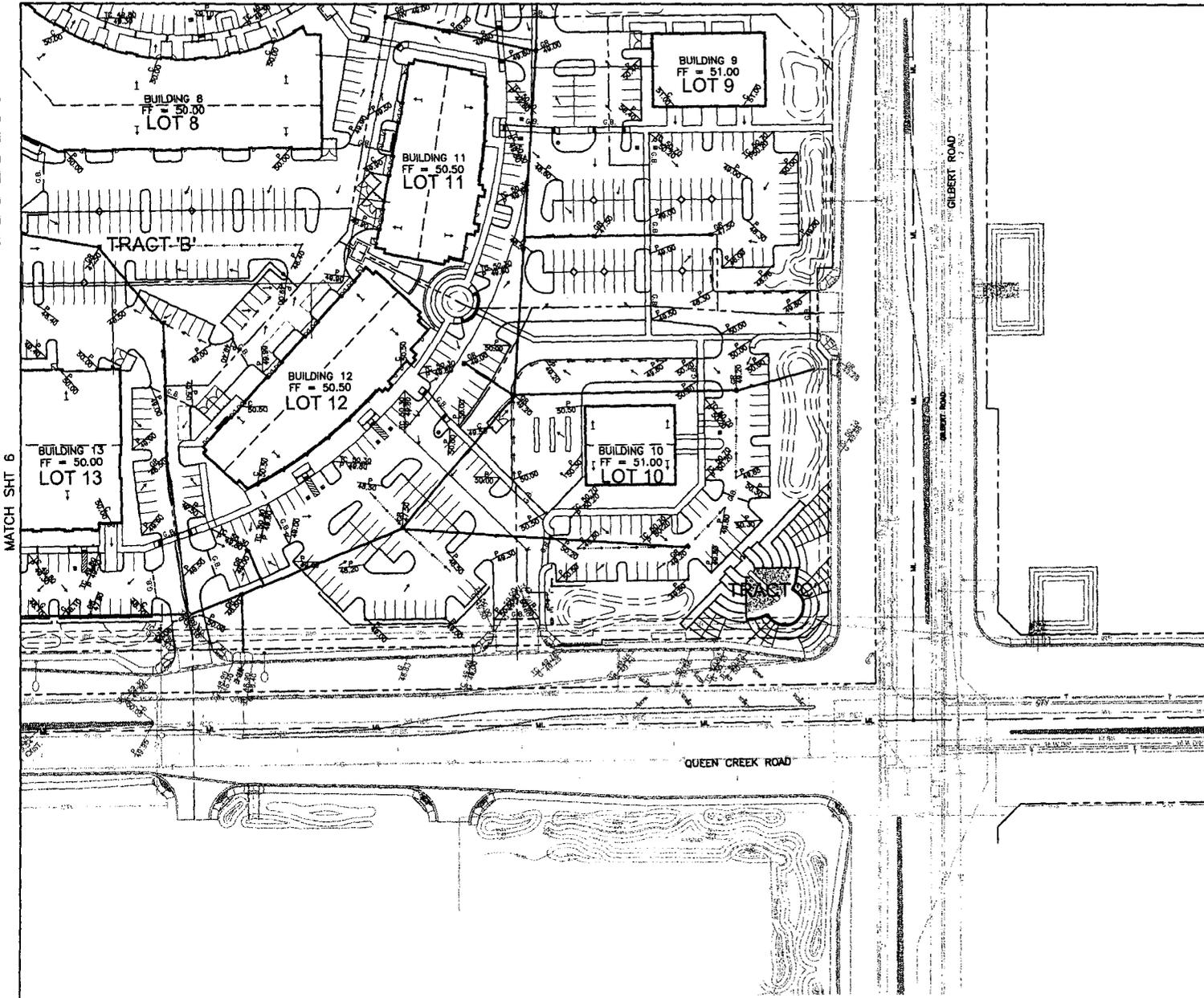


W:\3317 Rockefeller Queen Creek\... 2317 P102 12.11.07.DWG - CF 0205-08 - Feb 01, 2008 - 8:42am - 11/20/08



ROCKEFELLER GROUP CROSSROADS		
PERLIMINARY PLAT CONCEPTUAL GRADING AND DRAINAGE PLAN		
DES: JN	DRN: ELR	CHK: JN DATE: DEC, 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40' JOB NO.: 2317
7330 N. 19th Street, A-200 Consulting Civil Engineers Phoenix, Arizona 85020 Fax: 602-961-3472 Phone: 602-371-0387		8 SHEET OF 16

MATCH SHT 4



MATCH SHT 6

V:\2317 Rockefeller, Queen Creek\ - 2317 PR02 12.11.07.DWG - CP GD 06 - Jan 31, 2008 - 4:09pm - Riverside 40

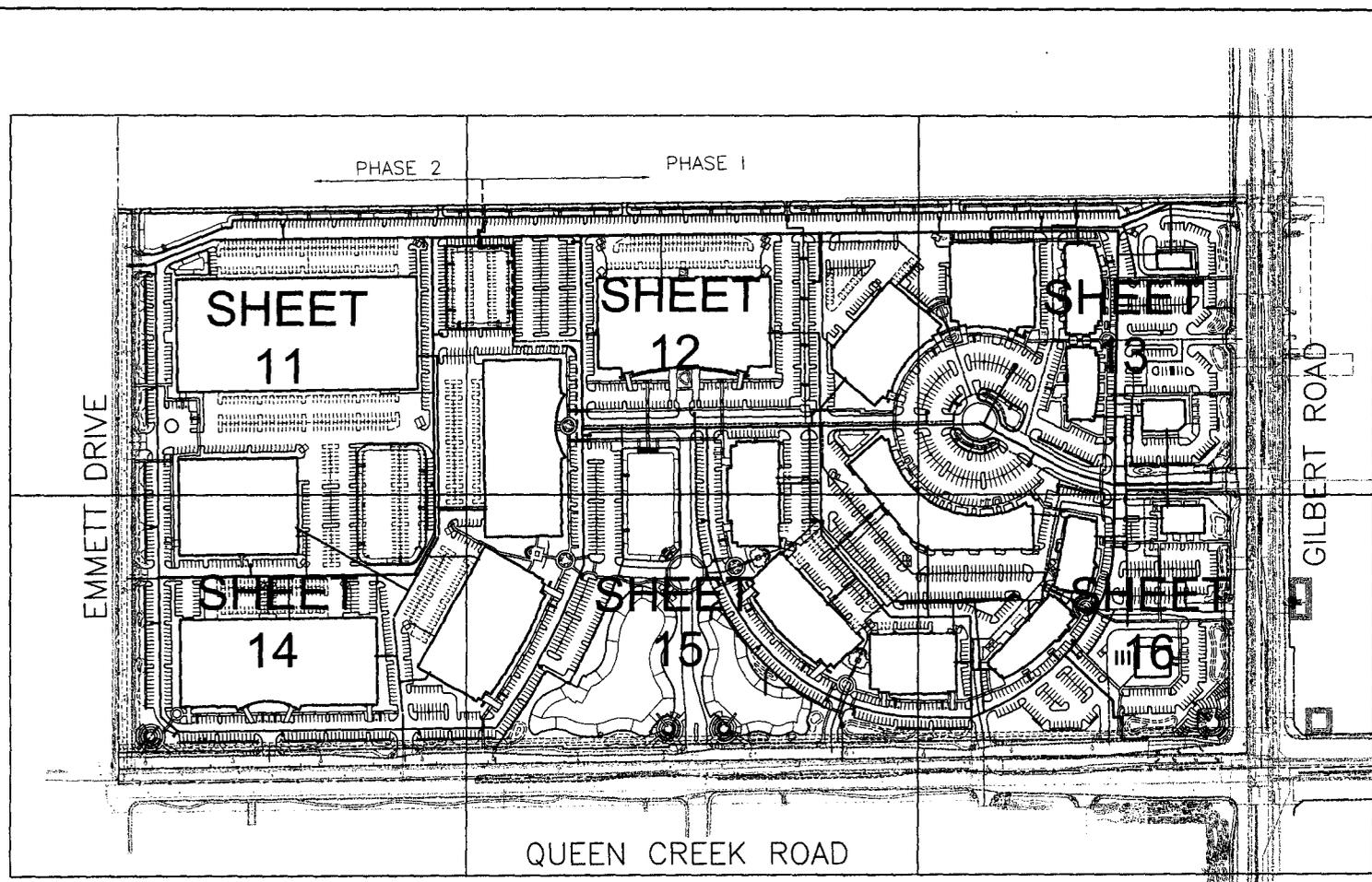
602-253-1100
1-800-STATE-IT
1-802-586-0001



