

#15

FEB 12 2009



**Chandler • Arizona**  
*Where Values Make The Difference*

**MEMORANDUM                      Planning & Development - CC Memo No. 08-232b**

**DATE:**            DECEMBER 26, 2008

**TO:**                MAYOR AND CITY COUNCIL

**THRU:**            W. MARK PENTZ, CITY MANAGER  
                         *for* JEFF KURTZ, ACTING PLANNING & DEVELOPMENT DIRECTOR *DKM*  
                         BOB WEWORSKI, PLANNING MANAGER *BW*

**FROM:**            ERIK SWANSON, CITY PLANNER *ES*

**SUBJECT:**        PDP08-0024 FIRST BAPTIST CHURCH CHANDLER

**Request:**        Request Preliminary Development Plan approval for Phase II of the overall Master Plan for the First Baptist Church of Chandler. Phase II will include approximately 49,390 square feet of floor area.

**Location:**        Northeast corner of Arizona Avenue and Appleby Road

**Applicant:**        William Gosney,  
                         Art & Space Architects, Ltd.

**Project Info:**    Three stages of development in Phase II to include:  
                         Four temporary modular buildings,  
                         A two-story Children's Worship Center,  
                         and the single-story Fellowship Hall

**RECOMMENDATION**

The request is for Preliminary Development Plan approval for Phase II of the overall Master Plan for the First Baptist Church of Chandler. Planning Commission and Staff, upon finding consistency with the General Plan, Chandler Airpark Area Plan, and Planned Area Development zoning recommend approval with conditions.

**BACKGROUND**

The subject site is located at the northeast corner of Arizona Avenue and Appleby Road. Directly north of the subject site is the Ocotillo Animal Clinic. West, adjacent to the site is

Arizona Avenue, with residential zoned property west of Arizona Avenue. South, adjacent to the site is Appleby Road, with a single-family home south of Appleby Road. First Baptist Church of Chandler owns the property surrounding the animal clinic to the east as well as the property east of the existing building extending to the Union Pacific Railroad tracks. The entire campus of the church includes approximately 34 +/- acres.

In 2004, the entire campus was annexed into the City and rezoned for church related uses. The 2004 approval consisted of approximately four-acres for development as Phase I. Future phases were represented in the initial application, but it was noted that future Preliminary Development Plan's would be required. As part of the Rezoning and Preliminary Development Plan, architectural exhibits were provided for the Family Life Center.

The Family Life Center was constructed shortly after Council approval, and is currently located on the site's west side along the Arizona Avenue frontage. With the approval and development of the Phase II buildings, a number of the current activities taking place in the Family Life Center will be relocated, and the interior of the Family Life Center will be expanded to allow for the growing congregation.

#### **SITE LAYOUT**

Phase II includes requests for three stages within the Phase II development area. Phase II requests approval for: four temporary modular buildings, labeled as Phase II-M; the Children's Worship Center and the Choir and Music rehearsal areas, labeled as Phase II-A; and the single-story Fellowship Hall, labeled as Phase II-B. Included in stage Phase II-M will be a portion of the fire access lane and turn-around located south of the proposed modular buildings. Phase II-A will complete the fire access lane, and the parking lot on the north side of the Phase II development area. Approximately 107 parking spaces will be included as part of Phase II.

#### **PHASE II-M**

The first stage, Phase II-M, includes four temporary modular buildings. The temporary modular buildings will house various activities such as bible studies and small groups that are currently occupying space in the Family Life Center. The need for the temporary modular buildings is necessary due to church growth, as the modular buildings will allow for the classrooms located within the Family Life Center to be removed to serve the growing congregation. The modular buildings will allow for those activities currently taking place in the Family Life Center to continue in operation while Phase II-A is designed and constructed. Included in this phase will be the construction of the temporary fire lane.

The four modular buildings will be located just southeast of the existing Family Life Center, and east of the existing children's play yard. The modular buildings will be located in a rectangular pattern. Generous landscaping will be provided on the western and southern elevations. Four tree species will be used, along with a variety of shrubs and ground covers to screen the modular buildings from street view.

Even though the modular buildings are temporary, the applicant has attempted to architecturally integrate them as best as possible while keeping their temporary status in mind. The modular

buildings will use the same paint palette as the existing Family Life Center. Wing walls will also be provided at both ends of the buildings, mimicking the extended parapet element found on the existing Family Life Center. Although there are concerns with the use of the asphalt shingle roofs, the applicant has attempted to blend them with the Family Life Center roof by use of the same roof color. It is anticipated that it will take two years for the design and construction of Phase II-A. Staff has added a condition allowing for the operation of the modular buildings for two years, if additional time is necessary a new PDP will be required.

#### **PHASE II-A**

Phase II-A consists of the Children's Worship Center, continuation of the temporary fire access road, expanding the parking lot, and lastly the removal of the modular buildings. The Children's Worship Center will be located just east of the existing Family Life Center, and will be connected to the Family Life Center by a roof element creating an outdoor atrium.

The Children's Worship Center is two-stories with a height of approximately 31-feet. The Children's Worship Center provides ten classrooms and a large gathering area with a stage on the first floor; and six classrooms, an office, choir area, storage area, and a large gathering area with a stage on the second floor. The building area including the covered roof element is approximately 19,522 square feet.

#### **PHASE II-B**

With the completion of Phase II-B all portions of Phase II will be complete. Phase II-B is primarily the construction of the Fellowship Hall. The Fellowship Hall is a single-story building with an overall height of 26-feet eight inches. The Fellowship Hall will function primarily as a gathering space for congregants. Six meeting rooms, the main gathering area, and commercial kitchen will be provided in the Fellowship Hall. The building area of the Fellowship Hall is approximately 18,460 square feet.

Future phases include a Worship Center, and Administration and Ministry buildings, and will be located south of the Phase II development completing the courtyard development of the site. Future phases will require separate Preliminary Development Plan approval.

#### **ARCHITECTURE**

The architecture of both Phase II-A and II-B will be consistent with each other, but will differ slightly from the architectural design of the Family Life Center, with the intention that the Phase II buildings are secondary to the Family Life Center. The overall architectural character for Phase II is intended to be sensitive to the desert climate, as well as the scale of the site. Natural lighting is accomplished where possible through the location of various recessed window elements. Vertical elements are designed to provide contrast to the wall planes. Where the stucco and masonry parapets meet, varying parapet heights are provided. The masonry and stucco elements will also vary in color, providing for further contrast.

Rather than providing a wainscot of CMU as found on the Family Life Center, the Children's Worship Center and the Fellowship Hall will provide substantial vertical CMU massing elements throughout the various elevations, thus keeping in character with the Family Life Center, but also

allowing for the Family Life Center to be the main focal point of the campus. Tab 10 of the development booklet provides elevations showing how both Phase II-A and Phase II-B are integrated with the Family Life Center. Care has been taken with the design of the Children's Worship Center and Fellowship Hall to be in keeping with a more energy efficient approach to development by creating natural lighting with the recessed windows, covered corridors, and thick wall massing. With the design of the buildings being angled around a large courtyard area, blank flat wall planes are reduced and visual interest is provided by the large CMU massings and recessed window elements. Various open-seam metal roofing elements will protrude at the building entrances, as well as along various portions of the buildings. The primary building material will be stucco with an E.F.I.S. type construction, and will be accented with the various CMU elements.

### **DISCUSSION**

Staff is pleased with the design and layout of Phase II of the First Baptist Church of Chandler, finding the architecture of Phase II to be compatible yet distinctive from the Phase I design. The use of the same materials and color palette creates uniformity throughout the campus, while the architecture of Phase II allows for the Family Life Center to remain the central focus of the campus.

### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- An orange 4' X 8' public hearing sign was posted on the property.
- A neighborhood meeting was held on Thursday, October 9, 2008. No neighbors were in attendance.

At the time of this writing, Staff has received no telephone calls or letters opposed to this application.

### **PLANNING COMMISSION VOTE REPORT**

Motion to Approve

In Favor: 4    Opposed: 0    Absent: 3 (Kelley, McClendon, Veitch)

### **RECOMMENDED ACTION**

Planning Commission and Staff, upon finding consistency with the General Plan, Chandler Airpark Area Plan, and PAD zoning recommend approval of PDP08-0024 FIRST BAPTIST CHURCH CHANDLER, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit 'K', Development Booklet, entitled "FIRST BAPTIST CHURCH CHANDLER", kept on file in the City of Chandler Planning Services Division, in File No. PDP08-0024, except as modified by condition herein.
2. Compliance with original stipulations adopted by the City Council as Ordinance No.3535 in case DVR03-0032 FIRST BAPTIST CHURCH CHANDLER, except as modified by condition herein.

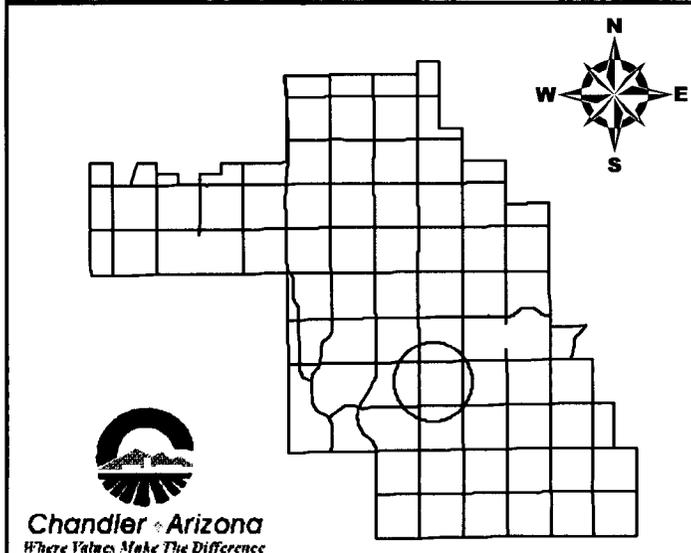
3. A Traffic Study shall be submitted and approved by Public Works Director at the time of subsequent Preliminary Development Plan submittal.
4. The applicant shall work with Staff to incorporate art features within the development. Details to be worked out with Staff.
5. The use of the modular buildings shall remain in effect for two (2) years from the effective date of City Council approval. Continuation of the modular buildings beyond the expiration date shall require re-application of a Preliminary Development Plan and approval by the City of Chandler.
6. Additional right-of-way shall be dedicated along Arizona Avenue for a bus shelter and bay, details shall be worked out with Staff. Future construction and maintenance of the bus shelter and bus bay are not the responsibility of First Baptist Church of Chandler.
7. The applicant shall work with Staff to depress the modular buildings.

**PROPOSED MOTION**

Move to approve PDP08-0024 FIRST BAPTIST CHURCH CHANDLER, subject to the conditions recommended by Planning Commission and Staff.

**Attachments**

1. Vicinity Map
2. Master Site Plan
3. Phase II-M
4. Phase II-M Landscape Plan
5. Phase II-A and II-B Site Plan
6. Modular Building Elevations
7. Phase II-A, II-B Building Elevations
8. Phase I, Family Life Center Building Elevations
9. Ordinance No. 3535
10. Applicant Narrative
11. Exhibit 'K', Development Booklet



