



**MEMORANDUM                      Transportation & Development - PZ Memo No. 13-035b**

**DATE:**            JUNE 5, 2013

**TO:**                PLANNING AND ZONING COMMISSION

**THRU:**            R.J. ZEDER, TRANSPORTATION & DEVELOPMENT DIRECTOR  
JEFF KURTZ, PLANNING ADMINISTRATOR  
KEVIN MAYO, PLANNING MANAGER

**FROM:**            ERIK SWANSON, CITY PLANNER

**SUBJECT:**        PDP12-0025 ALLIANCE BANK

Request:            Preliminary Development Plan (PDP) approval for building architecture and site layout for a bank

Location:           Southwest corner of Ray Road and the Loop 101 Price Freeway

Applicant:           Mike Edwards; Davis Architecture

The request was continued from the May 15, 2013, Planning Commission hearing to allow the applicant additional time to finalize development details.

**RECOMMENDATION**

The request is for PDP approval for building architecture and site layout for a bank. Planning Staff, upon finding consistency with the General Plan and Planned Area Development zoning, recommends approval with conditions.

**BACKGROUND**

The subject site is located at the southwest corner of Ray Road and the Loop 101 Price Freeway, within the Park at San Tan development. The subject site is located at the eastern portion of the development and is adjacent to Ray Road. The subject site is the last remaining pad for the development. West is a drive-thru restaurant with additional retail shops spaces further west of the drive-thru. South is a five-story office building; north and east are street frontages.

The subject site was zoned in mid-2004 for retail and office type uses and then amended to reduce building heights in late 2004; development has been consistent with the zoning. During the 2004 approval process, the subject site was shown as having two pads, with the

development of the site as presented, a future pad would be unable to develop due to size constraints. At the time of approval it was indicated that future pads would require PDP submittal and approval.

The bank is 25,000 square feet and includes three floors; two above ground and one basement floor. Various bank operations will occupy all of the ground floor, with additional office and storage areas occupying the basement and second-story floor. Approximately 24,000 square feet will be parked based on office occupancy, with 1,000 square feet parked based on public space within the bank. Per the site plan, 81 parking stalls are provided whereas 103 are required. The applicant is requesting the reduction in parking based primarily on business operations. The bank is not planning on having the office components of the building being fully occupied for a number of years, but has designed the building to allow the building to operate as a regional headquarters, thus providing full occupancy, if necessary. Staff is supportive of the reduction in parking based on contingency plans for additional parking being presented. Two parking contingency plans are attached in the event additional parking is needed. The first contingency plan provides the 103 parking stalls, and will be utilized if a different bank occupies the building. In order to do this, two of the three drive-thru lanes are removed. The second contingency plan provides enough parking stalls in the event the entire building converts strictly to office uses. The bank drive-thru lanes would be completely eliminated and replaced with parking.

The building architecture incorporates a number of design elements that are found on the office building. Rust and buff colored sandstone elements are a predominant feature that bisects the building. Horizontal Exterior Insulation Finishing System (E.I.F.S.), sandstone and glass elements along the east elevation present a look that relates the bank building to the office building; incorporating a cornice type detail as a floating element further ties the design to the existing office. Low-walls will screen the drive-thru lanes from Ray Road and will be consistent with the existing screen walls as found in the development. Signage will be dictated by the previously approved sign package.

Planning Staff supports the request finding that the use is consistent with the zoning and that the overall design presents a very attractive final addition to the larger Park at San Tan development.

#### **PUBLIC/NEIGHBORHOOD NOTIFICATION**

This request was noticed in accordance with the requirements of the Chandler Zoning Code.

- A neighborhood meeting was held on Thursday, April 4, 2013; an adjoining business owner was the only attendee.

At the time of this writing, Planning Staff has received no telephone calls or letters opposed to this application.

#### **RECOMMENDED ACTION**

Planning Staff, upon finding consistency with the General Plan, recommends approval of PDP12-0025 ALLIANCE BANK, subject to the following conditions:

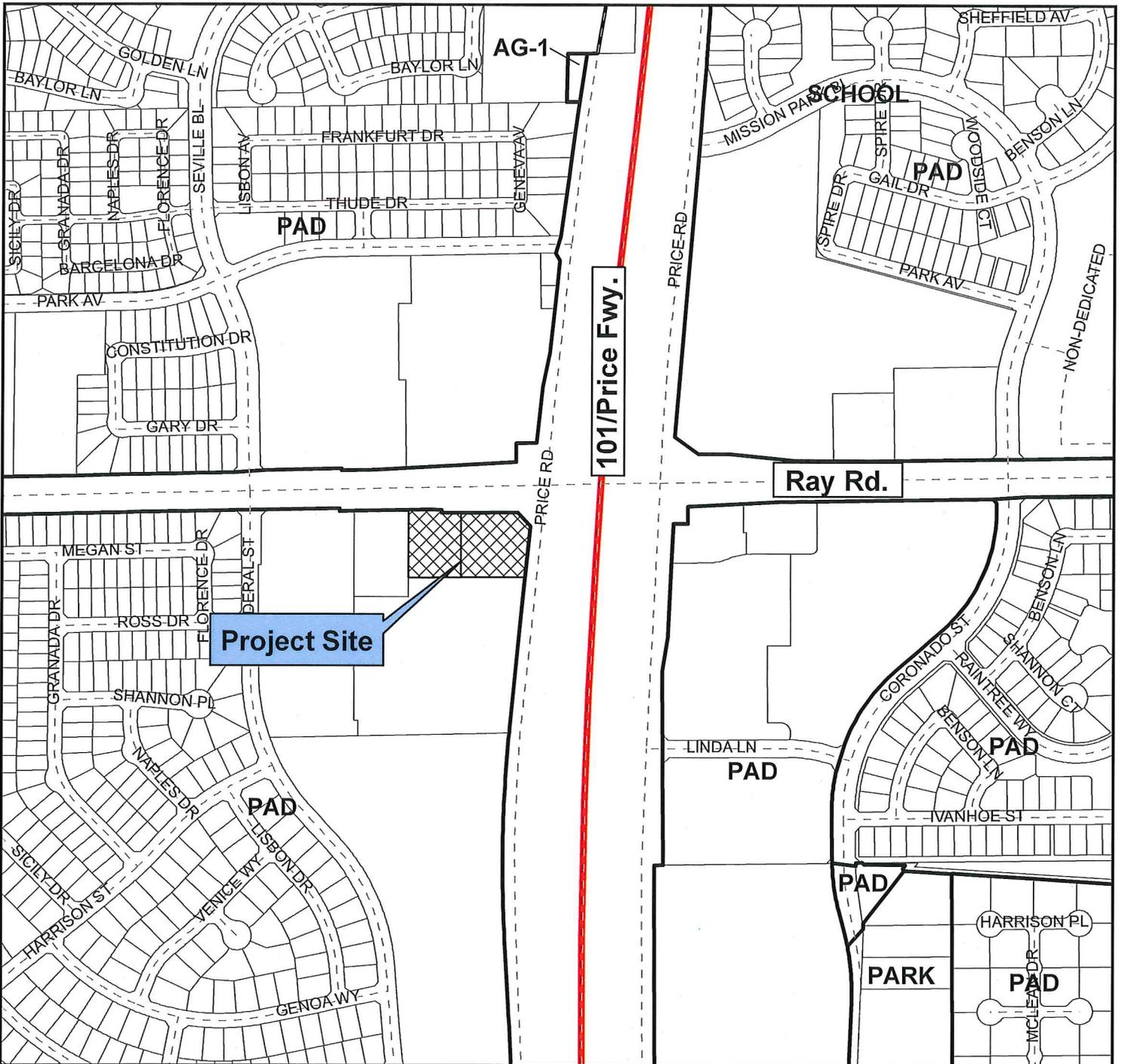
1. Development shall be in substantial conformance with the attached exhibits, kept on file in the City of Chandler Planning Division, in File No. PDP12-0025 ALLIANCE BANK, except as modified by condition herein.
2. Compliance with original stipulation adopted by the City Council in Ordinance No. 3622, in case DVR04-0048 SANTAN MIXED USE AMENDED, except as modified by condition herein.
3. Landscaping shall be in compliance with current Commercial Design Standards.
4. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
5. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or property owners' association.
6. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
7. The site shall be maintained in a clean and orderly manner.
8. The drive-thru pneumatic tubes shall be integrated into the design of the drive-thru columns.
9. At the discretion and by written notice of the Zoning Administrator, the applicant shall implement the 'contingency parking plan' as shown in the attached.