SCALE: 1"=40'

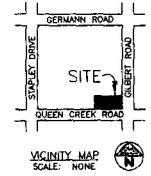
ROCKEFELLER GROUP CROSSROADS			
PERLIMINARY PLAT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DES: JN	DRN: ELR	CKD: JN	DATE: DEC. 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40' JOB NO.: 2317	
2330 N. 18th Street, Suite 200 Phoenix, Arizona 85020 Fax: 602-981-3472		Consulting Civil Engineers Phone: 602-371-0387	
		SHEET 9 OF 16	

W:\2317_Rockefeller\Queen Creek - 2317 PPO2 12.11.07.DWG - CP UTIL KEY MAP - Jun 31, 2008 - 4.33pm - Planisco 40



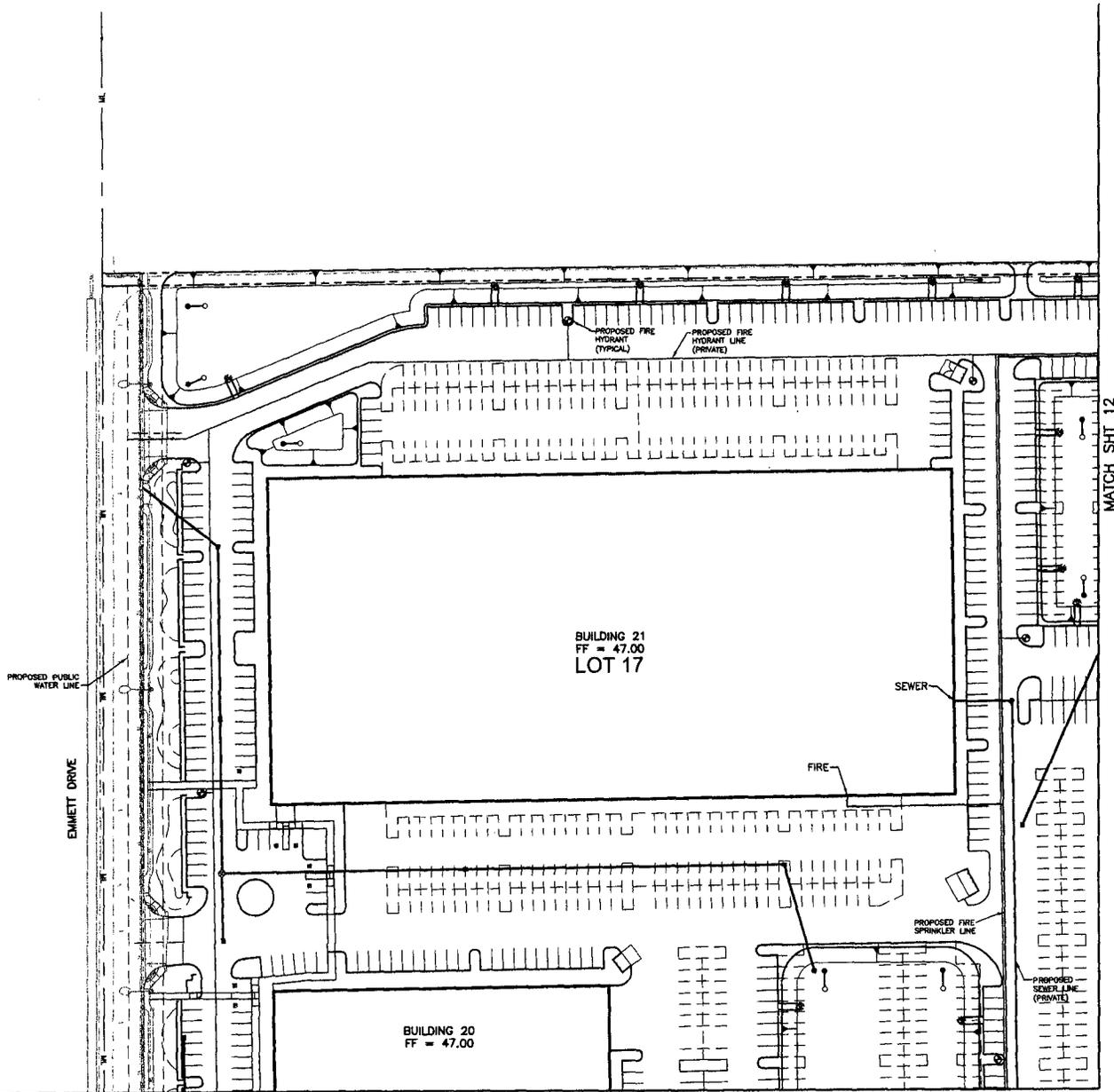
LEGEND		ABBREVIATIONS	
	EXISTING STORM DRAIN	BC	BACK OF CURB
	NEW STORM DRAIN	BW	BACK OF WALK
	CENTERLINE	CATV	CABLE TV
	PROPERTY LINE	C	CONCRETE
	EXISTING LINE	CB	CATCH BASIN
	EXISTING MANHOLES, VAULTS AND BOXES	CL	CENTERLINE
	EXISTING ELEVATION	CO	CURB OPENING
	BACKFLOW PREVENTER	E	ELECTRIC
	CATCH BASIN	ESMT	EASEMENT
	CLEANOUT	FG	FACE OF CURB
	FIRE HYDRANT	FG	FINISH GRADE
	FLOW ARROW	FF	FINISH FLOOR
	ROOF DRAIN ARROW	FL	FIRE HYDRANT
	FLOWLINE ARROW	FM	FLOW LINE
	FOUND BRASS CAP	FM	FORCE MAIN
	FOUND MONUMENT	FO	FIBER OPTICS
	FOUND REBAR	FW	FACE OF WALK
	LIGHT POLE	G	GUTTER
	PROPOSED ELEVATION	GB	GRADE BREAK
	POWER POLE	GR	GRATE
	SET BRASS CAP	GR	GRATE
	SET MONUMENT	INV	INVERT
	SET REBAR	IRV	IRREG. CONTROL VALVE
	SIGN	ML	MONUMENT LINE
	TAPPING SLEEVE	NG	NATURAL GRADE
	WATER VALVE	OC	OVERHEAD ELECTRIC
	WATER METER	P	PAVEMENT
	DRYWELL	PC	POINT OF CURVE
		PT	POINT OF TANGENCY
		RD	ROOF DRAIN
		ROW	RIGHT OF WAY
		SCD	SEWER CLEANOUT
		SD	STORM DRAIN
		SL	STREET LIGHT
		SS	SANITARY SEWER
		SW	SIDEWALK
		T	TELEPHONE
		TC	TOP CURB
		TW	TOP WALL
		TS	TRAFFIC SIGNAL
		USE	UNDERGROUND ELEC
		VG	VALLEY GUTTER
		W	WATER