## Vicinity Map



PDP08-0024

First Baptist Church Chandler

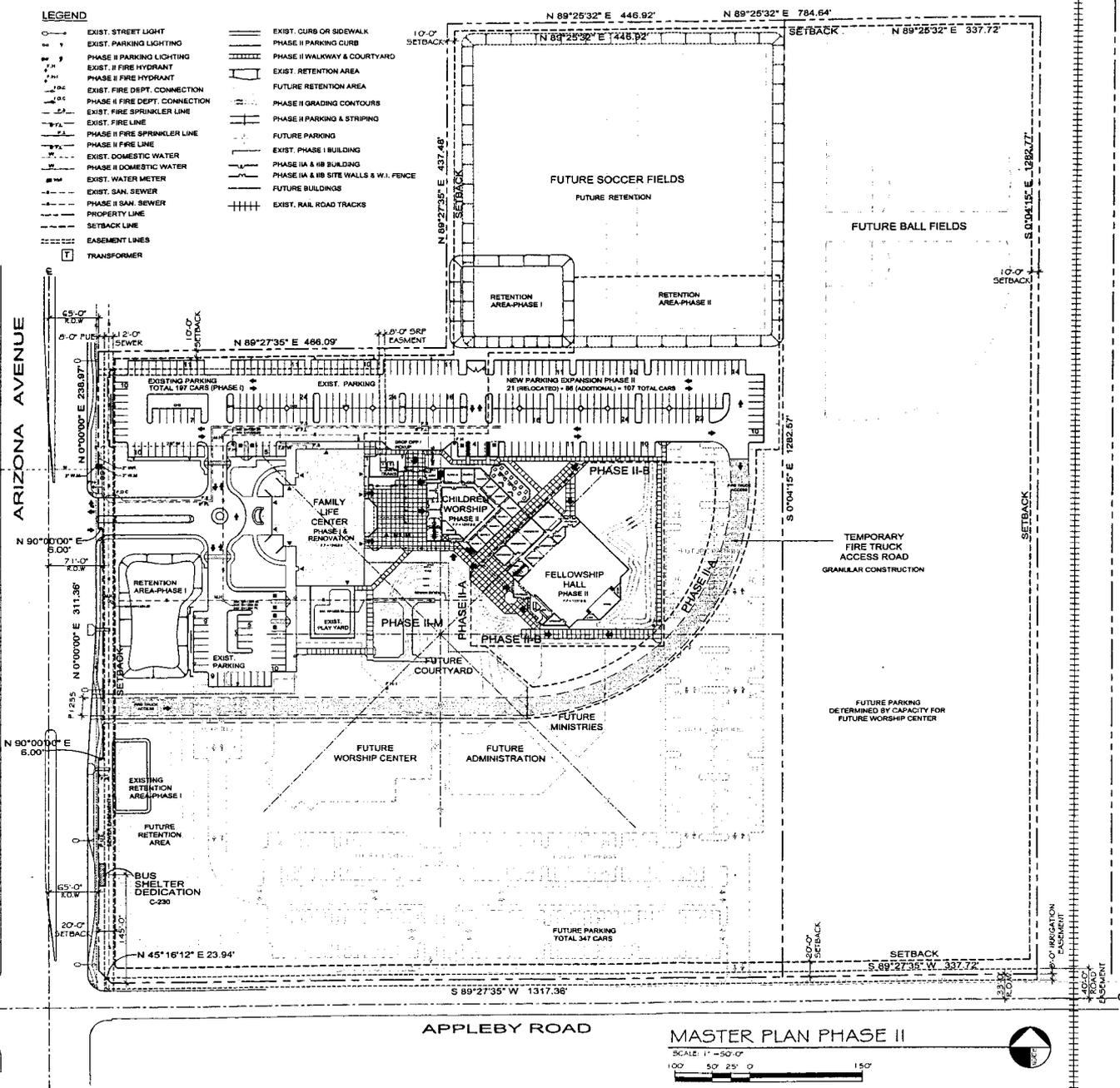


Chandler Arizona  
Where Values Make The Difference

CITY OF CHANDLER 7/18/2008

**LEGEND**

- EXIST. STREET LIGHT
- EXIST. PARKING LIGHTING
- PHASE II PARKING LIGHTING
- EXIST. II FIRE HYDRANT
- PHASE II FIRE HYDRANT
- EXIST. FIRE DEPT. CONNECTION
- PHASE II FIRE DEPT. CONNECTION
- EXIST. FIRE SPRINKLER LINE
- PHASE II FIRE SPRINKLER LINE
- EXIST. FIRE LINE
- PHASE II FIRE LINE
- EXIST. DOMESTIC WATER
- PHASE II DOMESTIC WATER
- EXIST. WATER METER
- EXIST. SAN. SEWER
- PHASE II SAN. SEWER
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINES
- T TRANSFORMER
- EXIST. CURB OR SIDEWALK
- PHASE II PARKING CURB
- PHASE II WALKWAY & COURTYARD
- EXIST. RETENTION AREA
- FUTURE RETENTION AREA
- PHASE II GRADING CONTOURS
- PHASE II PARKING & STRIPING
- FUTURE PARKING
- EXIST. PHASE I BUILDING
- PHASE IA & IB BUILDING
- PHASE IA & IB SITE WALLS & W.I. FENCE
- FUTURE BUILDINGS
- EXIST. RAIL ROAD TRACKS



**PROJECT:**  
 PHASE I  
 FIRST BAPTIST CHURCH CHANDLER  
 3405 S. ARIZONA AVE.  
 CHANDLER, AZ 85248

**OWNER:**  
 FIRST BAPTIST CHURCH CHANDLER  
 3405 S. ARIZONA AVE.  
 CHANDLER, AZ 85248  
 (480) 963-3439

**CONSULTANTS:**  
**ARCHITECTS:** ART & SPACE ARCHITECTS LTD  
 7334 E. 1st St., Suite 100  
 SCOTTSDALE, AZ 85251  
 (480) 949-0204

**CIVIL:** PREMIER ENGINEERING CORP.  
 6437 W. CHANDLER BLVD  
 CHANDLER, AZ 85226  
 (480) 958-0000

**LANDSCAPE:** WHEEL & ASSOCIATES  
 9611 S. PRIEST DR. #101  
 TEMPE, AZ 85284  
 (480) 933-3349

**ZONING:** PAD

**PROPERTY AREA:**  
 APN: 303-41-002-K: 10.72 Net Acres (604,975.24 sq. ft.)  
 APN: 303-41-002-J: 6.10 Net Acres (326,308.22 sq. ft.)  
 APN: 303-41-002-I: 10.00 Net Acres (435,621.49 sq. ft.)  
 32.3 Net Acres (1,407,194.95 sq. ft.)  
 Gross Area 34.6 Acres (1,508,962 sq. ft.)

**PHASING SITE AREA:**  
 PHASE I: 4.74 Net Acres (206,337 sq. ft.)  
 PHASE II: 6.10 Net Acres (266,022 sq. ft.)  
 PHASE II-M: 1.17 Ac (51,036 sq. ft.) TEMPORARY MODULAR PHASE TO BE INCORPORATED INTO PHASE II SITE AREA, INCLUDING FIRE TRUCK ACCESS ROAD.

**FUTURE PHASES:**  
 - WORSHIP CENTER  
 - ADMINISTRATION  
 - MINISTRIES  
 - ATHLETIC FIELDS  
 - PARKING

**BUILDING AREA:**  
 Phase I (Existing): 19,456 sq. ft.  
 Phase II-A: Ground Floor: 10,590 sq. ft.  
 Phase II-A: Upper Floor: 13,620 sq. ft.  
 Phase II-B: Ground Floor: 10,460 sq. ft.  
 Phase II Total: 62,126 sq. ft.

**FUTURE PHASES:**  
 - Worship Center: 45,000 sq. ft.  
 - Administration: 12,000 sq. ft.  
 - Ministries: 12,000 sq. ft.

**LOT COVERAGE:**  
 Phase I (Existing): 19,456 sq. ft. = 1.30%  
 Phase II-A: 13,620 sq. ft. = 0.97%  
 Phase II-B: 6,756 sq. ft. = 0.45%  
 Phase II-C: 10,460 sq. ft. = 1.13%  
 Phase II-D: 1,106 sq. ft. = 0.08%  
 Phase II Total: 2.95% Proposed Lot Coverage  
 3.94% Phase I & II Lot Coverage

**Future Phases:** 69,000 sq. ft. = 4.83% Future Lot Coverage

**PARKING REQTS.:**  
 Phase I (Existing Worship): 540 seats @ 1 car/4 seats = 135 cars  
 Phase II-A (Proposed Worship): 540 seats @ 1 car/4 seats = 135 cars  
 Phase II-B (Proposed Worship): 640 seats @ 1 car/4 seats = 301 cars

**PARKING PROVIDED:**  
 Phase I (Existing Total): 197 cars incl. 6 accessible  
 7 AS Additional incl. 2 accessible

Phase II-A (Proposed Total): 283 cars incl. 6 accessible  
 Phase II-B (Proposed Total): 283 cars incl. 6 accessible

**FUTURE PARKING:**  
 Future Worship Center:  
 - Assumed 4000 seats @ 1 car : 4 seats = 1000 parking spaces Required  
 Phase I & Phase II Parking: 283 spaces Provided  
 Future Phases Parking: 431 spaces Provided  
 Potential Parking: 600 spaces Available  
 Total Potential Parking: 1314 spaces Available

**NOTE:**  
 Future Phases: 24,000 sq. ft. @ 1 car : 200 sq. ft. = 120 parking spaces Required  
 Phase I & II: 62,000 sq. ft. @ 1 car : 200 sq. ft. = 310 parking spaces Required  
 Therefore, Future Worship Center governs

**ART & SPACE ARCHITECTS LTD.**

(480) 949-0204    FAX (480) 949-0600  
 7334 East First St., Suite 100    Scottsdale, Arizona 85251

PROPOSED EXPANSION & REMODEL FOR:  
**FIRST BAPTIST CHURCH CHANDLER**  
 3405 SOUTH ARIZONA AVENUE  
 Chandler, AZ 85248  
Copyright © 2005 by Art & Space Architects, Ltd.

date: 05-21-06	revisions:
drawn by: 1	_____
checked by: 2	_____
drawing name: 3	_____
MASTER SITE PLAN	_____
job no. 5	_____

MP-1

**MASTER PLAN PHASE II**

SCALE: 1" = 50'-0"

100'    50'    25'    0    150'

MASTER SITE PLAN

**PHASE II-M DATA**

Development Area: 51058 s.f.  
Open Space: 18256 s.f.  
Fire Truck Access: 15150 s.f.  
Building Area: 6909 s.f.  
Exist. Parking: 197 cars

N 89°27'35" E 466.09'

PHASE II-A

RETENTION AREA-PHASE I

RETENTION AREA-PHASE II

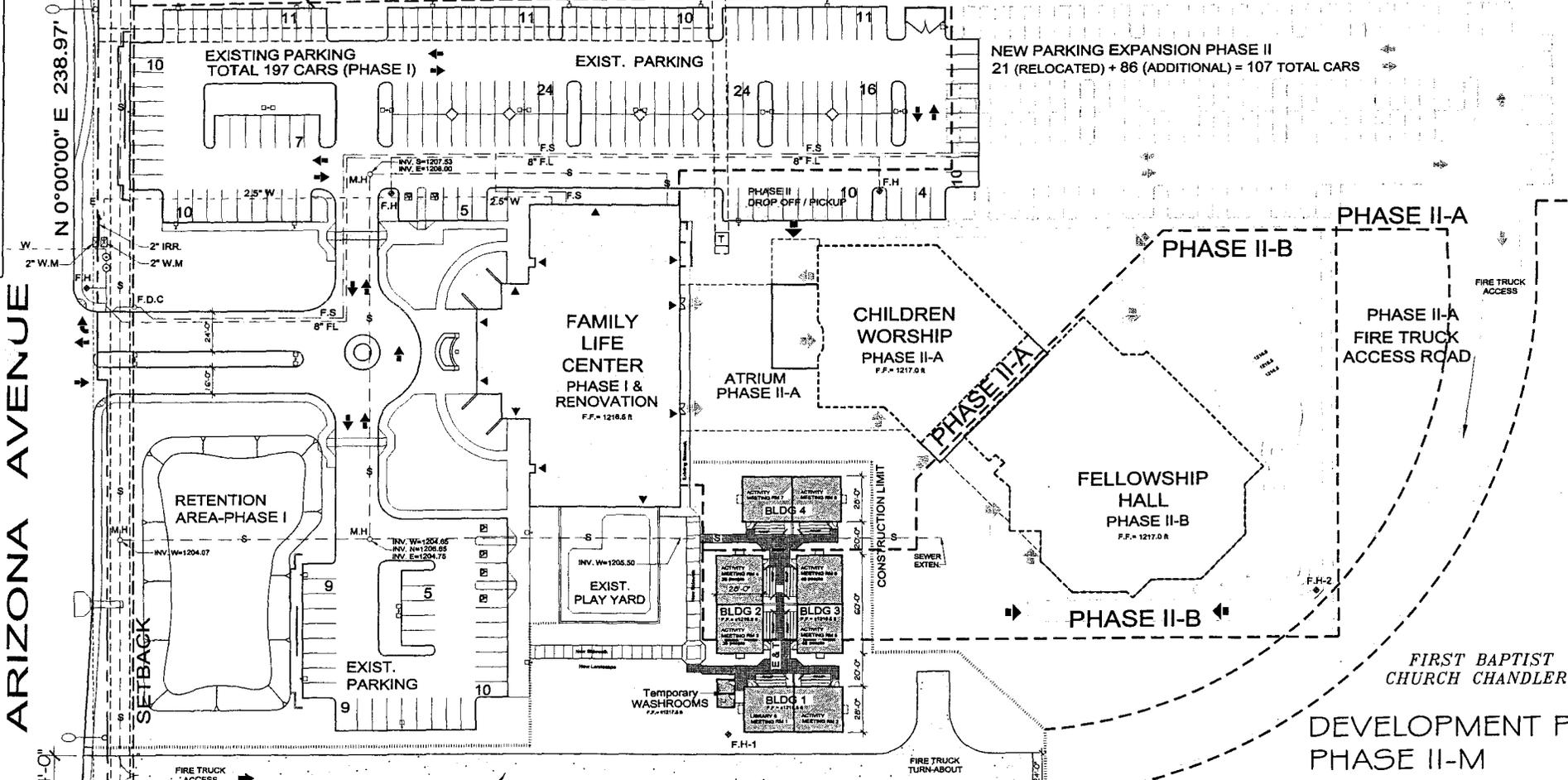
65'-0" R.O.W  
8'-0" PUE  
12'-0" SEWER  
10'-0" SETBACK