#### **PROPOSED MOTION**

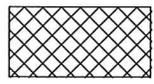
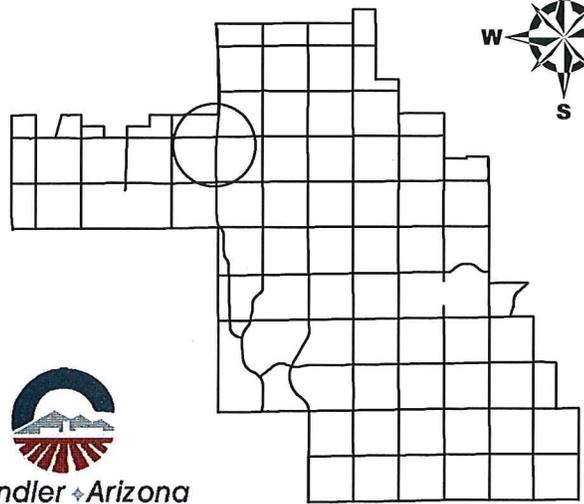
Motion to recommend approval of PDP12-0025 ALLIANCE BANK, Preliminary Development Plan approval for building architecture and site layout for a bank, subject to the conditions recommended by Planning Staff.

#### **Attachments**

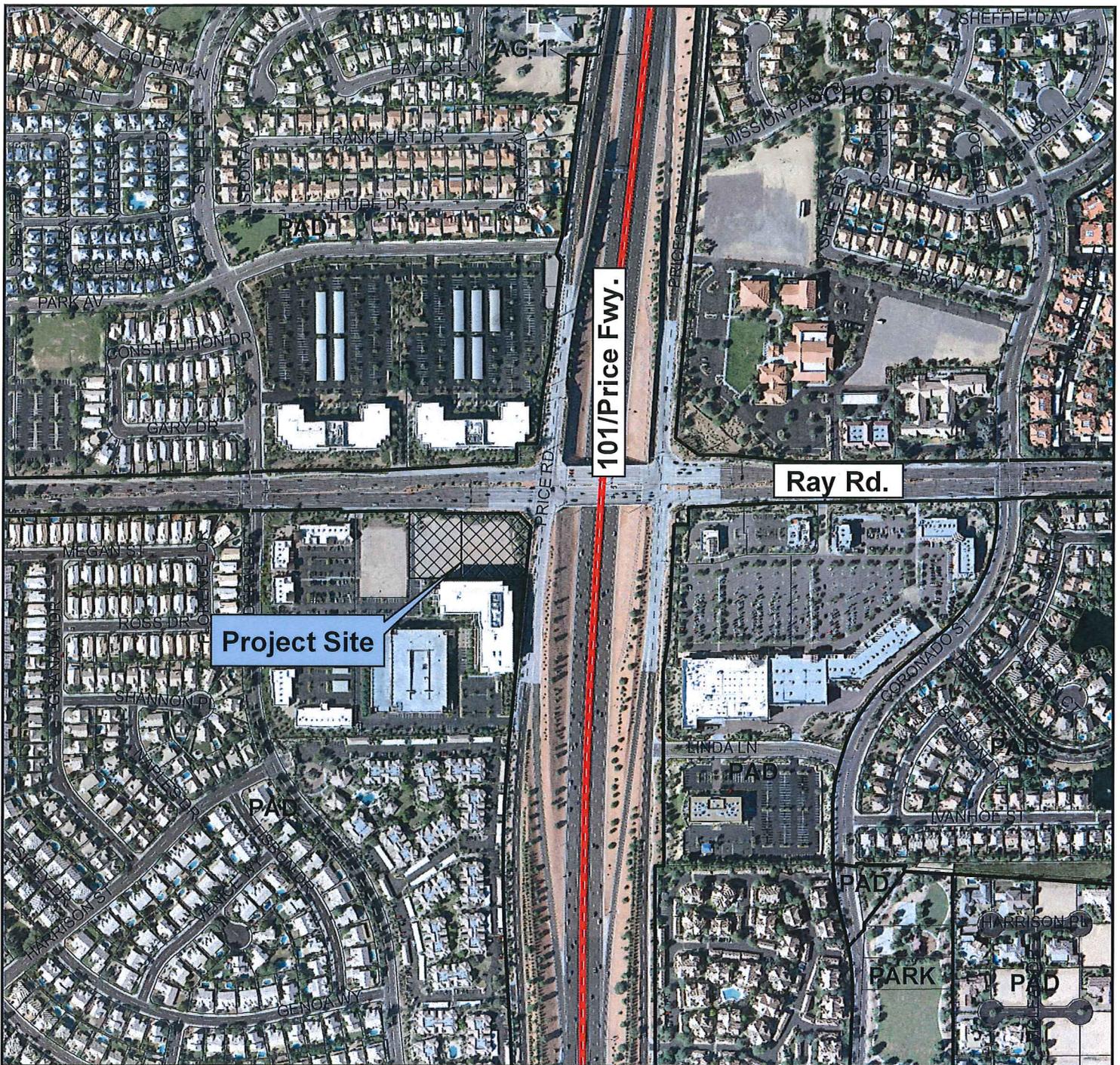
1. Vicinity Maps
2. Site Plan
3. Landscape Plan
4. Floor Plan
5. Elevations
6. Contingency Parking Plan 1
7. Contingency Parking Plan 2
8. Ordinance No. 3622