DOMESTIC WATER METERS AND SERVICE
 THE BUILDINGS WILL EACH BE SERVED WITH SEPARATE WATER METERS (WITHIN THE ADJACENT STREET RIGHT-OF-WAY) AND SERVICE LINE. THE SCALE OF THESE PLANS DO NOT PERMIT THOSE TO BE SHOWN ON THESE PLANS.



ROCKEFELLER GROUP CROSSROADS		
PRELIMINARY PLAT CONCEPTUAL WATER, SEWER, AND FIRE PLANS KEY MAP		
DES: JH	DRN: ELR	CHKD: JH
		DATE: DEC. 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: N/A
7330 N. 18th Street A-200 Consulting Civil Engineers Phoenix, Arizona 85029 Phone: 602-811-3470 Fax: 602-371-0297		JOB NO.: 2317
SHEET 10 OF 16		

W:\2317_Rockefeller Queen Creek\ - 2317_PFD\ 12.11.07.DWG - CP UTM-11 - Feb 01, 2008 - 8:57am - Plasco 40

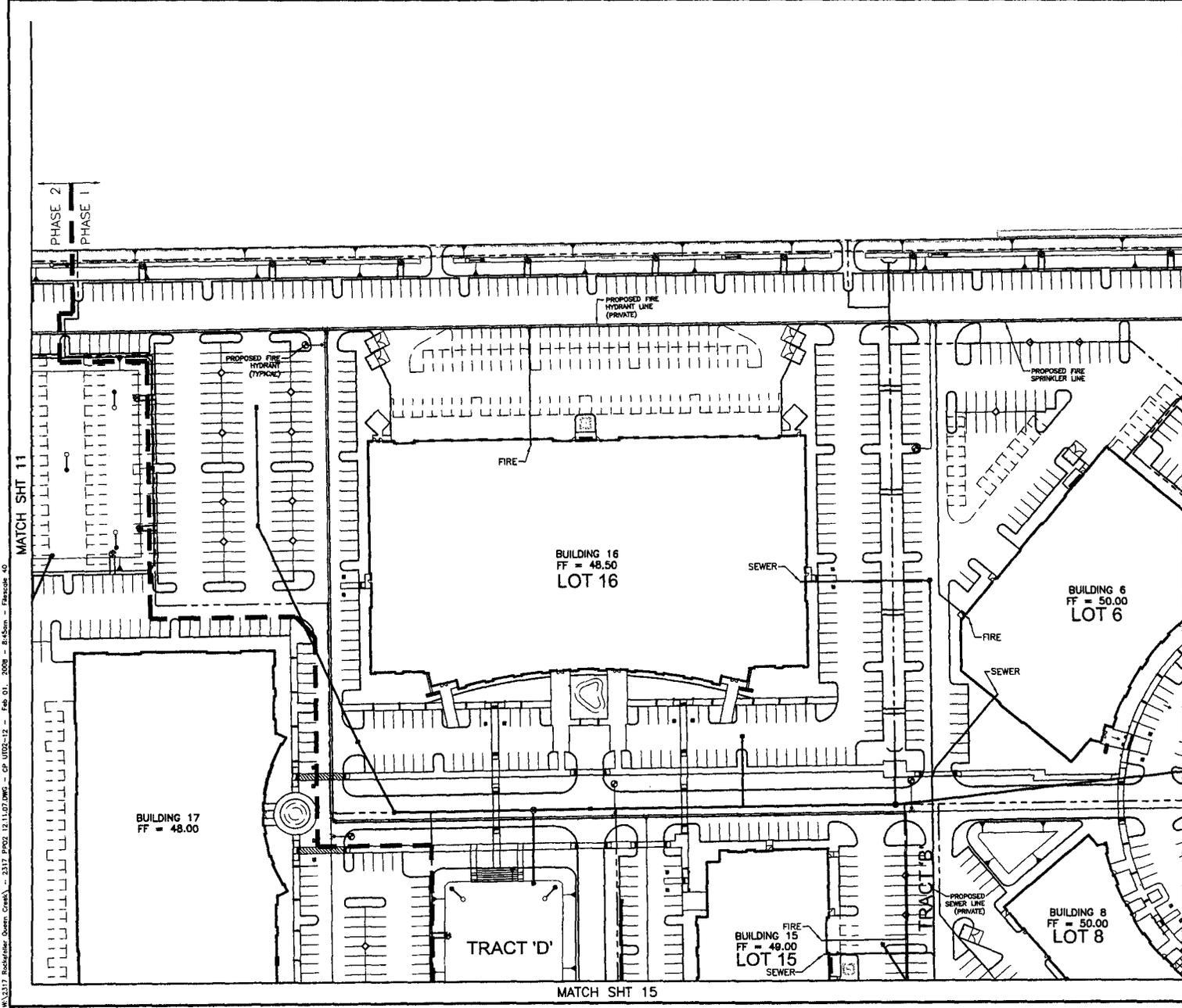


602-263-1100
1-800-STAKE-IT
www.rockefeller.com



SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAN CONCEPTUAL WATER, SEWER, AND FIRE PLANS			
DES: JN	DRN: ELR	CHKD: JN	DATE: DEC. 2007
		NORMAN ENGINEERING GROUP, INC.	
7330 N. 18th Street, A-200 Phoenix, Arizona 85020 Phone: 602-961-3473		Consulting Civil Engineers Phoenix, Arizona 85020 Phone: 602-371-0387	
SCALE: 1"=40'		JOB NO.: 2317	
11		SHEET OF 16	



W:\2317_Rockefeller_Group_Crossroads\... 2317_Prelim_12.11.07.DWG - CP U02-12 - Feb. 01, 2008 - 8:45am - Francisco

602-263-1100
 1-800-STAKE-IT
© 2008 Norman Engineering Group, Inc.