8'-0" SRP EASMENT

EXISTING PARKING TOTAL 197 CARS (PHASE I)

EXIST. PARKING

NEW PARKING EXPANSION PHASE II  
21 (RELOCATED) + 86 (ADDITIONAL) = 107 TOTAL CARS



ARIZONA AVENUE

N 0°00'00" E 238.97'  
2'-0" W.M.  
24'-0" SETBACK

FAMILY LIFE CENTER PHASE I & RENOVATION  
F.F. = 1218.6 R

CHILDREN WORSHIP PHASE II-A  
F.F. = 1217.0 R

FELLOWSHIP HALL PHASE II-B  
F.F. = 1217.0 R

EXIST. PLAY YARD  
INV. W=1205.50

BLDG 4  
ACTIVITY MEETING RM 12' x 12' x 10'  
ACTIVITY MEETING RM 12' x 12' x 10'

BLDG 2  
ACTIVITY MEETING RM 12' x 12' x 10'  
ACTIVITY MEETING RM 12' x 12' x 10'

BLDG 3  
ACTIVITY MEETING RM 12' x 12' x 10'  
ACTIVITY MEETING RM 12' x 12' x 10'

BLDG 1  
ACTIVITY MEETING RM 12' x 12' x 10'  
ACTIVITY MEETING RM 12' x 12' x 10'

Temporary WASHROOMS  
F.F. = 1218.6 R

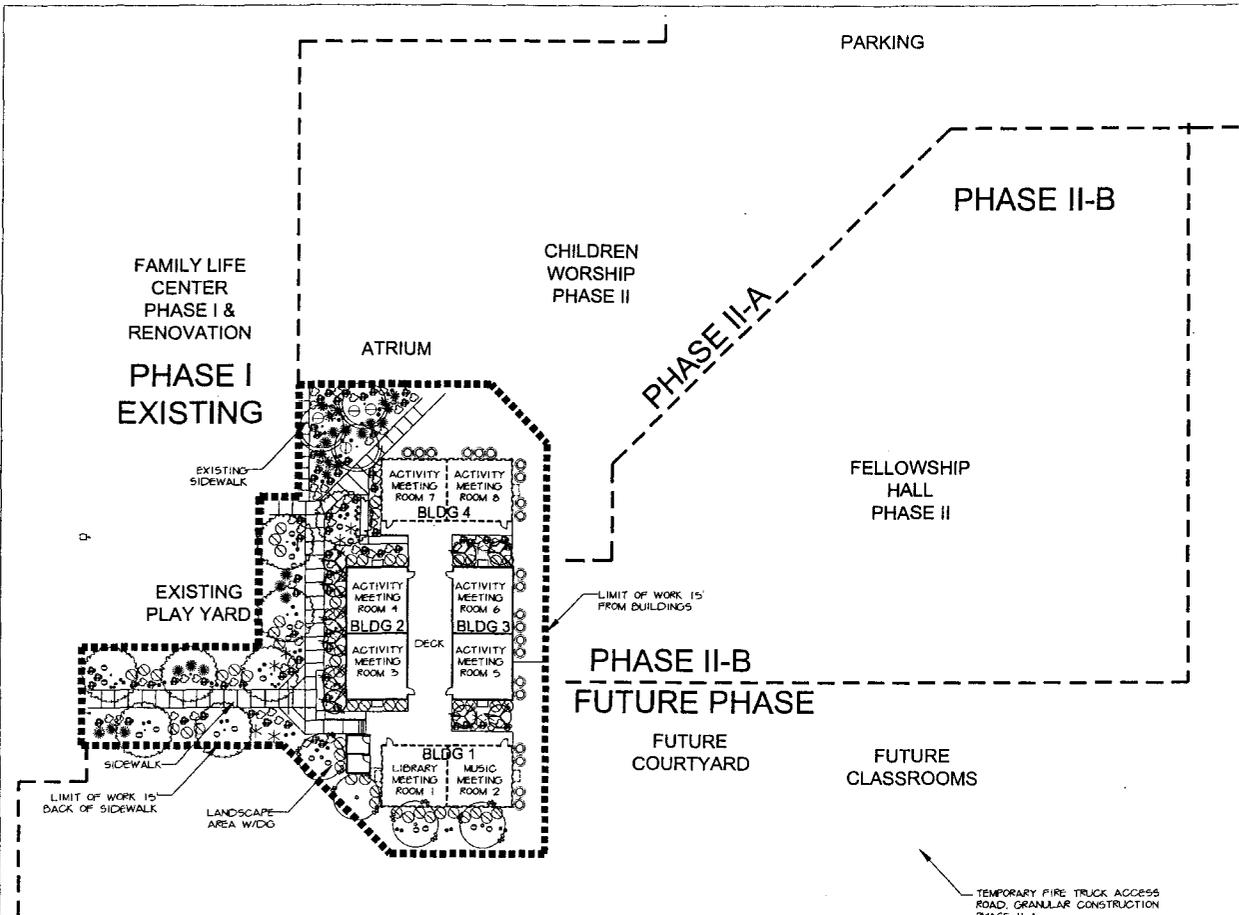
FIRST BAPTIST CHURCH CHANDLER

DEVELOPMENT PLAN PHASE II-M  
TEMPORARY MODULAR UNITS

**SITE PLAN PHASE II-M**



PHASE II-M



### Preliminary Landscape Legend

SYMBOL	COMMON NAME BOTANICAL NAME	SIZE/CALIPER/ HEIGHT MIN.	QTY.
<b>TREES</b>			
○	EVERGREEN ELM	2" Caliper / 10' Height	8
○	ULMUS PARVIFLORA	1" Caliper / 8' Height	4
○	DESERT MABELIA PALM VERDE	2" Caliper / 8' Height	10
○	PARSONIA TREEST MUSEUM	2" Caliper / 8' Height	8
○	THORNLESS CASUALTY	2" Caliper / 10' Height	8
○	CAESALPINA CACALAGO SMOOTH	2" Caliper / 10' Height	8
○	JACARANDA	2" Caliper / 10' Height	8
○	JACARANDA MINOIFOLIA	2" Caliper / 10' Height	8
<b>SHRUBS</b>			
○	NO BRASH SAGE	5 GAL.	22
○	LEUCOPHYLLUM LANGRANIANUM	5 GAL.	20
○	GLORIE MALLOW	5 GAL.	15
○	SPHARANTHA CEA AMBROIA	5 GAL.	15
○	DEER GRASS	5 GAL.	15
○	MULLEBERGIA ROSEA	5 GAL.	15
○	MEXICAN GRASS TREE	5 GAL.	15
○	DIRTY PINK LONGSPERM	5 GAL.	15
○	SAJA RUBELLA	5 GAL.	15
○	RUELLIA PISHMANSIANA	5 GAL.	15
○	PARTY'S PENSTEMON	5 GAL.	15
○	PENSTEMON PARRYI	5 GAL.	15
○	PURPLE BOGGANVILLEA	5 GAL.	15
○	BOGGANVILLEA	5 GAL.	15
○	WHITE HIBISCUS	5 GAL.	15
○	HIBISCUS ROSA-SINENSIS	5 GAL.	15
○	OCTOPUS AGAVE	5 GAL.	15
○	AGAVE VELUTINANA	5 GAL.	15
○	FORTNIGHT LILY	5 GAL.	15
○	ORCHID	5 GAL.	15
<b>GROUND COVER</b>			
○	PURPLE TRAILING LANTANA	1 GAL.	70
○	LANTANA MONTENSIS	1 GAL.	70
○	NEW GOLD LANTANA	1 GAL.	70
○	LANTANA MONTENSIS NEW GOLD	1 GAL.	70
○	ANGUSTA DART	1 GAL.	14
○	TETRANEURIS AGALIS	1 GAL.	14
○	BOLLER	1 GAL.	14
○	2" DEPTH 1/2" MINUS SUNSET GOLD		
○	DECOMPOSED GRANITE TO MATCH EXISTING		
■	LIMIT OF CONSTRUCTION		

I hereby certify that no tree or boulder is designed closer than six (6) feet to the face of public street curb.

Registered Landscape Architect \_\_\_\_\_ Date \_\_\_\_\_

### Landscape Site Data

Total Site Area	26,370 S.F.	0.6 Acres
Total Building Area	5,720 S.F.	25% of Total Site Area
Total Landscape Area	11,070 S.F.	42% of Total Site Area
Total Parking Area	N/A S.F.	N/A% of Total Site Area
Landscape in Parking Area	N/A S.F.	N/A% of Total Site Area
Total Turf Area	0 S.F.	0% of Total Landscape Area
Shrubs/Groundcovers	XXXX S.F.	XX% of Total Landscape Area
Inorganic/Granite	11,070 S.F.	100% of Total Landscape Area

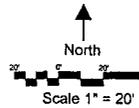
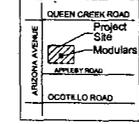
#### Landscape Notes

- Landscape areas are defined as all non paved areas disturbed by construction. Slight variations may exist between actual site conditions and drawings. Contractor shall adjust planting layout as required to maintain plant quantities and design intent. For areas over 50 s.f. contact landscape architect for revision to plant layout.
- The contractor shall not substitute any plant (in species, variety, or cultivar) for any plant that is specified in the legend. If availability is a problem, the contractor shall contact the Owner and the landscape architect to discuss acceptable options.
- Coordinate all necessary excavation areas with Owner's representative.
- Landscape contractor is responsible for all landscape sleeving. Coordinate installation with general contractor. Verify any existing sleeves installed by other contractors.
- Irrigation and electrical sleeves to be Schedule 40 PVC. All sleeves to extend 6" beyond concrete structures. Allow at least 4" - 6" from end of sleeves to first fitting on irrigation lines. All sleeves to be 24" below grade and/or as per project details.
- Common sleeves may be used for lateral lines and mainlines. Contractor is responsible for adequate size sleeves so all pipes move freely within the sleeve. Contractor to "As Built" all sleeve sizes and locations.
- Mark back of existing and new curbs at sleeve locations by notching new concrete with 3/4" notch or placing re-bar vertical so top of bar is 6" below finish grade.
- Finish grade (grade(s) noted on the landscape details to be field verified) approved and modified as per architectural civil drawings.
- Granular top dressing shall extend under shrubs and be raked uniformly along curbs, sidewalks and walks at a consistent depth as specified by details.
- Landscape contractor to contact the Owner's representative before each application of pre-emergent for verification. Minimum 2 applications are required, one just before spreading (e.g. after sub-grade has been approved) and one after (e.g. has been fine raked and leveled). Applications shall be thoroughly watered in. The first application shall be watered in prior to spreading (e.g. Surflan or equal shall be used. Chemicals shall be applied in strict conformance to the manufacturer's instructions, including watering in and avoiding staining of adjacent hardscapes.
- If adjacent hardscape including all paving, sidewalks, buildings, curbs, walls, fences, or other site materials are stained by pre-emergent application or by wheel marks of any kind, the landscape contractor shall be responsible to remove all residue and discoloration prior to the final walk through.
- Refer to specifications for additional requirements not shown on drawings.
- The Landscape Contractor shall be responsible for the proper care and handling of trees and plants for delivery and placement in planting pit. Trees that are dropped from trucks or dropped into pits shall be rejected for replacement by the landscape contractor. If rootballs fall apart during the planting operation the plant shall not be planted. New plant materials shall be provided to replace those that rootballs fall apart.
- Plant containers shall be cut or remove rootballs that are tight in the container. The contractor shall not remove the plant from the container by the trunk.
- The Landscape Contractor shall water the trees and shrubs for one year from the date of final project acceptance by Owner.