## Vicinity Map



**PDP12-0025**  
**Alliance Bank**

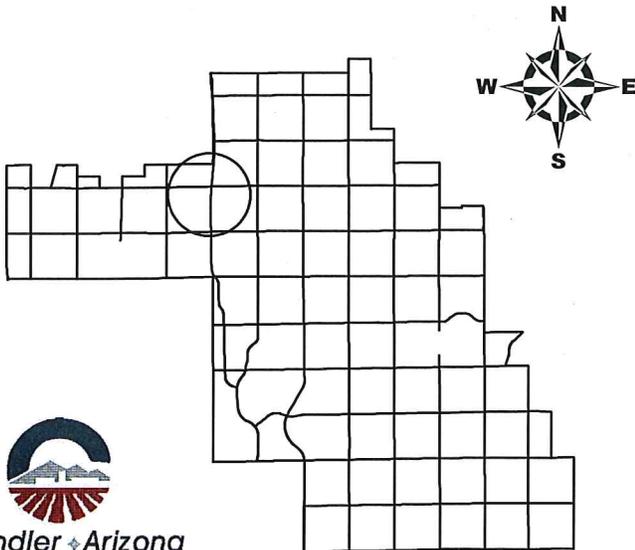


**Project Site**

**101/Price Fwy.**

**Ray Rd.**

## Vicinity Map

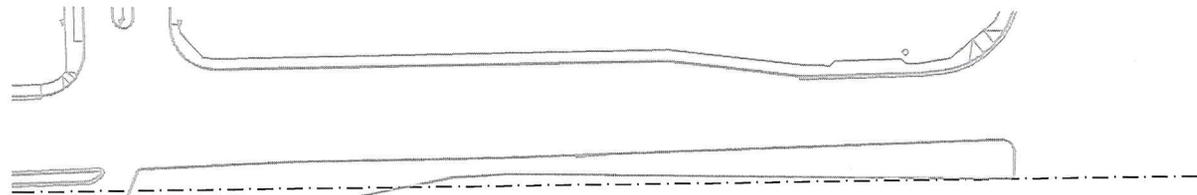


**PDP12-0025**

**Alliance Bank**



**Chandler Arizona**  
Where Values Make The Difference



RAY ROAD

# Site Plan 5-30-13

**Location:**  
Southwest corner of Loop 101 and Ray Road  
Chandler, Arizona

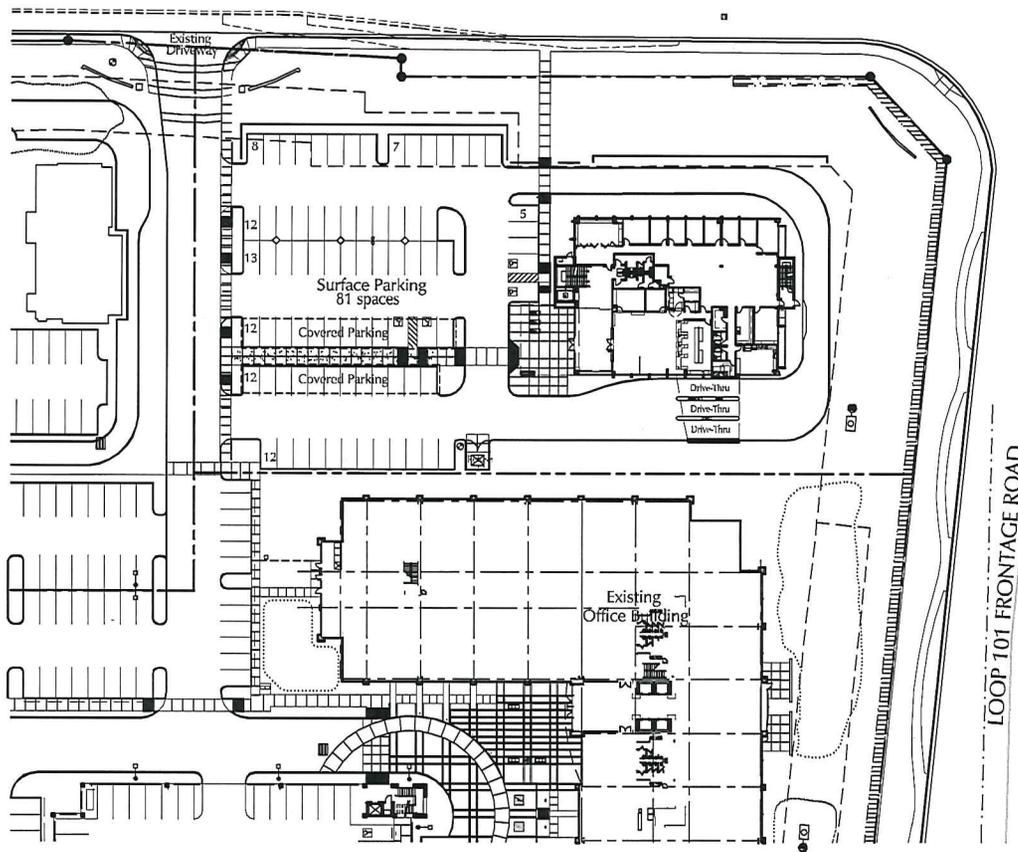
**Project Description:**  
The project consists of a new two-story office building of approximately 20,000 square feet, located on a 2.14 acre property at the southwest corner of Loop 101 and Ray Road. The uses to be located in the building are general office and banking functions. There will be three drive-thru service lanes on the south side of the building, and surface parking to the west of the building.

**Legal Description:**  
Lots 3 and 4, THE PARK SAN TAN, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona recorded in Book 831 of Maps, Page 42.