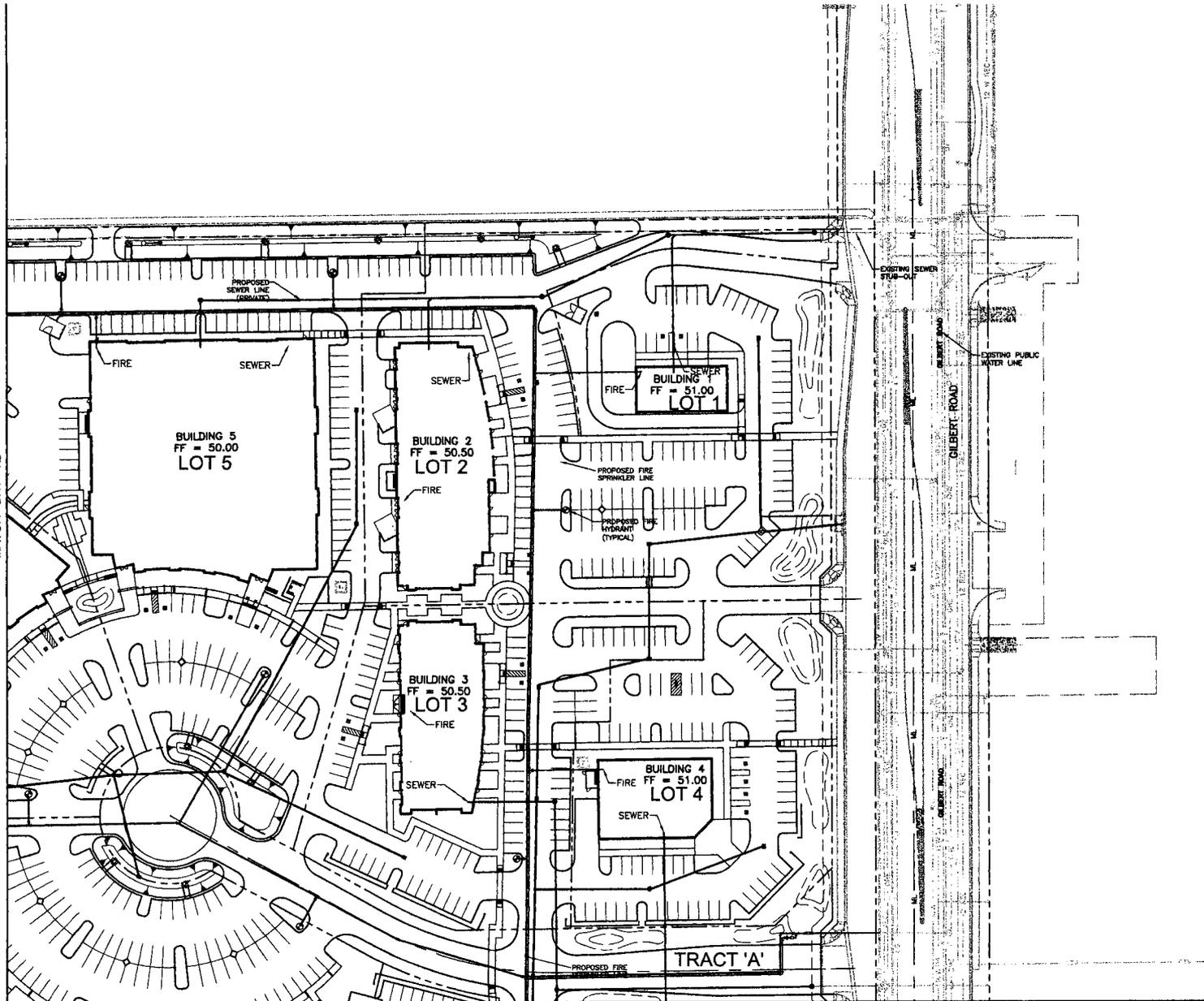
SCALE: 1" = 40'

ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT CONCEPTUAL WATER, SEWER, AND FIRE PLANS			
DES: JH	DRN: ELR	CKD: JK	DATE: DEC, 2007
7330 N. 18th Street A-200 Phoenix, Arizona 85007 Fax: 602-681-3473		Consulting Civil Engineers Phone: 602-271-0397	
JOB NO.: 2317		SHEET 12 OF 16	

W:\2317_Rockefeller Duan Green\ - 2317_P002_12.11.07.DWG - CP_UTE_03 - Jan 31, 2008 - 4.34pm - Flarecode 40