#### City of Chandler Notes

- All plant material are guaranteed for minimum period of 90 days from the date of final approval by the City. Any plant materials, which are not approved by the City prior to October 1st of the calendar year in which they are installed, shall be further guaranteed until May 20th of the following calendar year.
- Trees, shrubs, vines, groundcover, and turf which have been replaced under terms of the guarantee, shall be guaranteed for an additional 90 days from the date of replacement.
- All plant materials must be maintained in health and vigor and be allowed to attain natural size and shape in accordance with the originally approved landscape plan.
- All site improvements, including landscape and site cleanup must be completed prior to a Certificate of Occupancy being issued for any building within a phase.
- All trees shall comply with the latest amended edition of the "Arizona Nursery Association Recommended Tree Specifications". See Section 1903(B)(a), Zoning Code.
- Planting lot trees must have a minimum clear canopy distance of 5'.
- Finish grade of landscape areas (top of turf or GCI) must be graded to 1-1/2" below concrete or other paved surfaces. See Section 1903(B)(c)(11), Zoning Code.
- Trees must be placed a minimum of 5' from sidewalks, public accessways. Shrubs must be, at minimum, 3' from all sides of fire hydrants. See Section 1902(B)(11), Zoning Code.
- There shall be no obstruction of site signage by landscape plant material, and that such must be relocated/connected before the field inspection will accept/sign the sign in the field or issue a certificate of occupancy for a project.
- All landscaping shall be maintained by the landowner or lessor. See Section 1903(B)(g), Zoning Code.

#### Vicinity Map



**Wright & Associates**  
Landscape Architects

Project: **PHASE II - M**

Site: **Modulars**

3405 SOUTH ARIZONA AVENUE  
CHANDLER, AZ 85248  
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**PROPOSED LANDSCAPE PLAN FOR MODULAR BUILDINGS**

**FIRST BAPTIST CHURCH CHANDLER**

date: 08-05-08  
drawn by: CM  
checked by: JLM  
sketch name: PRELIMINARY LANDSCAPE PLAN  
plot no.

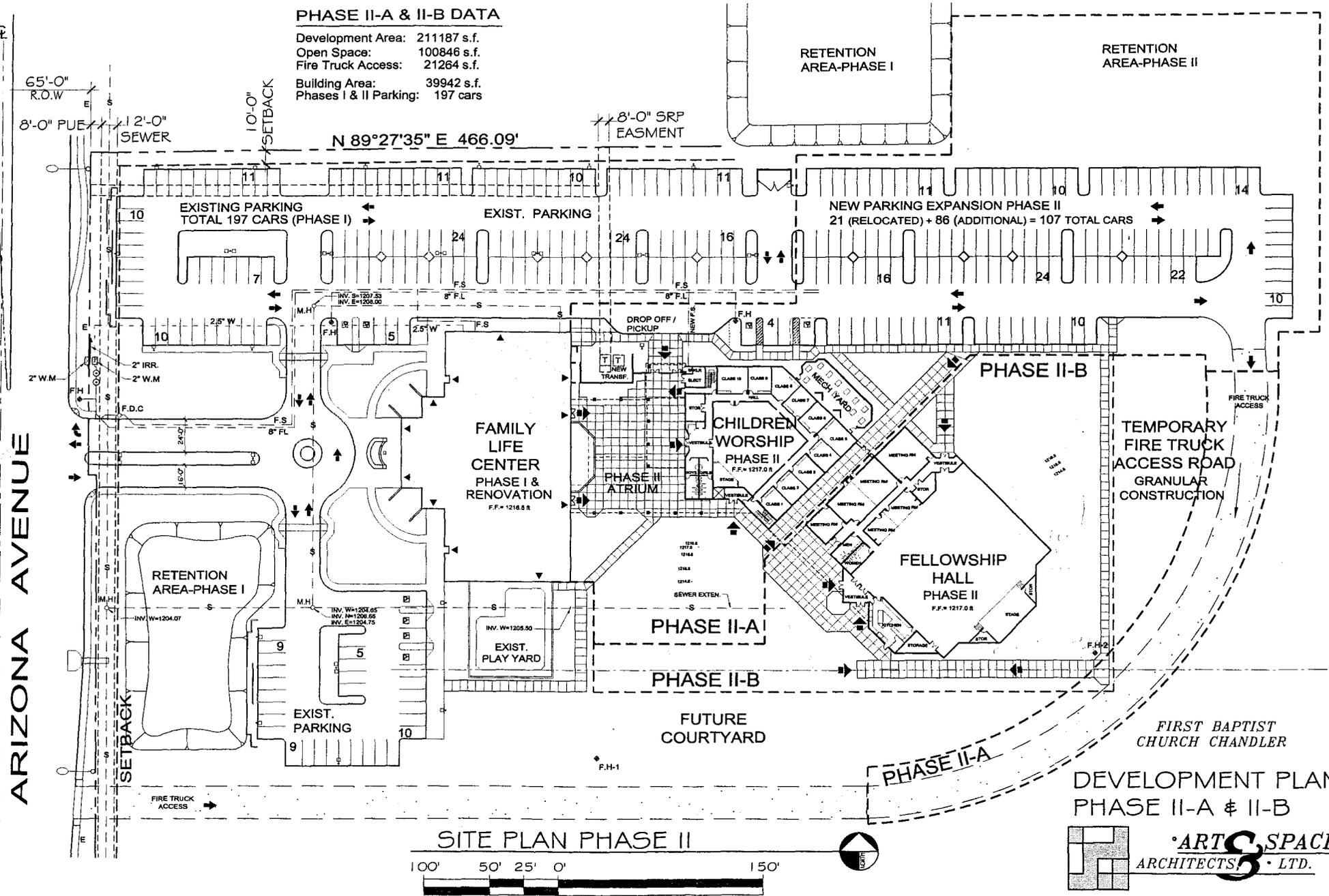
1 \_\_\_\_\_  
2 \_\_\_\_\_  
3 \_\_\_\_\_  
4 \_\_\_\_\_  
5 \_\_\_\_\_

**LS-1**

PHASE II-M LANDSCAPE PLAN

**PHASE II-A & II-B DATA**

Development Area: 211187 s.f.  
 Open Space: 100846 s.f.  
 Fire Truck Access: 21264 s.f.  
 Building Area: 39942 s.f.  
 Phases I & II Parking: 197 cars



**SITE PLAN PHASE II**

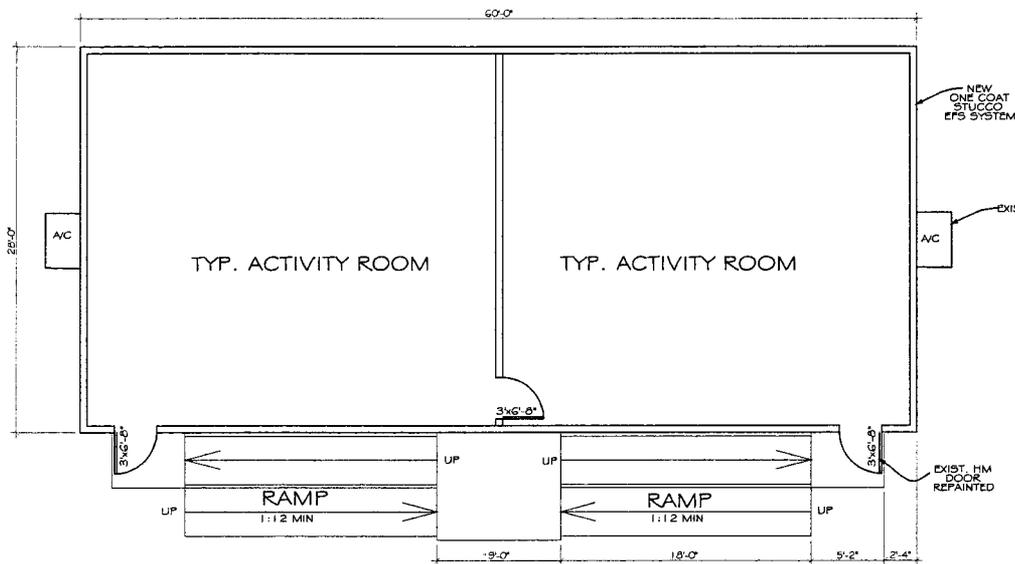


**ART & SPACE ARCHITECTS LTD.**

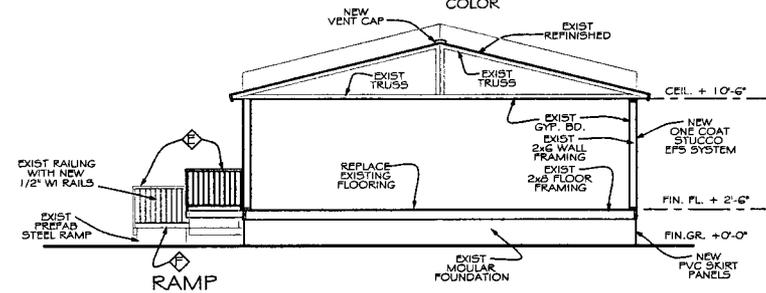
**DEVELOPMENT PLAN PHASE II-A & II-B**

FIRST BAPTIST CHURCH CHANDLER

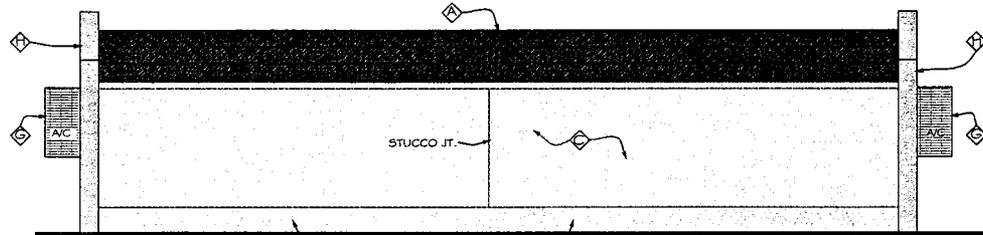
PHASE II-A AND II-B SITE PLAN



TYP. FLOOR PLAN: MODULAR  
SCALE: 1/4" = 1'-0"



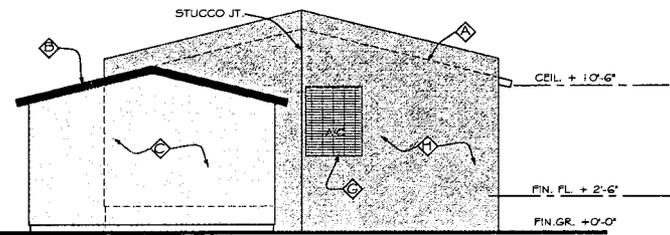
TYP. MODULAR SECTION  
SCALE: 1/4" = 1'-0"



NOTE: THIS CAN MATCH END WALL COLOR

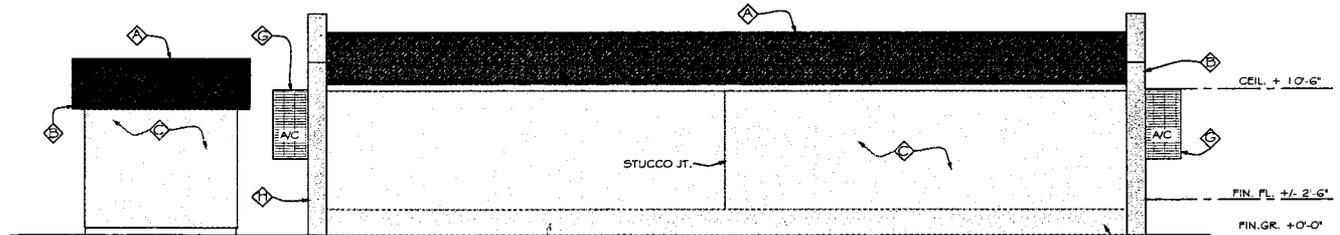
TYP. MODULAR BLDG.

WEST ELEVATION : ARIZONA AVE.  
SCALE: 1/4" = 1'-0"



NEW WASHROOMS

MODULAR BLDG.