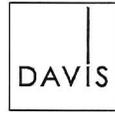
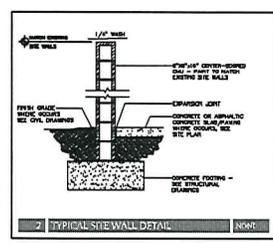
**Project Data:**  
Site Area: 2.11 acres net (92,100sf)  
Building Area: 25,000gsf  
General Office Area: 19,000 gsf  
Bank Public Area: 1,000 gsf  
Basement Area: 5,000 gsf  
Parking Provided: 81 spaces

**Owner :**  
Alliance Bancorporation  
One E. Washington Street, Suite 1400  
Phoenix, AZ 85004  
Phone 602.952.5450  
Fax 602.980.2579  
Contact- Julie Raymond  
jraymond@alliancebankofarizona.com

**Architect / Applicant :**  
DAVIS  
60 E. Rio Salado Parkway, Suite 118  
Tempe, AZ 85281  
Phone 480.638.1100  
Fax 480.638.1101  
Contact- Michael Edwards (Reg. #25635)  
MEdwards@thedavisexperience.com



LOOP 101 FRONTAGE ROAD

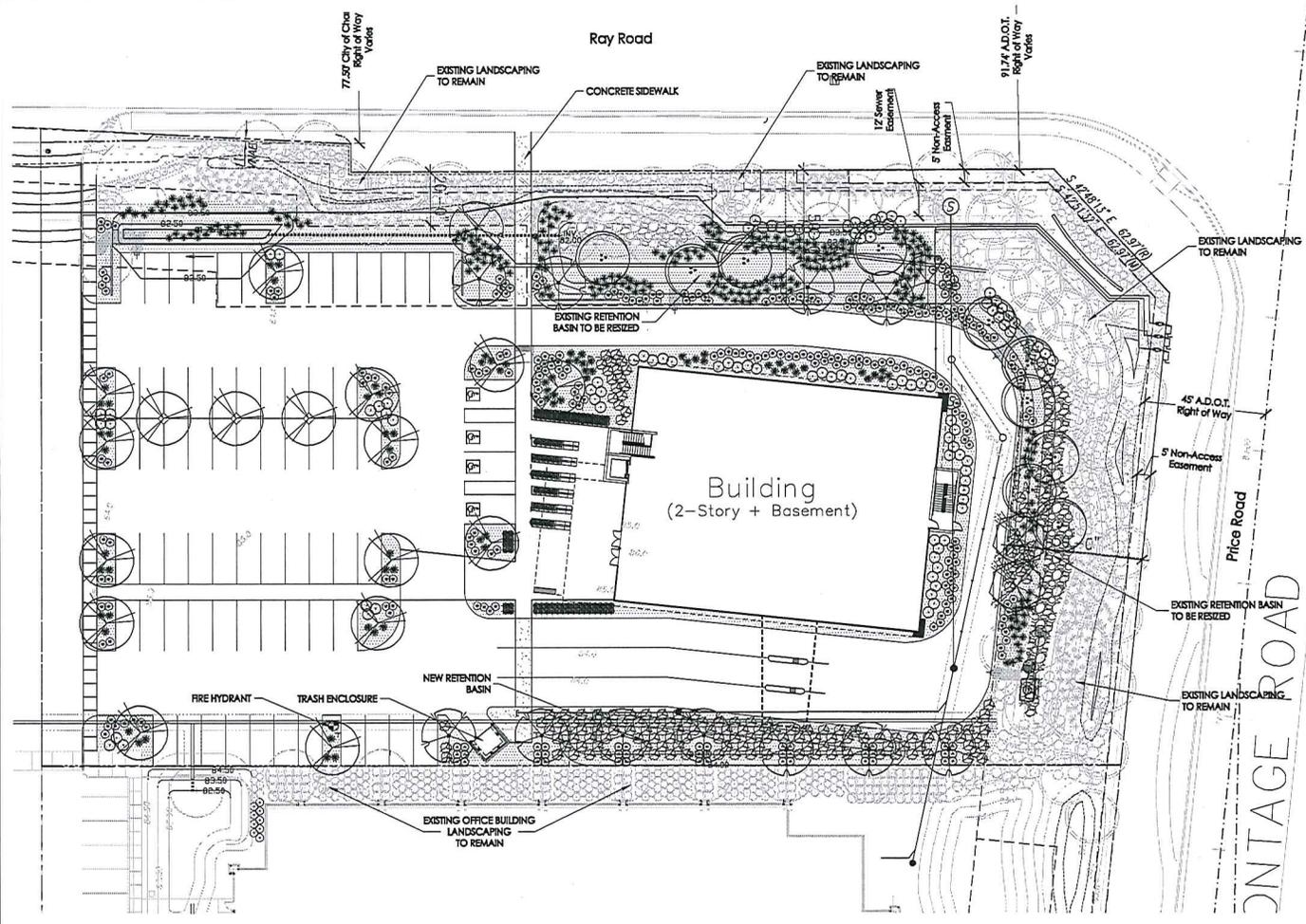


ARCHITECTS  
REGISTERED ARCHITECTS  
PLANNING  
LANDSCAPE ARCHITECTURE  
GRAPHIC DESIGN

0' 30' 60' 90' 120' All calculations are approximate and subject to change.

**Alliance Bank- Chandler**  
Chandler, Arizona

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**PLANT LEGEND**

SYMBOL	COMMON NAME BOTANICAL NAME	SIZE	QTY	REMARKS
<b>TREES</b>				
	Siso Tree <i>Dalbergia siso</i>	24" Box	14	
	Heritage Live Oak <i>Quercus virginiana 'Heritage'</i>	24" Box	17	
	Desert Willow <i>Chilopsis linearis</i>	36" Box	2	PLANTED TO REPLACE EXISTING REMOVED FOR REGRADING
	Swan Hill Fruitless Olive <i>Olea europaea 'Swan Hill'</i>	48" Box	10	PLANTED TO REPLACE EXISTING REMOVED FOR REGRADING
<b>SHRUBS / ACCENTS</b>				
	Deer Grass <i>Muhlenbergia rigens</i>	5 Gal.	218	
	Peltite White Oleander <i>Nerium oleander 'Peltite White'</i>	5 Gal.	81	
	Desert Rue <i>Ruellia perisularis</i>	5 Gal.	58	
	Twin-Flowered Agave <i>Agave geminiflora</i>	5 Gal.	81	
	Pam's Agave <i>Agave pamii</i>	7 Gal.	107	
<b>GROUNDCOVER</b>				
	'New Gold' Lantana <i>Lantana camara 'New Gold'</i>	1 Gal.	199	
	Yellow Dot <i>Sphagnella triflobata</i>	1 Gal.	144	
<b>INERT GROUNDCOVER</b>				
	1/2" Screened Bola Brown Decomposed Stone Mulch, Min. 2" Depth	1.258 Sq. Ft. per Landscape Plan		
	Rip-Rap Salvage and Replace	1.258 Sq. Ft. per Landscape Plan		