MATCH SHT 12

MATCH SHT 16



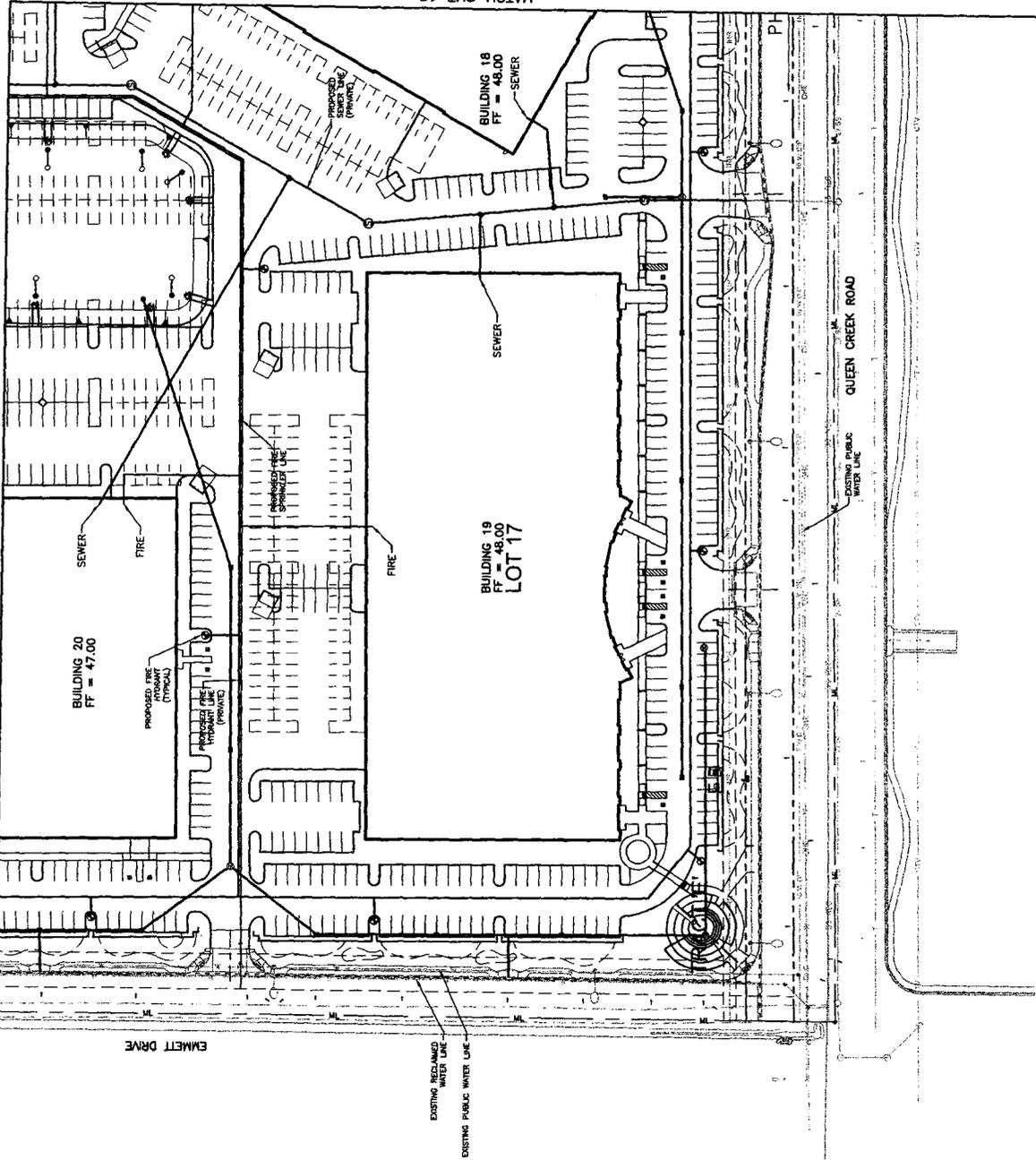

 602-263-1100
 1-800-STAKE-IT
REGISTERED PROFESSIONAL ENGINEER



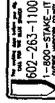

 SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAT CONCEPTUAL WATER, SEWER, AND FIRE PLANS			
DES: JN	DRN: ELR	CKD: JN	DATE: DEC. 2007
 NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40' JOB NO.: 2317	
<small>7350 N. 18th Street, Suite 500 Phoenix, Arizona 85020 Tel: 602-961-3473</small>		<small>Consulting Civil Engineers Phone: 602-271-0297</small>	
13 OF 16			

MATCH SHT 11



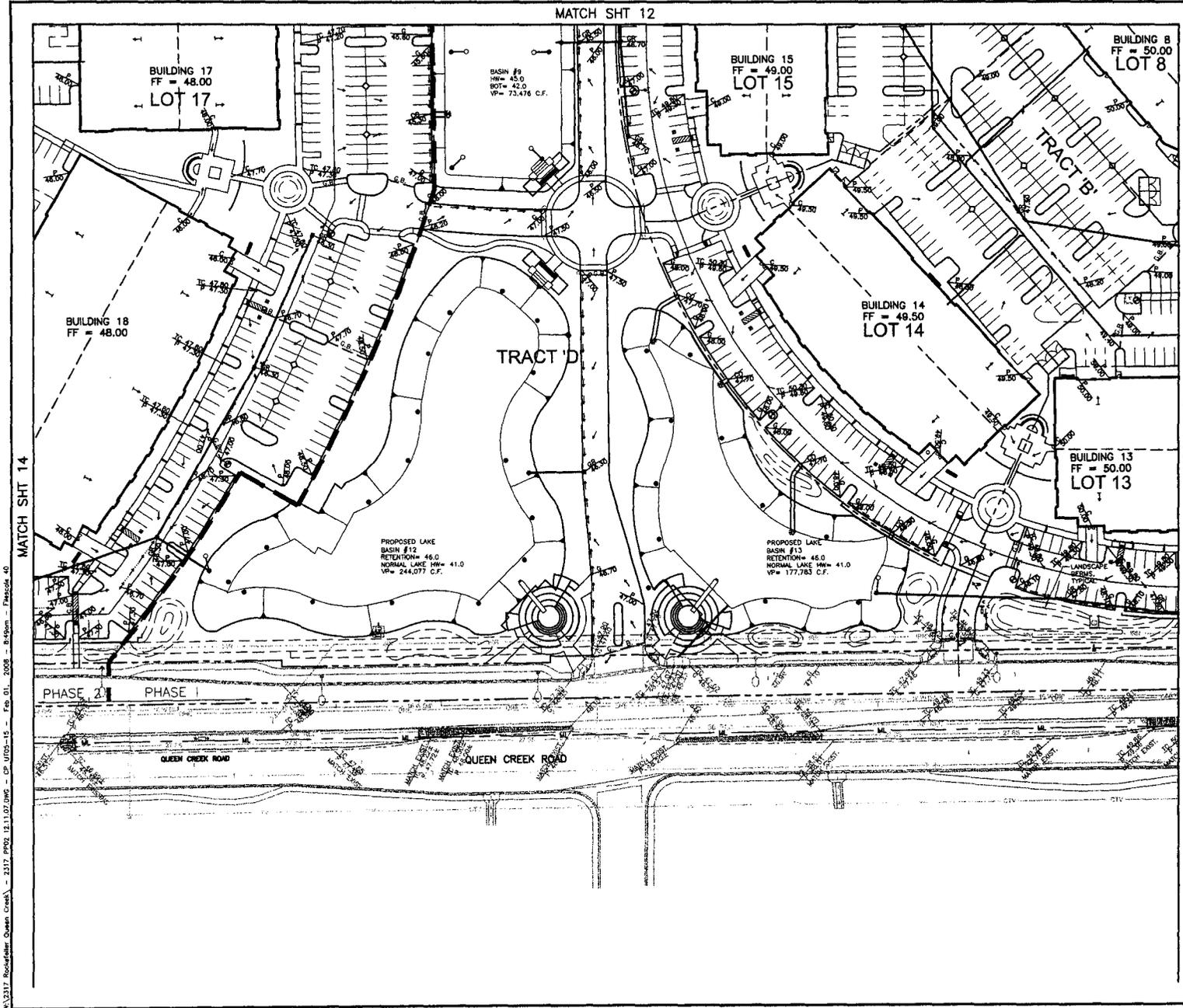
MATCH SHT 15



ROCKEFELLER GROUP
CROSSROADS
PRELIMINARY PLAT
CONCEPTUAL WATER, SEWER, AND FIRE PLANS
DES. BY: [Signature] CHKD. BY: [Signature] DATE: DEC. 2007