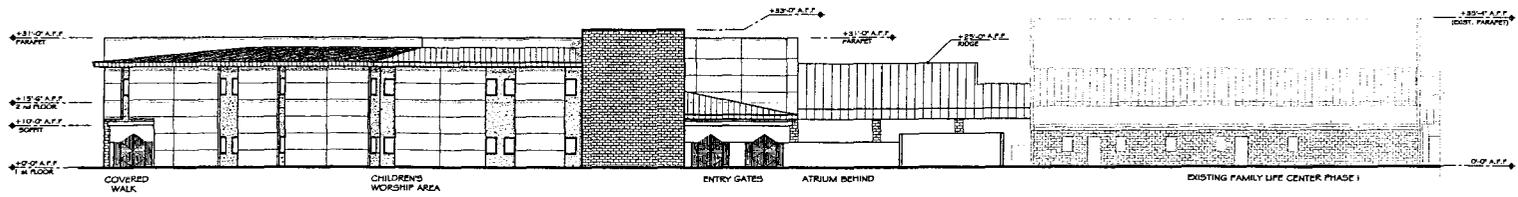
SOUTH ELEVATION: TYP. SIDE  
SCALE: 1/4" = 1'-0"

NOTE: THIS CAN MATCH END WALL COLOR

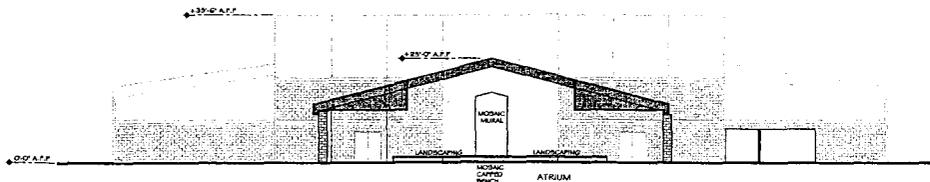
EXTERIOR COLOR SCHEDULE

- A. ASPHALT SHINGLES: CLASSIC MID-GREY WITH APPLIED COATING DEA 147 (TO MATCH METAL ROOFING)
- B. METAL ROOFING & FASCIA: DEA 147 GARNET EVENING
- C. PAINTED STUCCO: TO MATCH PHASE I STUCCO COLOR DE6092 ANCIENT SCROLL
- D. SKIRT PANELING: DE6092 ANCIENT SCROLL
- E. PAINTED MTL. RAILING: BLACK ENAMEL
- F. PAINTED RAMP: BLACK ENAMEL
- G. PAINTED A/C SCREEN: DE6094 CANYON DUSK
- H. PAINTED STUCCO: TO MATCH PHASE I COLOR DE6094 CANYON DUSK

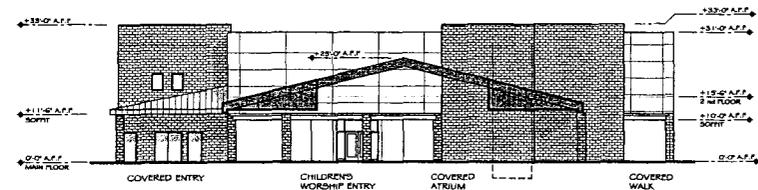
	<p>ART &amp; SPACE ARCHITECTS LTD.</p> <p>(480) 949-0204 ☐ ☐ ☐ FAX: (480) 949-9690 7534 East First St, Ste. 100 Scottsdale, Arizona 85251</p>	



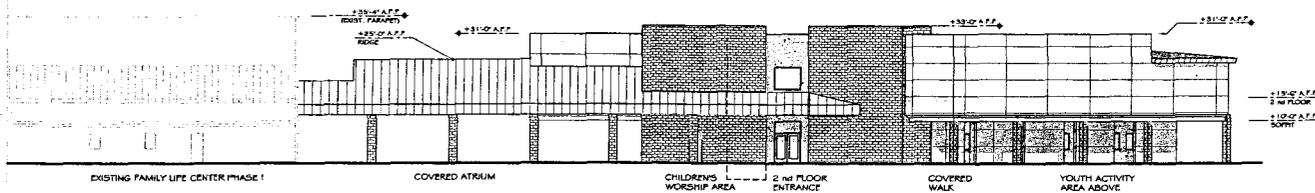
**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**EAST ELEVATION @ EXISTING BUILDING**  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

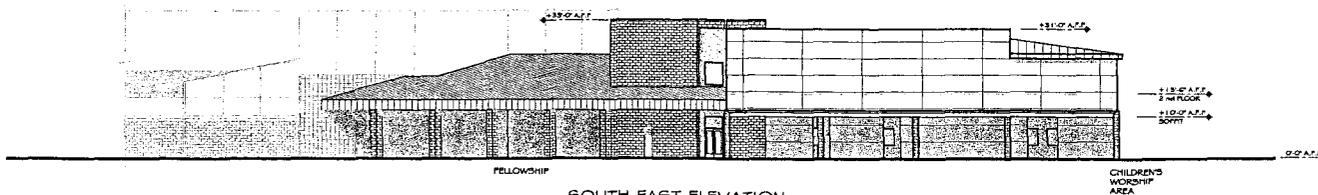


**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

**MATERIALS LEGEND**

- STAINED CMU
- LIGHT SAND STUCCO FINISH
- HEAVY ORANGE PEEL STUCCO FINISH
- STANDING SEAM METAL ROOFING
- W.I. PencoGates
- ALUMINUM DOOR/WINDOW FRAME

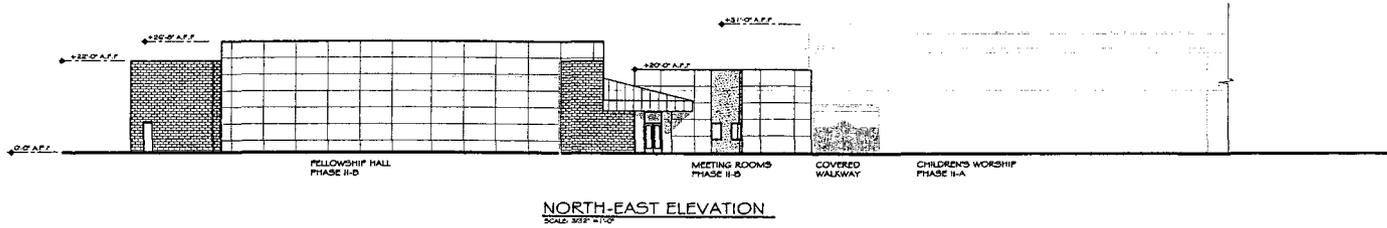
**PHASE II-A  
EXTERIOR ELEVATIONS**



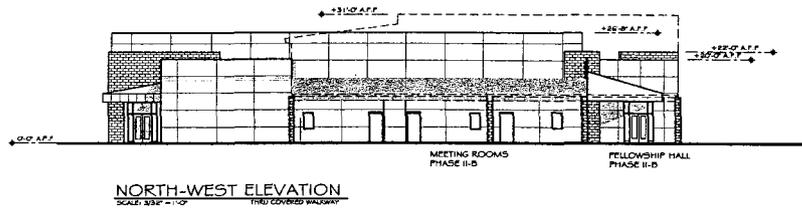
**SOUTH EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

(405) 949-0204      FAX: (405) 949-6800 7534 East First St., Ste. 700      Scottsdale, Arizona 85251	
<b>PROPOSED EXPANSION &amp; REMODEL FOR:</b> <b>FIRST BAPTIST CHURCH</b> <b>CHANDLER</b> 3425 SOUTH ARIZONA AVENUE Chandler, AZ 85248 <small>Design © 2007 by Art &amp; Space Architects, LLC</small>	
date: 05-21-08 drawn by: _____ checked by: _____ drawing name: PHASE II-A MASSING ELEVATIONS job no.: _____	revisions: 1. _____ 2. _____ 3. _____ 4. _____ 5. _____
<div style="border: 2px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> <span style="font-size: 24px; font-weight: bold;">A-5.1</span> </div>	

PHASE II-A ELEVATIONS

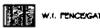
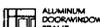


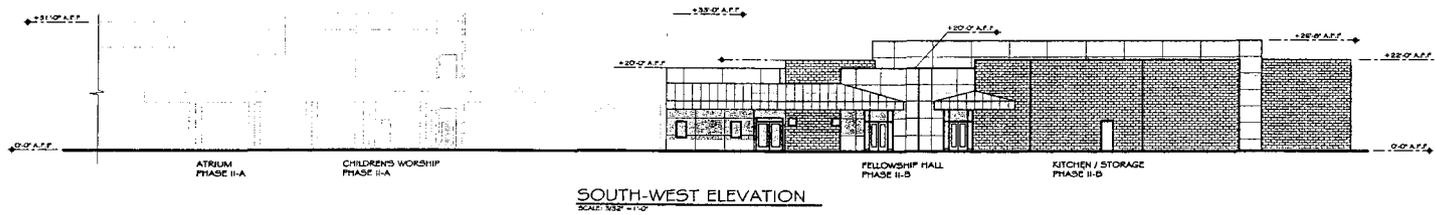
**NORTH-EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTH-WEST ELEVATION**  
SCALE: 3/32" = 1'-0"  
FROM COVERED WALKWAY

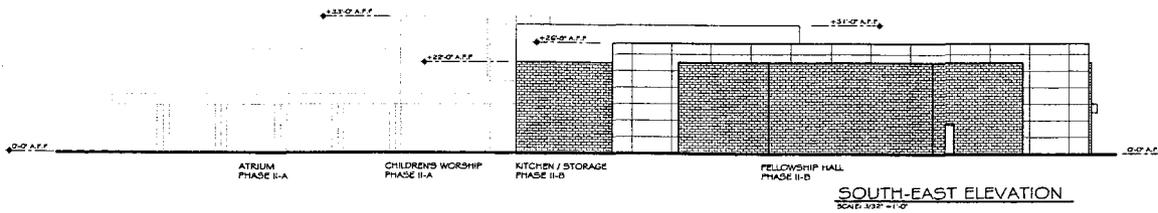
**MATERIALS LEGEND**

-  STAINED CMU
-  STANDING SEAM METAL ROOFING
-  LIGHT SAND STUCCO FINISH
-  W.I. FENCIGATES
-  HEAVY ORANGE PEEL STUCCO FINISH
-  ALUMINUM DOOR/WINDOW FRAME



**SOUTH-WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

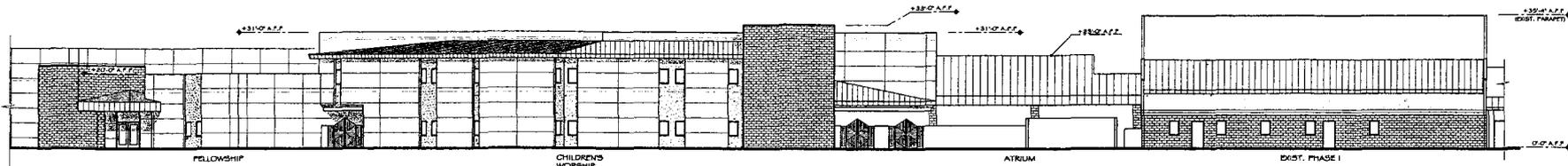
**PHASE II-B  
EXTERIOR ELEVATIONS**



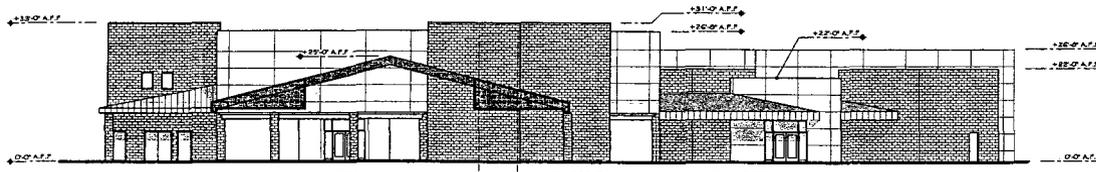
**SOUTH-EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

 (480) 948-0204 FAX: (480) 948-6480 7534 East Pinal St. Ste. 100 Scottsdale, Arizona 85251													
PROPOSED EXPANSION & REMODEL FOR: <b>FIRST BAPTIST CHURCH          CHANDLER</b> 3405 SOUTH ARIZONA AVENUE CHANDLER, AZ 85248 <small>Copyright © 2007 by ARTS SPACES ARCHITECTS, LTD.</small>													
Date: 05/21/08 Drawn by: 1 Checked by: 2 Working name: PHASE II-B MASSING ELEVATIONS Job no.:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"> <b>KITCHEN / STORAGE PHASE II-B</b> </td> <td style="width: 50%; text-align: center;"> <div style="font-size: 2em; border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;">A-5.2</div> </td> </tr> <tr> <td style="text-align: center;">1</td> <td></td> </tr> <tr> <td style="text-align: center;">2</td> <td></td> </tr> <tr> <td style="text-align: center;">3</td> <td></td> </tr> <tr> <td style="text-align: center;">4</td> <td></td> </tr> <tr> <td style="text-align: center;">5</td> <td></td> </tr> </table>	<b>KITCHEN / STORAGE PHASE II-B</b>	<div style="font-size: 2em; border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;">A-5.2</div>	1		2		3		4		5	
<b>KITCHEN / STORAGE PHASE II-B</b>	<div style="font-size: 2em; border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;">A-5.2</div>												
1													
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3													
4													
5													