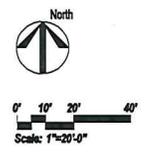
**LANDSCAPE DATA:**

Site Area:	92,100 Sq.Ft. (2.11 Ac.)
Parking Lot Area:	25,032 Sq.Ft.
Parking Lot Landscape Required (10%):	2,503 Sq.Ft.
Parking Lot Landscape Area Provided:	3,216 Sq.Ft. (12.8%)
On-Site Landscape Area Provided:	15,554 Sq.Ft.
Landscape Setback Area Provided:	0 Sq.Ft. (Existing)
Total Landscape Area:	18,760 Sq.Ft. (20.3%)
High Water Use Landscape Area:	0 Sq.Ft.
Right-of-Way Landscape Area:	0 Sq.Ft. (Existing)
Total Live Coverage Provided Shrub and Groundcover Area:	9,385 Sq.Ft. (50%)

**CHANDLER REQUIRED PLANTINGS:**

Street Frontage Plantings (Commercial)

Location	Required	Provided
<b>Ray Road Frontage:</b>		
Trees:	50	30 (Existing)
<b>Price Road Frontage:</b>		
Trees:	8	22 (Existing)
<b>Corner Setback:</b>		
Trees:	8	24 (18 Existing)
<b>On-Site (Commercial):</b>	15,544 Sq.Ft.	
15,544 / 1,000 Sq.Ft. = 14 Trees / 96 Shrubs	Required	Provided
15 Gal. (Min. 50%)	8	0
24" Box (Min. 50%)	8	16
5 Gal. Shrub/Accent:	96	450

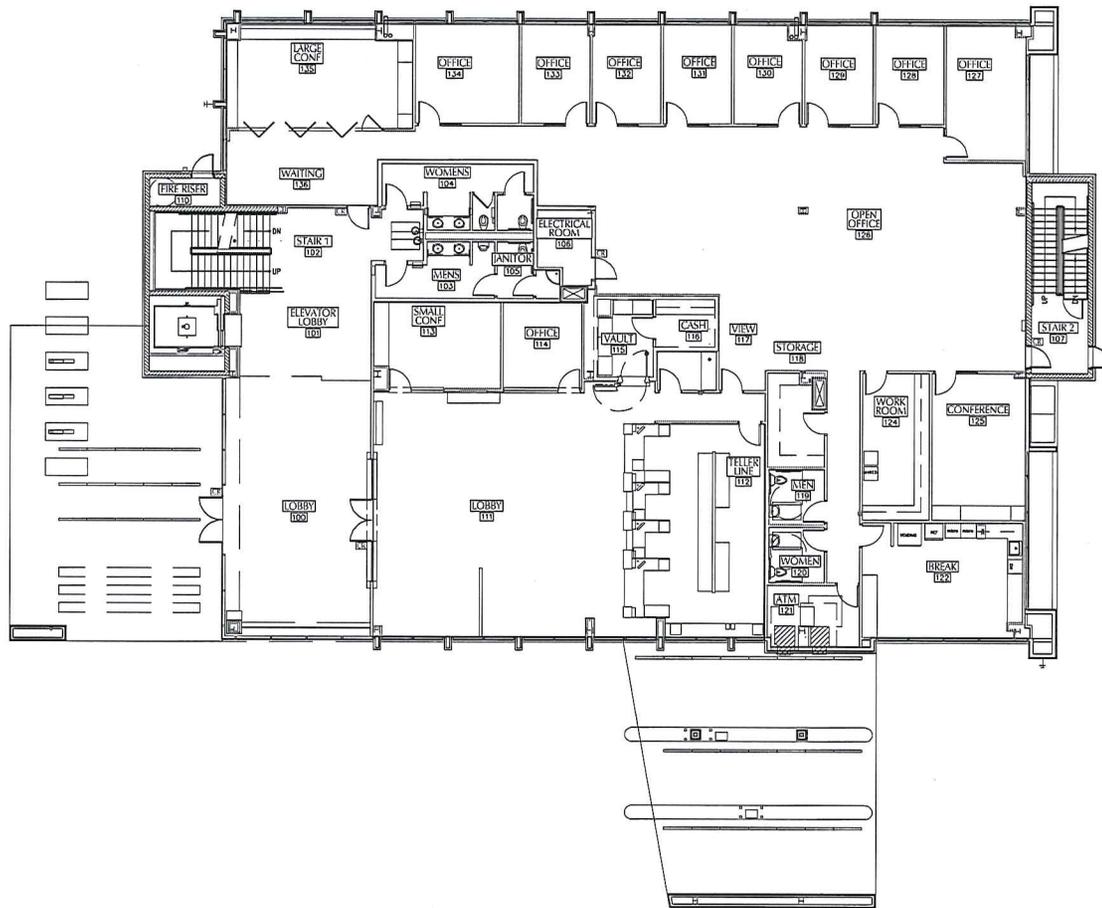


**desert adaptive**  
 DESERT ADAPTIVE LANDSCAPE ARCHITECTURE L.L.C.  
 1903 W. Chandler Blvd., #15-302  
 Chandler, AZ 85224  
 Phone: (602) 390-1507  
 Fax: (602) 372-4126

**Allance Bank - Chandler**  
 SWC of Ray Road and Price Road  
 Chandler, Arizona

All information contained in this drawing is Conceptual in Nature

Preliminary Landscape Plan  
 Date: December 5, 2012



# First Floor

0' | 8' | 16' | 24' | 32'