N NORMAN
ENGINEERING GROUP, INC.
Professional Engineer
No. 100-481-2007
Phone: 800-21-0387

14 OF 16



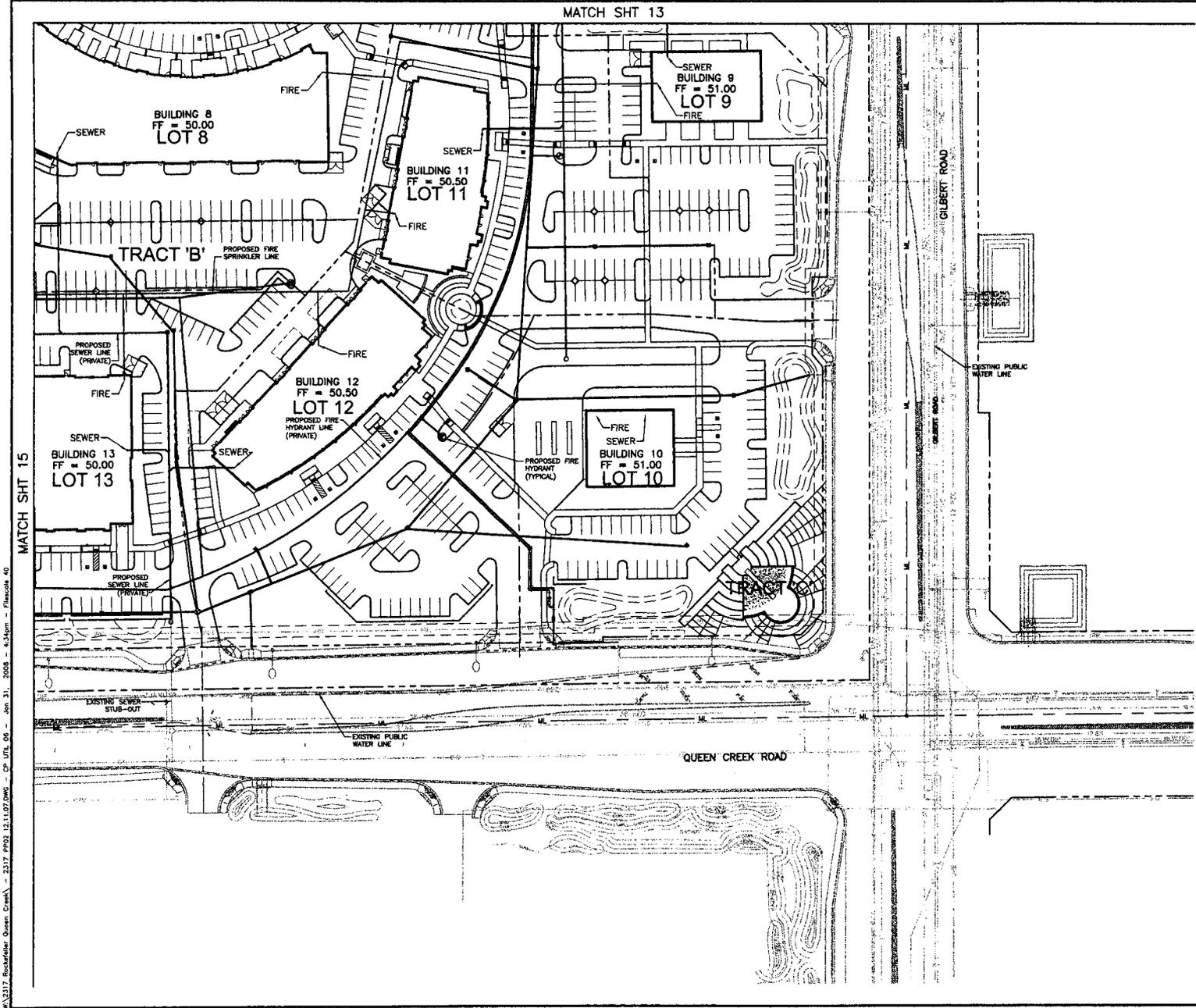
W:\2317_Rockefeller Queen Creek\2317_Plan\12.1.07.dwg - CP - JUD-15 - Feb 01, 2008 8:49am - Phase 4

602-263-1100
 1-800-STAKE-IT
United States Only

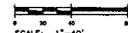


SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS			
PRELIMINARY PLAN CONCEPTUAL WATER, SEWER, AND FIRE PLANS			
DES: JN	DRN: ELR	CKD: JN	DATE: DEC, 2007
NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40' JOB NO.: 2317	
7230 N. 189. Street A-200 Consulting Civil Engineers Phoenix, Arizona 85020 Fax: 602-861-5473		Phone: 602-371-0397 SHEET 15 OF 16	