PHASE II-B ELEVATIONS



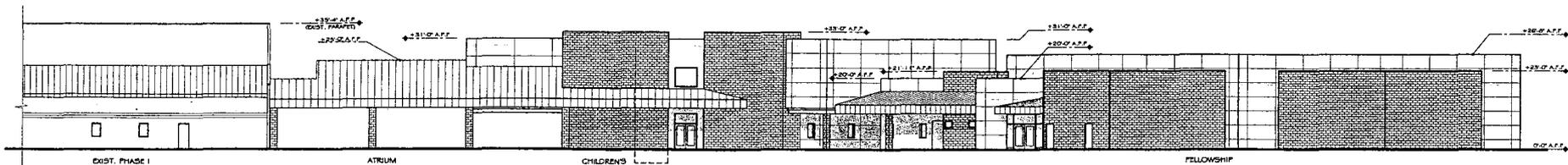
**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



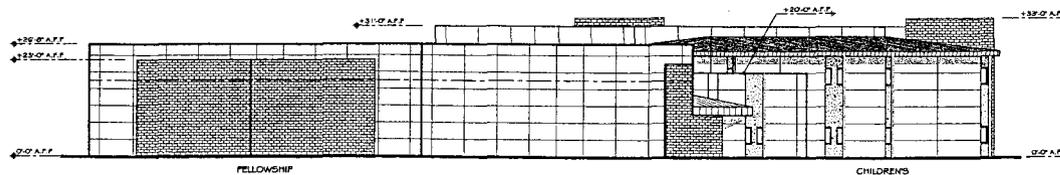
**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

**MATERIALS LEGEND**

- |                                 |                             |
|---------------------------------|-----------------------------|
| STAINED OAK                     | STANDING SEAM METAL ROOFING |
| LIGHT SAND STUCCO FINISH        | W.I. FENCES/GATES           |
| HEAVY ORANGE PEEL STUCCO FINISH | ALUMINUM DOOR/WINDOW FRAME  |



**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

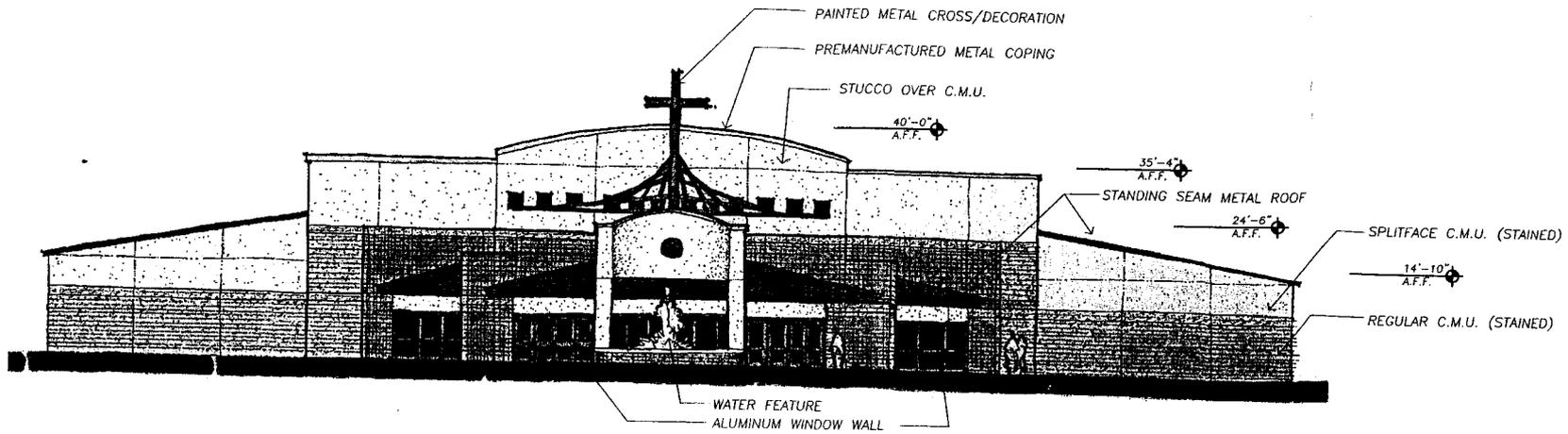


**EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

**PHASE II  
EXTERIOR ELEVATIONS**

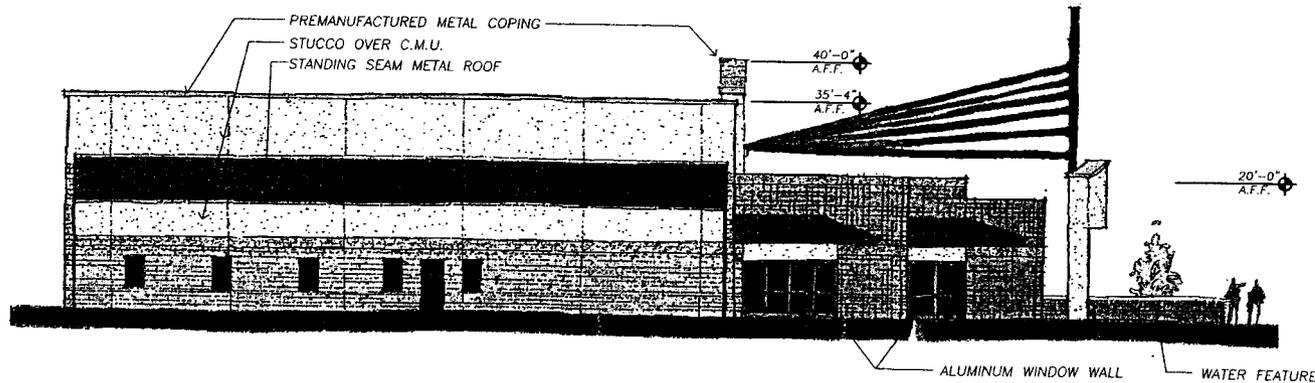
(480) 949-0204    FAX: (480) 949-8800 733 East Park St, Ste. 100    Scottsdale, Arizona 85255	
<b>PROPOSED EXPANSION &amp; REMODEL FOR:</b> <b>FIRST BAPTIST CHURCH CHANDLER</b> 3405 SOUTH ARIZONA AVENUE Chandler, AZ 85248 <small>Copyright © 2007 by Art &amp; Spacs - Architects, Ltd.</small>	
date: 05-21-08 drawn by: _____ checked by: _____ drawing name: MASSING ELEVATIONS job no.: _____	revisions: 1 _____ 2 _____ 3 _____ 4 _____ 5 _____
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> <span style="font-size: 24px; font-weight: bold;">A-5</span> </div>	

PHASE II ELEVATIONS



EXTERIOR ELEVATION - WEST (MAIN ENTRY)

SCALE: 1/16" = 1'-0"

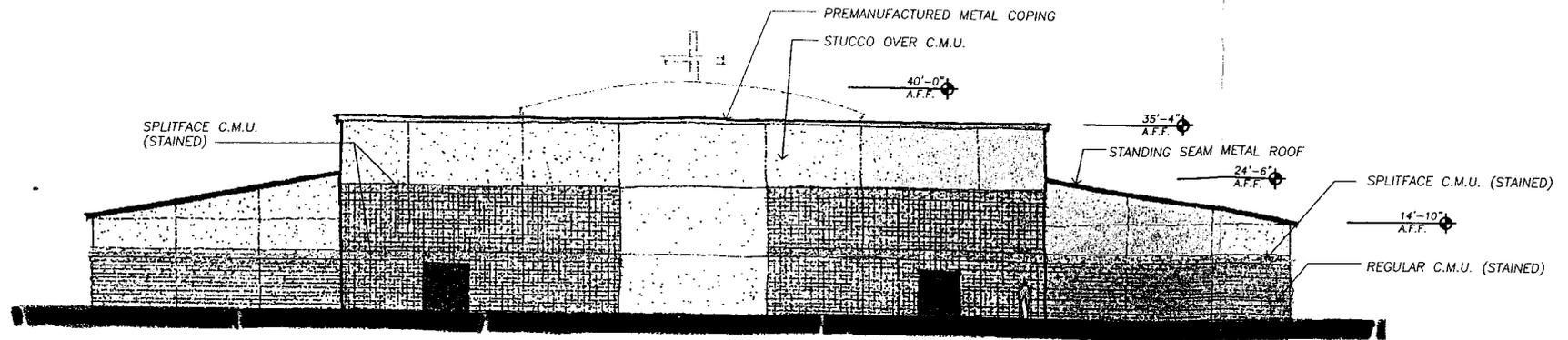


EXTERIOR ELEVATION - NORTH

SCALE: 1/16" = 1'-0"

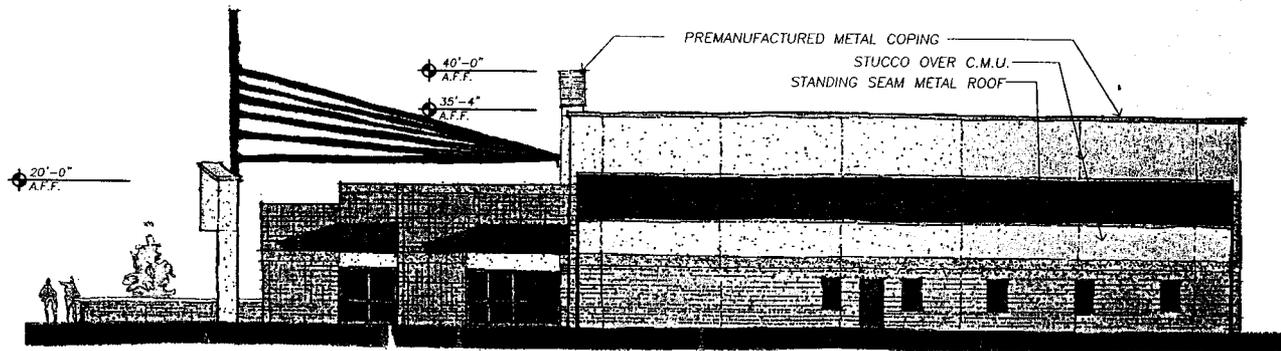
FIRST BAPTIST CHURCH CHANDLER  
EXTERIOR ELEVATIONS

**GDA**  
ARCHITECTS, LLC  
659 W. Gilbert Road  
Suite C-208  
Gilbert, AZ 85234-4123  
Tel: (480) 539-8800  
Fax: (480) 539-8808



EXTERIOR ELEVATION - EAST

SCALE: 1/16" = 1'-0"



EXTERIOR ELEVATION - SOUTH

SCALE: 1/16" = 1'-0"

FIRST BAPTIST CHURCH CHANDLER  
**EXTERIOR  
 ELEVATIONS**



ARCHITECTS, LLC  
 425 W. Grand Road  
 Suite C-205  
 Birmingham, AL 35204-4737  
 Tel: (404) 338-9929  
 Fax: (404) 338-1608

PHASE I FAMILY LIFE CENTER BUILDING ELEVATIONS

**ORDINANCE NO. 3535**

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM COUNTY RURAL-43 AND COUNTY IND-2 TO INITIAL CITY ZONING PLANNED AREA DEVELOPMENT (PAD) (DVR03-0032 FIRST BAPTIST CHURCH CHANDLER) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

SEE ATTACHMENT 'A'

Said parcel is hereby rezoned from County Rural-43 and Country Ind-2 to Initial City Zoning PAD, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "First Baptist Church Chandler" kept on file in the City of Chandler Planning Services Division, in File No. DVR03-0032, except as modified by condition herein.
2. Right-of-way dedications to achieve full half width, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan. This includes but is not limited to Arizona Avenue and Appleby Road. A future quarter mile collector street shall be provided at the northern boundary of the site, subject to approval by the Public Works Director based on future development coordination with adjacent properties.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.

4. The developer shall be required to install landscaping in the arterial street median adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
5. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
6. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls.
7. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials. L.E.D messages can be changed no more frequently than once every fifteen (15) seconds. Animation, scrolling, or flashing of messages is prohibited.
8. Undergrounding of all overhead electric (under 69KV), communications and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements in accordance with City adopted design and engineering standards.
9. The source of water that shall be used on the open space, common areas, and landscape tracts shall be reclaimed water (effluent). If reclaimed water is not available at the time of construction, and the total landscapable area is 10 acres in size or greater, these areas will be irrigated and supplied with water, other than surface water from any irrigation district, by the owner of the development through sources consistent with the laws of the State of Arizona and the rules and regulations of the Arizona Department of Water Resources. If the total landscapable area is less than 10 acres in size, the open space common areas, and landscape tracts may be irrigated and supplied with water by or through the use of potable water provided by the City of Chandler or any other source that will not otherwise interfere with, impede, diminish, reduce, limit or otherwise adversely affect the City of Chandler's municipal water service area nor shall such provision of water cause a credit or charge to be made against the City of Chandler's gallons per capita per day (GPCD) allotment or allocation. However, when the City of Chandler has effluent of sufficient quantity and quality which meets the requirements of the Arizona Department of Environmental Quality for the purposes intended available to the property to support the open space, common areas, and landscape tracts available, Chandler effluent shall be used to irrigate these areas. In the event the owner sells or otherwise transfers the development to another person or entity, the owner will also sell or transfer to the buyer of the development, at the buyer's option, the water rights and permits then applicable to the development. The limitation that the water for the development is to be owner-provided and the restriction provided for in the preceding sentence shall be stated on the final plat governing the development, so as to provide notice to any future

owners. The Public Report, Purchase Contracts, and Final Plats shall include a disclosure statement outlining that the First Baptist Church Chandler development shall use treated effluent to maintain open space, common areas, and landscape tracts.