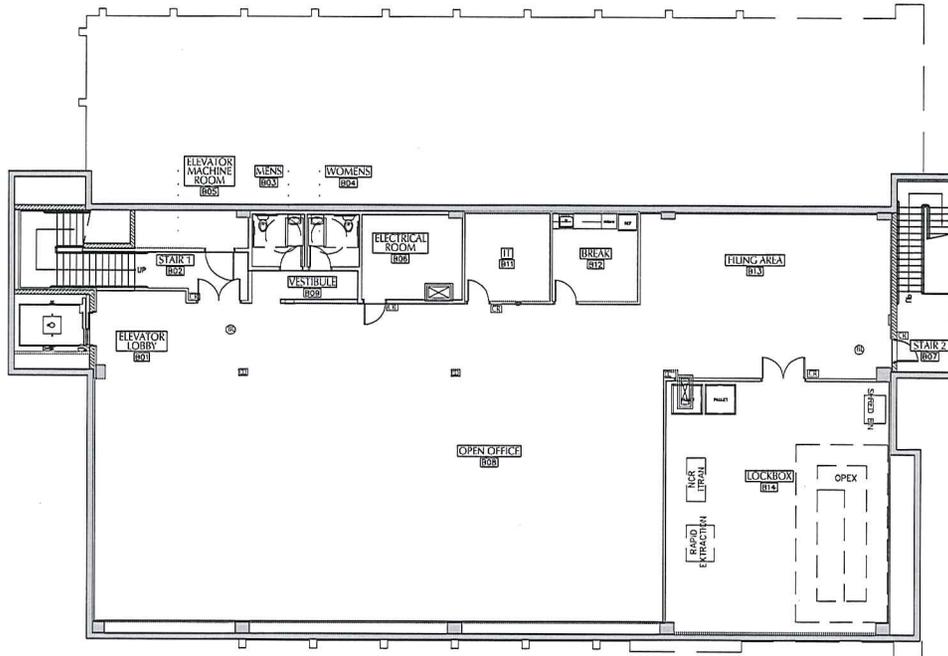
All calculations are approximate and subject to change.



architecture  
 interior architecture  
 space planning  
 facilities management  
 land planning  
 landscape architecture  
 graphic design

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 Chandler, Arizona

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# Basement Level



architecture  
 interior architecture  
 space planning  
 facilities management  
 land planning  
 landscape architecture  
 graphic design

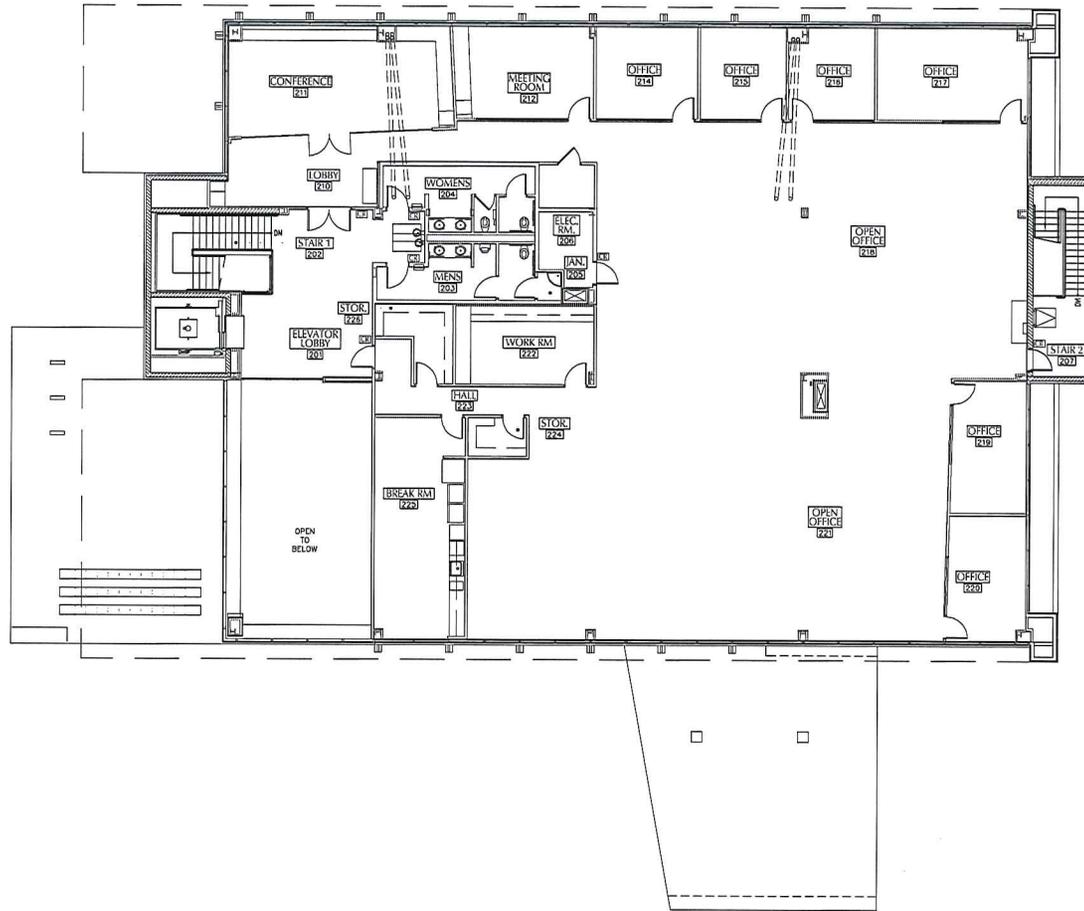
0' | 8' | 16' | 24' | 32'

All dimensions are approximate and subject to change.



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 Chandler, Arizona

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# Second Floor

0' | 8' | 16' | 24' | 32'

All dimensions are approximate and subject to change.



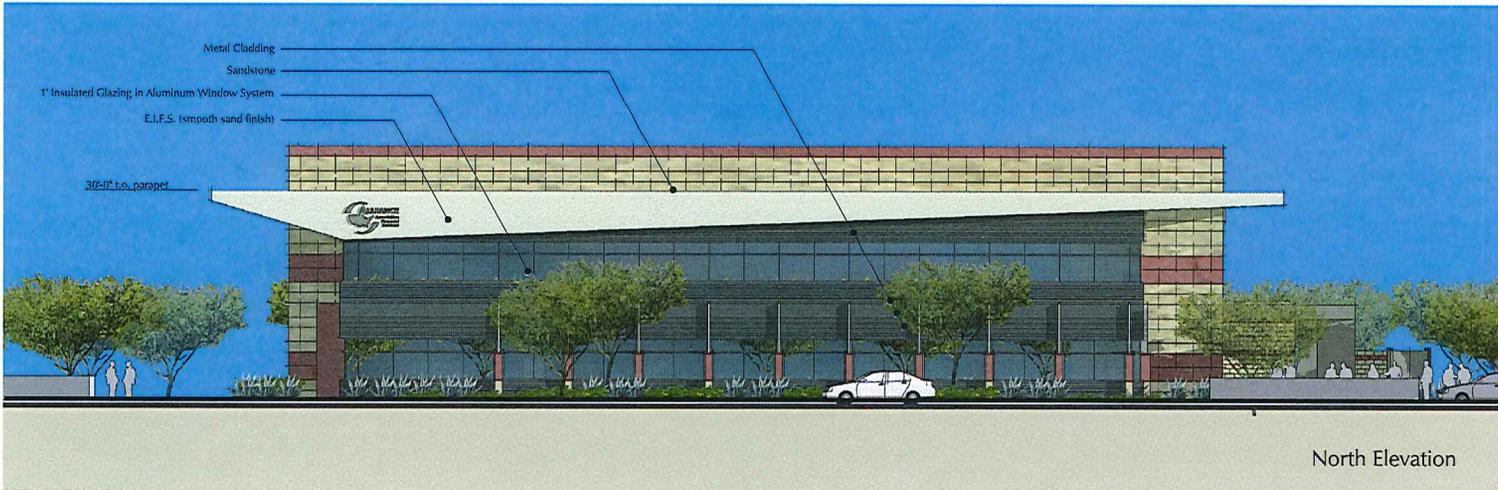
architecture  
interior architecture  
space planning  
facilities management  
land planning  
landscape architecture  
graphic design