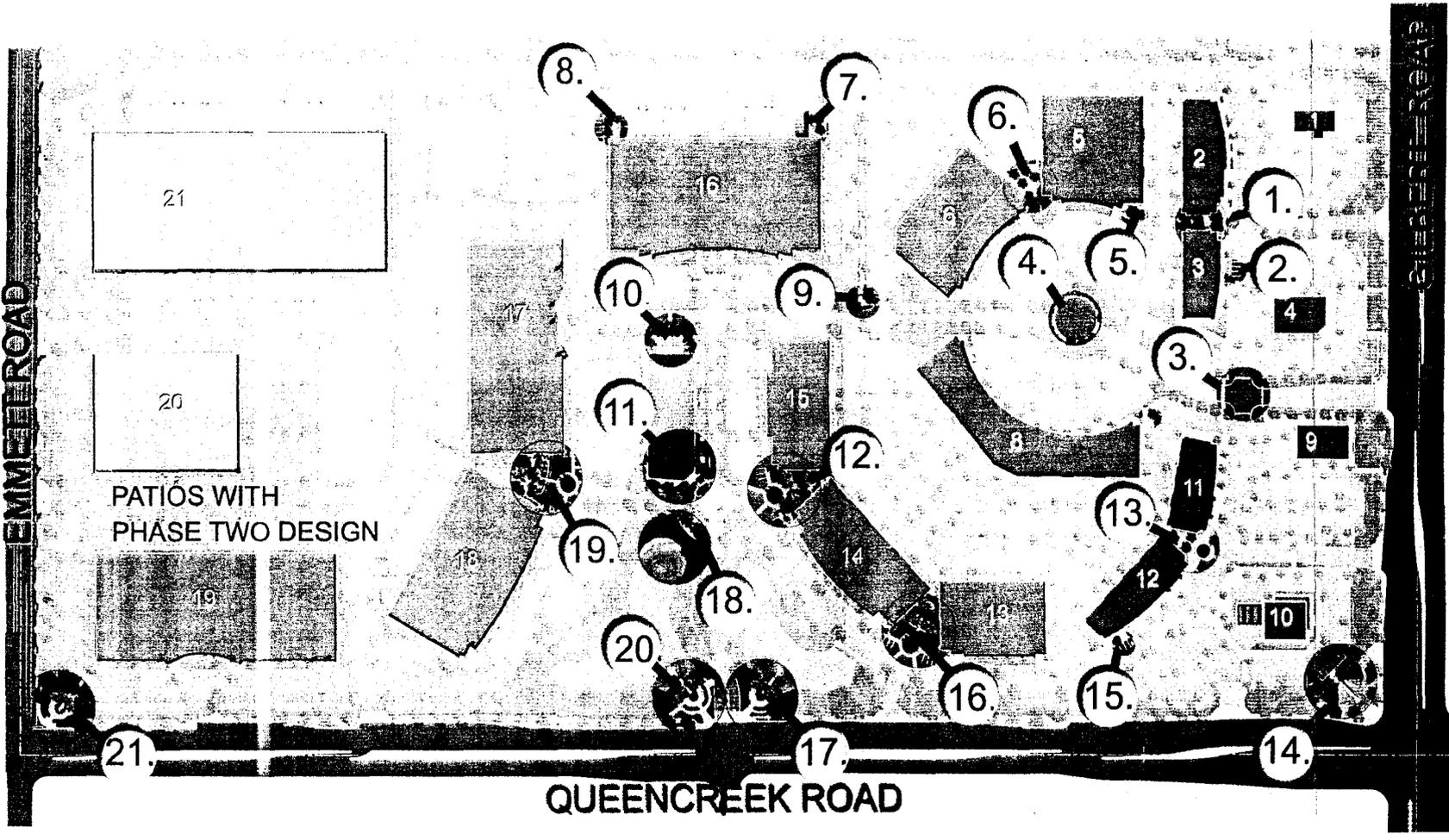


2317.P003 12.1.07.DWG - CP UTIL 05 - Jan 31, 2008 - 4:51pm - Planbook 40



 SCALE: 1"=40'

ROCKEFELLER GROUP CROSSROADS		
PRELIMINARY PLAT CONCEPTUAL WATER, SEWER, AND FIRE PLANS		
DES: JH	DRN: ELR	CHK: JH DATE: DEC, 2007
 NORMAN ENGINEERING GROUP, INC.		SCALE: 1"=40' JOB NO.: 2317
7330 N. 18th Street, A-200 Phoenix, Arizona, 85020 Phone: 602-961-3477 Fax: 602-371-0387		SHEET 16 OF 16

FEATURES AND AMENITIES PLAN



- AMENITIES
- 1. PATIO
 - 2. TYP SEAT CUBES
 - 3. SPECIAL PAVING
 - 4. SPECIAL PAVING
 - 5. PATIO
 - 6. PATIO
 - 7. PATIO
 - 8. PATIO
 - 9. SEAT CUBES
 - 10. PATIO
 - 11. PATIO/LAWN
 - 12. PATIO
 - 13. PATIO
 - 14. FOUNTAIN
 - 15. SEAT CUBES
 - 16. PATIO
 - 17. FOUNTAIN SIGN
 - 18. PATIO
 - 19. PATIO
 - 20. FOUNTAIN SIGN
 - 21. CORNER FEATURE