10. The following stipulations shall be the responsibilities of the developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
  - a) The developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
  - b) All buildings shall be designed and built with noise attenuation construction to achieve an interior noise level of 45 decibels for a single event from an aircraft. A registered engineer shall certify that the project is in conformance with this condition.
  - c) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

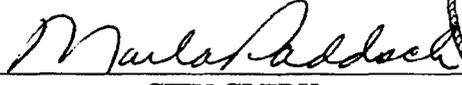
“This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler.”
11. The undeveloped portion of the property shall be maintained in a weed free manner.
12. Traffic Study shall be submitted and approved by Public Works Director at the time of subsequent Preliminary Development Plan submittal.
13. Staff shall review the intensity of lighting on the L.E.D change panel sign in comparison to the Hamilton High School illumination standards before Certificate of Occupancy is issued.
14. The Church’s secondary driveway on Arizona Avenue be reconfigured in a manner substantially similar to the Church’s attached draft sketch (locating the Church’s northern driveway approximately 60 feet south of the Church’s north property line) pending final confirmation of site details.
15. The attached February 9, 2004 letter from First Baptist Church Chandler, acknowledging the Church’s knowledge of the locations of the Chandler Municipal Airport and the Church’s non-objection to the Airport and its associated traffic and noise, shall be kept in the City’s public file of the Church’s property (File No. DVR03-0032).

SECTION II. Except where provided, nothing contained herein shall be construed to be and abridgment of any other ordinance of the City of Chandler.

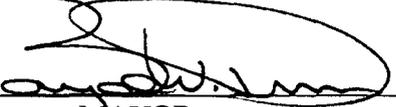
SECTION III. The Planning & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this 11<sup>th</sup> day of March 2004.

ATTEST:

  
CITY CLERK



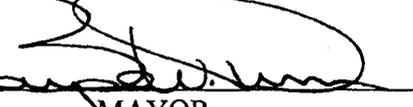
  
MAYOR

PASSED AND ADOPTED by the City Council this 25<sup>th</sup> day of March 2004.

ATTEST:

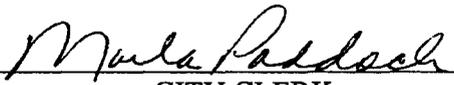
  
CITY CLERK



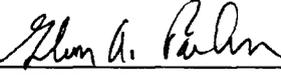
  
MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Ordinance No. 3535 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the 25<sup>th</sup> day of March 2004, and that a quorum was present thereat.

  
CITY CLERK

APPROVED AS TO FORM:

  
CITY ATTORNEY

PUBLISHED in the Tribune on March 31 & April 7, 2004

## EXHIBIT "A"

### CHANDLER FIRST BAPTIST CHURCH

#### GROSS BOUNDARY

That portion of the Southwest quarter of the Northwest quarter of Section 15, Township 2 South, Range 5 East of the Gila and Salt River Meridian, Maricopa County, Arizona, described as follows:

**BEGINNING** at the West quarter of said Section 15 from which the Northwest corner of said Section 15 bears North 00°00'00" East 2644.39 feet;

thence North 00°00'00" East 885.04 feet along the West line of said Section 15;

thence North 89°27'35" East 531.09 feet parallel with and 885.00 feet North of the South line of said Section 15;

thence North 00°00'00" East 437.48 feet parallel with the West line of said Section 15 to a point that lies on the North line of said Southwest quarter of the Northwest quarter of said Section 15;

thence North 89°25'32" East 784.64 feet along said North line to the Northeast corner of said Southwest quarter of the Northwest quarter of said Section 15;

thence South 00°04'15" East 1322.97 feet along the East line of said Southwest quarter of the Northwest quarter to the Southeast corner of said Southwest quarter of the Northwest quarter of said Section 15;

thence South 89°27'35" West 1317.36 feet along the South line of said Section 15 to the **POINT OF BEGINNING.**

Containing 1,508,926 square feet (34.640 Acres), more or less.

Signature Valid

Digitally signed by Jim Crume  
Date: 2003.06.19 09:05:09 -07'00'  
Reason: Certified Document  
Location: Arizona P.L.S..19817

VeriSign

*"Digitally signed per A.R.S. 41-132"*

## **I. INTRODUCTION:**

First Baptist Church Chandler (FBCC) was founded in 1913, the same year as the City of Chandler. FBCC is currently using the Family Life Center, Phase I for worship, administration, religious educations, and other religious functions; located on approximately 35+/- gross<sup>1</sup> acres at the northeast corner of Arizona Avenue and Appleby Road (the "Site").

The site is currently zoned PAD allowing for churches and related uses. The present facilities are in need of expansion to meet the population growth and the numerous ministries, which FBCC operates. The following narrative and exhibits summarize FBCC's requested Preliminary Development Plan ("PDP") for Phase II of the Site.

## **II. FBCC'S HISTORY:**

FBCC was founded on December 12, 1913; just 22 months after Arizona became a state and the same year the City was founded. Its initial location was on a lot on Dakota Street donated by Dr. A. J. Chandler. FBCC has grown with the City and has provided church facilities at various locations in Chandler for 90 years. Prior to its temporary locations at Chandler High, then Hamilton High, FBCC recent location of over 20 years was on Ray Road near Alma School Road. In 1999, upon observing the growth patterns of the City of Chandler, FBCC determined to relocate from the Ray Road location and purchased the 35-acre property at Arizona Avenue and Appleby Road. In 2004, the site was approved by the City of Chandler, Phase I was constructed and the Family Life Center was occupied in 2006. Additional information about FBCC's history and community involvement is provided in Exhibit 4<sup>2</sup>

## **III. THE SITE:**

The site consists of 35+/- gross acres located at the northeast corner of Arizona Avenue and Appleby Road. An aerial view is provided as a Vicinity Map and is set forth as Exhibit 1. The Site is currently occupied by the development of Phase I, the Family Life Center. There are agricultural and single family residential uses in the surrounding area and Hamilton High School is located southwest of the Site, Exhibit 2 Concept Plan. The Site is located entirely within the City's Planning and Service Areas.

The Site is located at the northeast corner of Arizona Avenue and Appleby Road. The northern boundary of the Site is a quarter mile south of Queen Creek Road. The southern boundary of the Site is a half-mile north of Ocotillo Road. The Site has direct access to/from Arizona Avenue, a major arterial. Regional transportation is provided by the Price Freeway, the Superstition Freeway, State Route 87 (Arizona Avenue), and the existing Santan Freeway.

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<sup>1</sup> The site is 34.64 +/- gross acres/32.37 +/- net acres. Gross acres are calculated to the centerline of abutting rights-of way.

<sup>2</sup> Exhibit 1 is set forth at Tab 1; Exhibit 2 is set forth at Tab 2; etc.

#### **IV. EXISTING ZONING:**

The existing Site was originally zoned Rural-43 and Ind-2 as part of Maricopa County. The Site was annexed into the City of Chandler and subsequently rezoned P.A.D. (Planned Area Development) for church and related uses in 2004 under City of Chandler Ordinance No. 3535 and meeting all stipulated conditions in conjunction with approval by the City, including, but not limited to Reclaimed Water Use Agreement, Avigation Easement, Sewer Line Easement and Public Utilities Easement. Exhibit 3 shows the Site and adjacent zoning.

#### **V. PROPOSED PDP: PHASE II:**

In Phase I, FBCC presented an Overall Campus Plan and indicated usage, which included: worship, religious education for all ages, fellowship, indoor and outdoor recreational activities, and church offices; set in an open and well-landscaped environment.

In the Overall Campus Master Plan Exhibit 5, FBCC continues with the intent of the Overall Campus Plan by leaving intact site development along Arizona Avenue with the tree lined driveway entrance. Further, the Phase I orientation, as well as, the façade of the Family Life Center remains unchanged.

The orientation of Phase II facilities is toward the proposed courtyard development, which will be partially implemented in Phase II and the future phases will complete when those facilities are developed.

The landscape plan for Phase II Exhibit 6 illustrates the orientation of the buildings and eastern part of the site development, plus the commencement of the Courtyard development.

In the future phases for a new worship center, administration and ministry offices, the orientation would be toward the south and east with primary entrances off of Appleby Road, with its improvement for both offsite and onsite.

In Phase I, FBCC entered into an agreement for the City of Chandler Municipal Airport/FAA coordination. It is acknowledged that the FAA approval is required prior to Civil Plan approval.

#### **VI. FBCC PHASE II DEVELOPMENT PLANS:**

##### **A. PHASE II SITE PLAN:**

As noted in the Phase I PDP narrative, the Site was previously flat farmland with no constraint for development. The Phase I Plan has determined both vehicular and pedestrian access. With the location of Phase I development at the northwest corner of the Site, the Phase II development is to the east and is proposed to be implemented in three distinct stages.

The first stage, Phase II-M, Exhibit 7, consist of locating temporary modular units on site. The modular units' purpose is to remove from the Family Life Center those religious activities known as bible study for both adults and children. It is anticipated that the temporary facilities will be required for approximately two years while Phase II-A is designed and constructed. Thus, the temporary classrooms within the main Worship space can be removed enabling the space to be increased from approximately 550 to a proposed 800 people. All other Family Life Center areas would remain unchanged. During Phase II-M, the fire truck access lane and turn-around would be built to serve the modular units.

The second stage, Phase II-A, Exhibit 8, would be a two-storey building known as Children's Worship and atrium to facilitate the K-6 grade children with both groups activity areas and 10 individual classrooms of 500 sq. ft. The covered atrium would serve as a secondary entrance to the Worship area as well as an outdoor gathering areas for adults and children. The second storey would house both the Choir/Music rehearsal areas and the 7-12 grade youth with both a group activity area and 7 classrooms of approximately 700 sq. ft. each. At this stage the parking lot would be expanded and the fire truck access lane would be completed.

The final stage, Phase II-B, Exhibit 8, would be the one level Fellowship Hall for 600 people, a commercial type kitchen and a 7 meeting rooms of 600-800 sq. ft. each.

In general, the implementation of the three stages over the next ten years is subject to fund-raising through donations to the Church, plus the growth of the congregation and the needs of the community. The anticipated schedule for the next three stages is: Phase II-M 2009, Phase II-A 2011-2012, and Phase II-B 2017-2018.

Each of the proposed facilities would contain the necessary washrooms and services to meet the City of Chandler requirements. Also, each facility would be landscaped to culminate in the overall landscape concept.

The pedestrian circulation for Phase II has been designed to provide easy accessibility from the parking areas to the new facilities as well as the Family Life Center. Subsequently, it is intended that the landscape will abut the central courtyard and allow pedestrian movement to the future facilities.

## B. PHASE II ARCHITECTURAL CHARACTER:

The conceptual perspectives set forth in Exhibit 9, portray a north entry view and a courtside view. The first depicts the principal entry into the metal roofed atrium of the outdoor gathering space and secondary entry into the Family Life Center worship area. The second illustrates the entrances for the Children, Youth and Fellowship from the courtyard through which the future phase will be visually and functionally accessed. The sketches show the character of Phase II architecture. Likewise, the exterior elevations, Exhibit 10, shows the relationship with Phase I, Family Life Center, and how the colour and materials, Exhibit 11, between Phase I and Phase II relate in a compatible manner.

The Phase II architectural design is intended to be a secondary facility to the Family Life Center as it is the worship space. The Family Life Center is to remain the central focus of FBCC's development until a future Worship Center is built. The assumption is that Phase II will serve as counterpoint to the formal symmetry of Phase I. There intends to be less glass in Phase II and no central focus. Rather, functional outdoor spaces lead into the various facilities in a pragmatic manner by way of covered walkways from both the parking areas and from the future phases. The atrium and covered entries are sloped metal roofs matching the existing in colour and style, maintaining the overall unifying effect for Phase II with Phase I.

It is intended to provide the covered Atrium with a significantly enhanced Courtyard paving using several textures and colours to meet the City's requirements for an "Art Feature." In addition, to the focus on the paving, planter seating is planned to provide a true gathering place for the congregation.