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Chandler, Arizona

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12.APR.13



East Elevation



North Elevation



## Proposed Elevations

architecture  
interior architecture  
space planning  
facilities management  
land planning  
landscape architecture  
graphic design

0' | 8' | 16' | 24' | 32'

All calculations are approximate and subject to change.



**Alliance Bank - Chandler**  
Chandler, Arizona

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12.APR.13



West Elevation



South Elevation



## Proposed Elevations

architecture  
 interior architecture  
 space planning  
 facilities management  
 land planning  
 landscape architecture  
 graphic design

0' | 8' | 16' | 24' | 32'

All elevations are approximate and subject to change.



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Chandler, Arizona

12130  
12.APR.13



Perspective looking Southeast

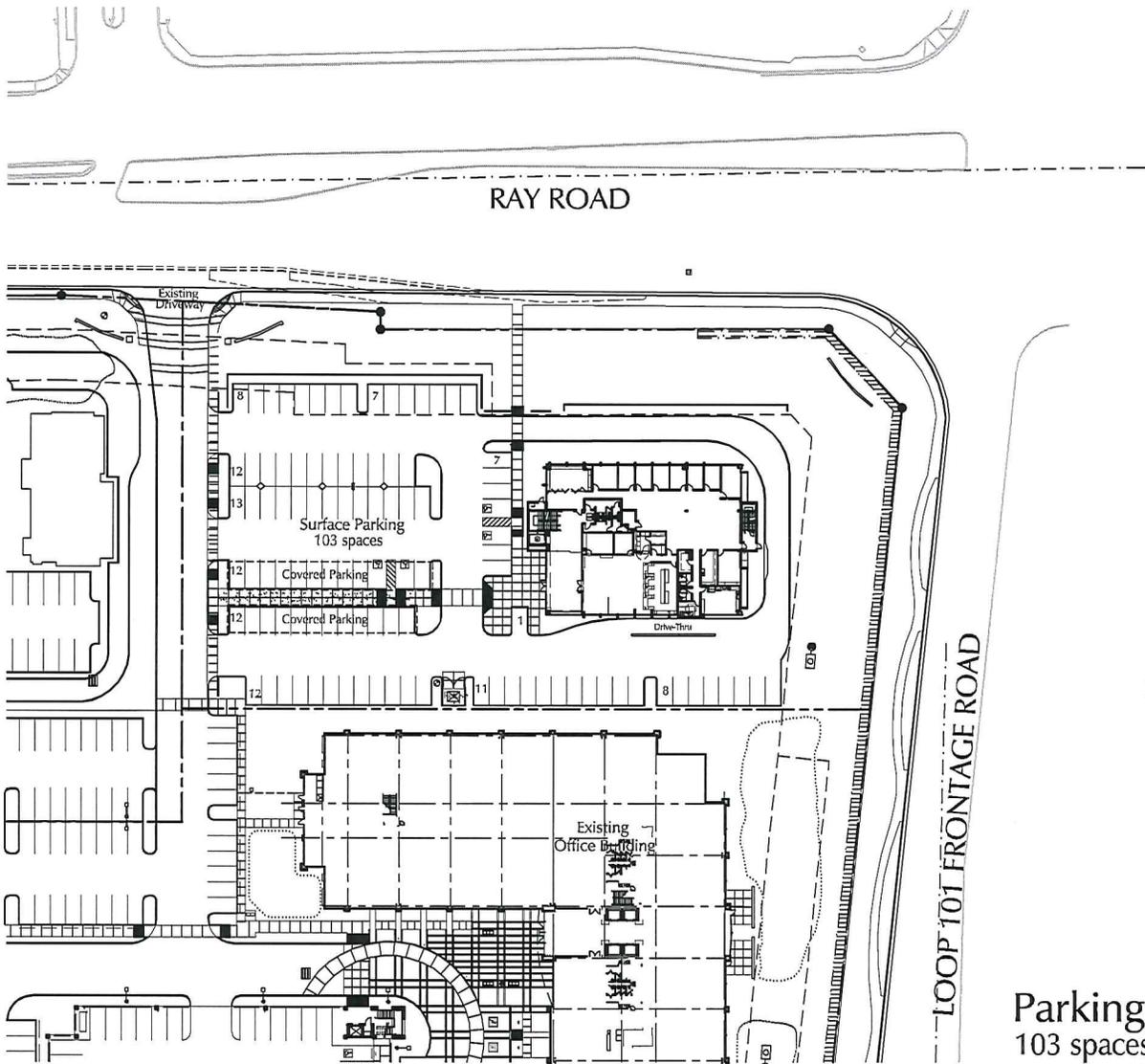


architecture  
 interior architecture  
 space planning  
 facilities management  
 land planning  
 landscape architecture  
 graphic design

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 Chandler, Arizona

1260  
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All conditions are approximate and subject to change.
 