Rockefeller Group Crossroads

PARTIAL RETAIL-11



Rockefeller Group Crossroads

BUILDING 16

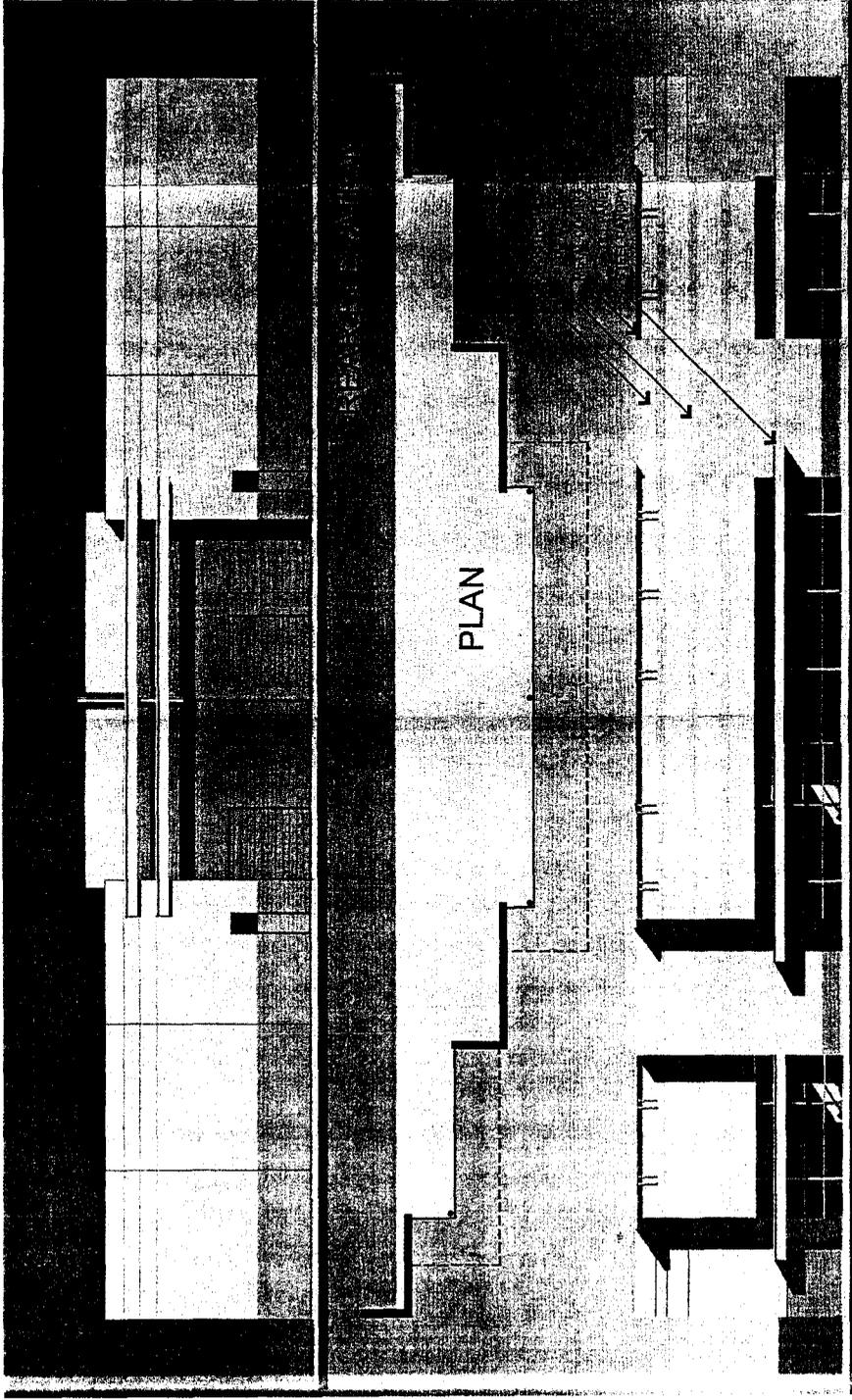


FRONT ELEVATION

STEEL CANOPY

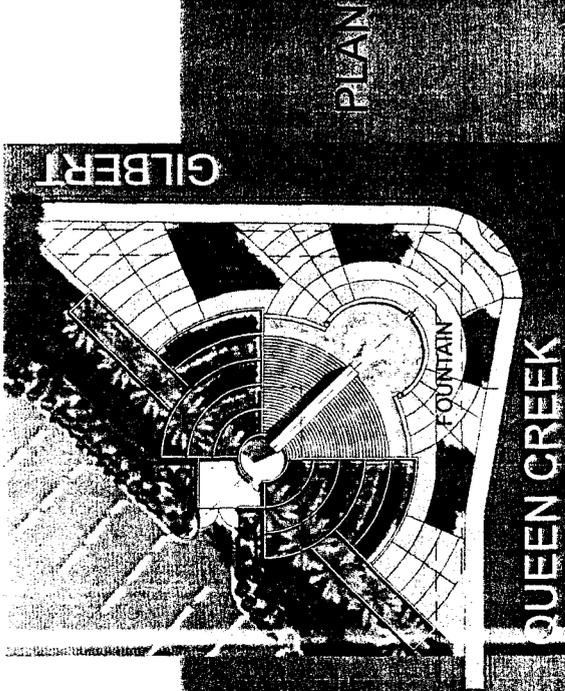
Rockefeller Group Crossroads

BUILDING 13



Rockefeller Group Crossroads

FOUNTAIN FEATURE



Rockefeller Group Crossroads



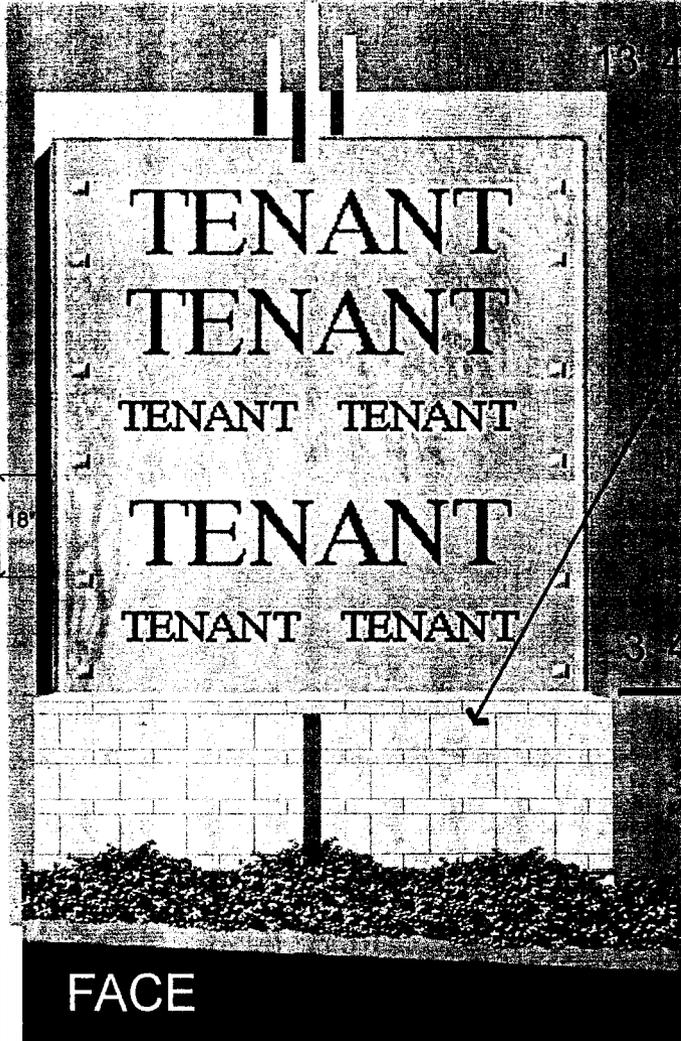
Rockefeller Group Crossroads

SIGN S-5

TENANT MONUMENT

SUPPORT FRAME
WITH ALUMINUM
PAINT
1/2" GLASS

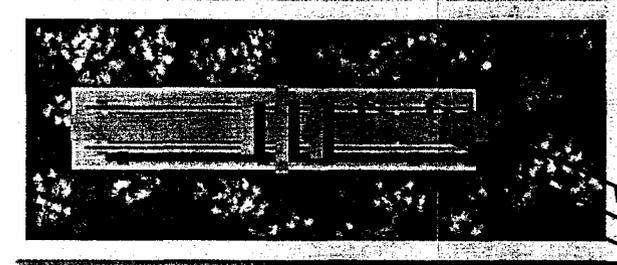
13'-2"



MARBLE BASE

18"

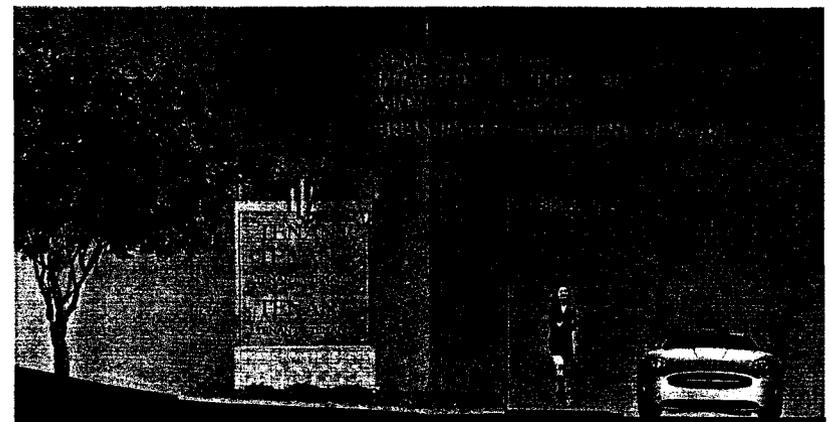
3'-2"



PLAN
COLOR CONCRETE
CURB AND BASE
SIGN
BASE PLANTING

SIDE

FACE



Rockefeller Group Crossroads