The overall architectural character for the development recognizes and responds to the special environment we live in by:

1. Acknowledging climate solar considerations
2. Utilizing natural light as much as possible
3. Using vertical scale for contrast and importance
4. Choosing appropriate materials
5. Utilizing landscape materials to provide continuity and aesthetics
6. Building a positive identity through sense of place and architecture

The overall roofline carries a variety of parapet conditions augmenting the horizontal and vertical elements. Mechanical roof equipment will be appropriately screened via parapets constructed at the same height or higher than the roof mounted equipment. Any ground mounted equipment will be enclosed and/or appropriately screened with related architectural and landscape elements.

Phase II will have a simplified exterior façade using stained masonry and textured stucco with punched window openings organized in a uniform manner. Rather than mirroring the Family Life Center, the exterior materials will be massed uniformly allowing the metal roofing to provide accent and focus. The façade of Phase II is to be a background for the Worship Center and to be without undue accents.

The colour palette has been established in Phase I based on Southwest principles. Phase II will utilize this palette by using the same colour for the metal roofing and stucco walls, which will match the Family Life Center masonry base wall, colour. Accent colour will be used at the window panels in Phase II to match the existing stucco colour in Phase I. The new masonry walls will be stained a darker tone of the wall colour to provide articulation in the façade. Likewise, the parapet masonry height will vary from the uniformity of the stucco parapets. The stucco facades will be divided into panels by accent reveal joints.

With respect to the height of Phase II, the roofline will be less than the Family Life Center and have a significantly more varied appearance than the existing worship space. It is not anticipated that building height standards established in the PAD should be modified.

The temporary modular units proposed in Phase II-M, Exhibit 10, are proposed to blend with the Family Life Center for their relatively short duration on the Site. The gable ends are to have a parapet to match the north and south "wings" of the Family Life Center. The roofing is to be coloured a matching red. The walls are to have two colours matching the existing wall colours. The ancillary building is to have a matching metal roof and single wall colour. Thus, the modular installation remains compatible without being visually discordant with the Family Life Center.

#### C. PHASE II CONCEPTUAL LANDSCAPE PLAN:

The landscape plan for Phase II is presented in Exhibit 6 and the landscape plan for the temporary modular units in Exhibit 7. The landscape theme is semi-arid, utilizing predominantly drought tolerant plant materials. The sources of water will be both potable and treated effluent water.

The landscape concept for this Phase utilizes the major tree planting to define the major pedestrian circulation and provide shade canopies throughout. Likewise, parking lot trees will provide shade and a visual continuity of the landscape. Palms have been avoided so that their emphasis at the main site entrance remains.

Along with the trees, the shrubs and groundcovers are used to define pathways and provide seasonal colour. Moderate use of grass is used to provide outdoor areas for activities to augment the landscape hardscape. The over all landscape theme is to utilize low water usage, drought tolerant plant materials appropriate to their space and growing condition to insure minimum maintenance.

It should be noted that the landscaping associated with the temporary modular units have been designed to fit in the overall landscape concept with minimal transplanting required when the units are removed.

#### D. PHASE II CIRCULATION, TRAFFIC AND PARKING:

Vehicular access to the Site has been built in Phase I at the quarter mile point from Arizona Avenue and Appleby road. The main vehicular access from Arizona Avenue adequately serves the congregation entry to and egress from the site and one divided driveway along with the deceleration and turning lanes allows for easy vehicular movement.

In Phase II, the existing parking area is increased from the existing 197 cars to a total of 283 cars, which exceeds the parking requirements of the City of Chandler. The Phase II parking area is an extension of the existing parking in Phase I to the east and maintains the same circulation pattern and landscaping standards. As proposed in Phase I, temporary overflow and special events parking (e.g. Christmas, Easter, etc.), is contemplated on the adjacent area utilizing appropriate weather, dustproof surface material and will not be paved.

Limited recreational vehicle (RV) parking may be permitted. Any RV parking will not exceed a continuous period of one week for any person attending or participating in some Church related activity. The RV parking will be located in the area for temporary or overflow parking only. Since the RV parking will occur very infrequently there are no hook-ups or amenities for the RV parking.

In Phase II, the significant addition to vehicular circulation is the second means of entry for the fire trucks. In conjunction with City staff a secondary access from Arizona Avenue would be provided, located south of the existing Family Life Center and the proposed Phase II facilities. This roadway is to be dedicated to only fire trucks access and would be barricaded to the public. The roadway would be constructed to Fire Department standards and not paved. The fire truck access lane would be built in two parts. The first would be commenced at Arizona Avenue and terminate in an approved turn-around at the temporary modular units, Exhibit 7. The second part would extend the roadway to the Phase II parking area, Exhibit 10, and thus provide a complete loop around the existing and proposed building. It is intended that the fire truck access lane would be temporary and when the future phases of the development connect to Appleby Road, it would be removed.

It is understood that the transit Services Department shall require a R.O.W. dedication of land along S. Arizona Avenue for a bus shelter and bay. In response to Staff's request, and as is shown on the Overall Campus Plan that is attached as Exhibit 5, FBCC agrees to dedicate additional right-of-way only for a bus shelter and bay along Arizona Avenue approximately 100 feet north of Appleby Road in accordance with City of Chandler Detail C-230. Such dedication of additional right-of-way is conditioned upon the City's concurrence that future construction of the bus shelter and/or bay will be provided by others and that such construction is not the responsibility of FBCC

**E. PHASE II SIGNAGE:**

In Phase I both a monument sign and an illuminated building sign, approved by the City of Chandler and subsequently were constructed. In Phase II, it is not intended to provide any signage other than sign plaques at the various entries with the exception of site signage denoting the fire truck access lane and not for public use.

The signage criteria established in Phase I and the City standard would be used for the development of a comprehensive signage plan for the future phases of construction.

**VII. DEVELOPMENT STANDARDS:**

The development standards for church development as established in Phase I and used for the design of Phase II, shall be those set forth below:

CHURCH DEVELOPMENT STANDARDS*	
Development Criteria	Proposed Church P.A.D.
Building Height	45 feet <sup>3</sup>
Building Setbacks	Street- 50 feet along Arizona Avenue 30 feet along Appleby Road Side- 20 feet Rear- 25 feet
Maximum Lot Coverage	25%
Minimum Open Space	10%
Maximum Fence Height	Adjacent to street- 3 feet Adjacent to other uses- 8 feet
Required Parking	1 parking space per 4 seats
Monument Signage	Existing, See PDP Phase I
Building Signage	Existing, See PDP Phase I
Directory Signs	To meet C. O. C. Ordinance
Athletic Field Lighting Maximum Height	80feet
Parking Lot Lighting Maximum Height	16 feet within 100 feet of a residential zoning district; 25 feet all other areas
*All church Development Standards for uses developed in conjunction with the Church shall, except as amended herein, be the currently existing development standards of the City's C-1 zoning district.	

**VIII. MISCELLANEOUS:**

**A. LIGHTING:**

Parking lot and security lighting will not exceed a maximum mounting height of 16 feet within 100 feet of a residential zoning district and a maximum of 25 feet all other areas. All wall-mounted fixtures for the purpose of area/security lighting in Phase II will be mounted at a maximum of 14 feet above the finish grade and will be of the full cutoff type fixtures. Lighting information in connection with development of future phases will be submitted with requests for future PDP approval of that future development. For future athletic field lighting will be appropriately directed or shielded downward. It should be noted that the parking lot lighting style has been established in Phase I and is to be matched in Phase II.

<sup>3</sup> The 45 feet building height for the PAD/PDP for the Site is excluding non-occupied architectural embellishments such as spires, steeples, crosses, mechanical screening, and parapets. With respect to Phase I, no building is planned for a height in excess of 40 feet, exclusive of architectural embellishments. FBCC may request building height in excess of 45 feet for it's ultimate Worship Center as part of a future development phase in conjunction with a future request for PDP approval whereupon the Church will need to establish that its then existing design for the Worship Center meets City expectations for buildings in excess of 45 feet in height.

## B. PRELIMINARY GRADING AND DRAINAGE:

The Site will retain all rainfall runoff generated on-site and the runoff from any adjacent half street frontage. The Grading and Drainage Plan for Phase I achieved this objective and uses retention basins along Arizona Avenue for the easterly half of the Site and to the north for the parking lot and westerly half of the Site. All basins in Phase I are designed to drain or percolate their respective volumes in 36 hours. Runoff has been routed to the basins through the internal drives and parking areas. In Phase II, Exhibit 12, the northern retention basin will be enlarged to meet the new volumes for this development and a portion of parking for the future phases. The Phase II paved parking area is proposed to be surface drained to the enlarged retention basin B; to the east of the Phase II facilities a depressed landscape area will retain surface flow as well as collection for roof and area drain pipe systems. An overflow is provided to retention basin B.

For the temporary modular units, it is anticipated that grading will allow drainage to the existing eastern retention basin.

In the future phases, (Worship Center, etc.) development, the original calculations shown in Phase I Preliminary Grading and Drainage, by Hubbard Engineering are valid and only minor modifications are anticipated for implementation depending on configuration and areas involved. The basin 5 of Phase 1 will function as the Sites most significant retention area.

## C. CONCEPTUAL PHASING PLAN:

As stated in the PDP submittal for Phase I, the expansion would be consistent with the growing needs of FBCC's congregation and the community. FBCC has found that the Family Life Center, Phase I, is now inadequate for their immediate needs. Subsequently, Phase II is required. Generally the permanent facilities of Phase II conform to the Conceptual Phase Plan, as previously submitted, which is to develop the east for both the proposed buildings and additional parking. However, the proposed facilities include not only a Youth Center with classrooms, but also a Choir/Music rehearsal area, a Children's Worship area with classrooms and a Fellowship Hall with meeting rooms. The future phases, as shown in Exhibit 5, are anticipated to include a Worship Center and an Administration and Ministries Centers which are approximately in the same locations, as shown in the Phase I submitted in 2004. The future phased facilities, would complete the third and fourth quadrants for a landscaped courtyard connecting all facilities both functionally and visually. The future athletic fields located in the northeast of the Site remains as originally planned. The future parking and access onto Appleby Road are likewise in approximately the same location.

It should be noted that in Phase II development is to be confined to a single lot and that the parcel of approximately 10 acres is to be used for future phasing development.

D. INFRASTRUCTURE:

In the development of Phase I both water and sewer were connected with the existing utilities in Arizona Avenue. An 8" sanitary sewer line was installed south of the Family Life Center and capped for the Phase II facilities, which are now proposed to be extended eastward. The domestic and fire lines were installed north of Phase I facilities where they will be extended to suit. Exhibit 13 shows the extension for the utilities for Phase II.

In Phase II-M, the temporary modular units, the domestic water will be brought from the Family Life Center to the temporary washroom building and a sanitary sewer will tap into the 8" sewer line. A fire line will be brought to the south side of the modular units from the existing fire line to a new fire hydrant adjacent to the fire truck access road.

Reclaimed water for use primarily with landscaping is anticipated to be implemented in Phase II upon availability from the City of Chandler. This was agreed with the City in Phase I and shall be followed in this and future phases.

In the future phases, (Worship Center, etc.) it is anticipated that a water main will be provided in the Appleby Road improvements which will allow the development of a water line loop to provide for both domestic and fire services. The fire line with associated hydrants will be dedicated to the City of Chandler upon completion. Coordination with SRP for underground irrigation lines along the southern boundary will be part of the future development of Appleby Road.

IX. DEVELOPMENT TEAM:

**OWNER:** First Baptist Church Chandler  
**ATTN: Dr. Paul Smith, Pastor**  
3405 S. Arizona Avenue  
Chandler, Arizona 85249  
T: 480-963-3439  
F: 480-963-4072

**ARCHITECTURE:** Art & Space Architects, Ltd.  
**ATTN: William Gosney, AIA**  
7534 E. First Street, Suite 100  
Scottsdale, Arizona 85251  
T: 480-949-0204  
F: 480-949-6690

**CIVIL ENGINEERING:** Premier Engineering Corp.  
**ATTN: Sam Malekooti**  
1600 W. Broadway #165  
Tempe, Arizona 85282  
T: 480-829-6000  
F: 480-829-6016

**LANDSCAPING:** Waibel & Associates  
**ATTN: Janet Waibel**  
8611 S. Priest Dr. #101  
Tempe, Arizona 85284  
T: 480-893-3849  
F: 480-893-3846

X. CONCLUSION:

A part of Chandler since 1913, the new location for FBCC at the northeast corner of Arizona Avenue and Appleby Road is planned for church and related uses, including associated athletic activities. We are excited about FBCC's new campus and the opportunities it presents for the City, the community, and our members. We hope that you share our enthusiasm and ask for you Approval.

**First Baptist Church Chandler**