# Parking Contingency Plan 1

## 103 spaces



ARCHITECTURE  
 INTERIOR ARCHITECTURE  
 PLANNING  
 EXISTING MANAGEMENT  
 LAND PLANNING  
 ENVIRONMENTAL ARCHITECTURE  
 GRAPHIC DESIGN

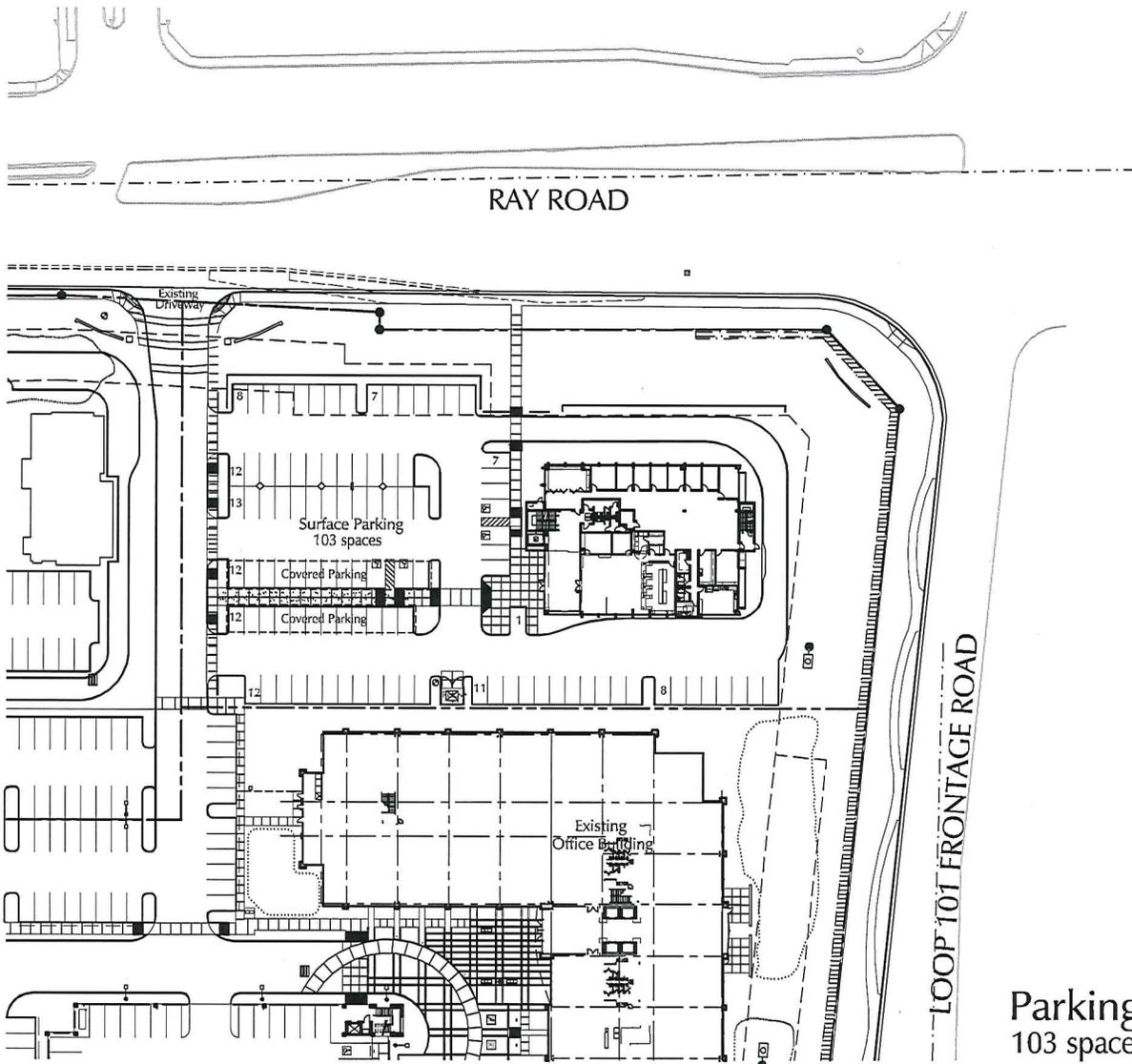
0' 30' 60' 90' 120'

All dimensions are approximate and subject to change.

**Alliance Bank - Chandler**  
 Chandler, Arizona

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## Parking Contingency Plan 2

103 spaces



ARCHITECTURE  
 INTERIOR ARCHITECTURE  
 PLANNING & DESIGN  
 FACILITIES MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 GRAPHIC DESIGN

0' | 30' | 60' | 90' | 120'

All conditions are approximate and subject to change.



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 Chandler, Arizona

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#7

OCT 28 2004

APPROVED BY  
CHANDLER CITY COUNCIL

OCT 28 2004

CITY CLERK'S OFFICE

**ORDINANCE NO. 3622**

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED AREA DEVELOPMENT (PAD) MIXED USE TO PLANNED AREA DEVELOPMENT (PAD) MIXED USE AMENDED (DVR04-0048 SANTAN MIXED USE AMENDED) LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

SEE ATTACHMENT 'A'

Said parcel is hereby rezoned from PAD Mixed Use to PAD Mixed Use Amended, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "San Tan Mixed Use Amended" kept on file in the City of Chandler Planning Services Division, in File No. DVR04-0048, except as modified by condition herein.

2. Right-of-way dedications to achieve full half width for Ray Road and Federal Street, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
3. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
4. The developer shall be required to install landscaping in the arterial street median adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
5. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
6. Approval by the Director of Planning and Development of plans for landscaping (open spaces and rights-of-way) and perimeter walls.
7. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
8. All perimeter landscaping along Federal Street and Ray Road shall be installed as a part of Phase I.
9. Retail A1, Retail A2 and Retail E are shown at a conceptual level only. Future PDP approval for building architecture is required.
10. The proposed median break on Ray Road shall be deleted or as otherwise approved by the Director of Public Works and ADOT.
11. The office building will be limited to five (5) stories in height. The building will be approximately 75-feet in height, with no more than a 10% variance allowed. This height is measured from the finished grade to the top of the roof deck. The building will have approximately the same square-footage as was originally approved in the PAD application of November 2003.

12. The parking structure will be no more than four (4) levels, and no higher than 37.5-feet, measured from the finished grade to the top of the spandrel panel. The stair elements are excluded from this limitation.
13. The parking structure will have no car shade canopies on the fourth (4<sup>th</sup>) level. This restriction does not apply to the canopies over the stairwells.
14. The parking garage will follow the same architectural theme as was outlined in the PAD document, dated November 2003.
15. A northbound right-turn lane will be installed on Federal Street at Ray Road by the project developer as part of the first phase of the project. The design of this turn lane will be approved by the City.
16. The parking garage will have the same landscape buffer as was contained in the zoning approval of May 13, 2004; case number DVR03-0036.
17. The developer shall post the westbound exit onto Federal Street at Ross Drive as Left-Turn and Right-Turn only.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning & Development Department of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

PASSED AND ADOPTED by the City Council this \_\_\_\_\_ day of \_\_\_\_\_,  
2004.

ATTEST:

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
MAYOR

**CERTIFICATION**

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 3622 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2004, and that a quorum was present thereat.

\_\_\_\_\_  
CITY CLERK

APPROVED AS TO FORM:

D.G.  
\_\_\_\_\_  
CITY ATTORNEY

PUBLISHED: