

JUN 14 2018

#11



MEMORANDUM

Development Services – Memo No. CC18-056

DATE: JUNE 14, 2018

TO: MAYOR AND COUNCIL

THRU: MARSHA REED, CITY MANAGER *MR*
JOSHUA H. WRIGHT, ASSISTANT CITY MANAGER *RAW*
DEREK HORN, DEVELOPMENT SERVICES DIRECTOR *TH*
KEVIN MAYO, PLANNING ADMINISTRATOR *KH*

FROM: JODIE NOVAK, SENIOR PLANNER – MEP, CPM *JMN*

SUBJECT: APL17-0003 SOUTHSORE AREA PLAN AMENDMENT/DVR17-0019/PLT17-0053 PINELAKE CONDOMINIUMS
Adoption of Resolution No. 5169
Introduction and Tentative Adoption of Ordinance No. 4826

Request: Amendment to the Southshore Area Plan from Business Park to Residential

Rezoning from Planned Area Development (PAD) for Business Park to PAD (Residential)

Preliminary Development Plan (PDP) approval for subdivision layout and housing product approval for a residential condominium development

Preliminary Plat approval for a residential condominium development

Location: Southwest corner of Ocotillo Road and Pinelake Way, east of Arizona Avenue

Applicant: Brennan Ray, Burch & Cracchiolo, P.A.

Project info: Approximately 8.9 acres, 93 units, and 11 dwelling units per acre (du/ac)

RECOMMENDATION

Upon finding the request to be consistent with the General Plan, Planning Commission and Planning staff recommend City Council approve the area plan amendment, rezoning, Preliminary Development Plan (PDP), and Preliminary Plat (PLT), subject to conditions.

BACKGROUND

The subject site is located at the southwest corner of Ocotillo Road and Pinelake Way, east of Arizona Avenue. The property is currently farmed, vacant land surrounded by other vacant and/or farmed properties. The Union Pacific railroad tracks and self-storage facilities are located on the site's western boundary. South of the site is vacant property, owned by Salt River Project, and a single-family residential development. The site's east side is bordered by Pinelake Way; across this street is farmed, vacant land, zoned Planned Area Development (PAD) for a residential townhouse development, and the Salt River Project Schrader Receiving Station. North of the site is Ocotillo Road and undeveloped land, which includes unincorporated Maricopa County properties planned for industrial uses as part of the Chandler Airpark Area Plan.

The development request includes three components. First, an area plan amendment to the Southshore Area Plan changing the land use from Business Park to Residential. Second, a rezoning from PAD (Business Park) to PAD (Residential) zoning. Third, there is also a Preliminary Development Plan (PDP) for a subdivision layout and housing product, including Preliminary Plat approval.

The Rezoning request includes PDP approval for a residential condominium development, which includes approximately 8.9 acres, 93 units, and 11 du/ac. The gated community fronts Ocotillo Road and Pinelake Way, with the primary entrance/exit from Pinelake Way. A secondary emergency access onto Ocotillo Road is located at the site's northwest corner. The community includes an internal, tree-lined spine road and looped street system, as well as a centralized common open space and amenity area. Large open spaces are provided along Pinelake Way, as well as tree-lined landscape buffers along the site's perimeter.

The housing product is for-sale residential condominiums that include individual, two-story buildings with three condominiums in each building. This triplex concept has been developed in Chandler since 2004 and offers a medium-density residential community. The buildings are designed similar to a two-story home, with garages and backyard areas. Buildings are separated by at least 20 feet by a common landscape area and paved walkway. The development mostly includes four and six buildings grouped together in a courtyard. Each unit includes two garage parking spaces along with guest parking spaces provided along the internal spine road and throughout the community.

The two-story housing product includes three floor plans with four elevation styles. The homes range in size from approximately 1,053 to 1,465 livable square feet. The housing product meets the intent of the Residential Development Standards, providing four-sided design, wall plane variations, mix of materials and paint colors and a variety of elevation styles. The development predetermines home placement to ensure the same elevation style and color scheme combination is not built adjacent to or directly across the street from one other.

GENERAL PLAN CONFORMANCE / AREA PLAN BACKGROUND

The General Plan identifies the subject site as a part of the Southeast Chandler Area Plan (SECAP). The SECAP designates the property for Traditional Suburban Character in which residential development can be considered. In 1988, City Council approved the specific sub-area plan, the Southshore Area Plan, for the area bounded by Ocotillo Road, Arizona Avenue, Chandler Heights Road, and the Consolidated Canal. The Southshore Area Plan included a land use arrangement which provided for multi-family residential on a few parcels while other parcels were specifically designated for office, retail, business park, and industrial use. The majority of this Area Plan has evolved over the years, as there are no more multi-family residential, light industrial, or office parcels. The subject site is designated Business Park for uses including high-tech, two-story office and research/development facilities with high-quality design standards.

The Southshore Area Plan vision was to create an area that would develop similar to other business park areas in Chandler. A General Plan amendment and area plan amendment approval to allow the single-family residential subdivision to the south, Pinelake Estates, triggered a cycle of land use changes within the Southshore area plan. The area plan initially designated approximately 52 acres of multi-family residential with 21 acres along Arizona Avenue and 31 acres along a portion the Chandler Heights Road frontage. Property along Chandler Heights Road and Arizona Avenue developed as single-family residential detached housing along with commercial development. Property along Ocotillo Road west of the railroad tracks developed with commercial uses and self-storage facilities. A church is located south of the commercial center along Arizona Avenue. There are two vacant parcels within the area plan, the subject site and a parcel directly east across Pinelake Way, which was rezoned from business park to residential townhouses in 2011.

DISCUSSION

Planning staff finds the proposed area plan amendment for a residential condominium development is an appropriate land use with the existing development and planned townhouses to the east. In addition, the proposed land use serves as a transitional land use for the existing SRP electrical power facility properties and single-family residential homes to the south.

PUBLIC / NEIGHBORHOOD NOTIFICATION

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on March 22, 2018. One resident attended to gather information on the proposal and asked about the timing of a traffic signal at Ocotillo Road and Pinelake Way. The resident was advised the need for a signal would be evaluated post-development to see if one meets traffic count warrants. Staff received a call from a citizen who felt the project did not have enough guest parking spaces. Staff worked with the applicant to provide additional spaces.
- As of the writing of this memo, Planning Staff is not aware of any concerns or opposition.

PLANNING COMMISSION VOTE REPORT

Motion to Approve.

In Favor: 7 Opposed: 0

June 14, 2018

The Planning Commission recommended the addition of Condition No. 8, requiring garage doors to be painted different colors than the building's color. The Commission asked the developer to work with staff to provide more landscaping by electrical panels for buildings along Ocotillo Road.

RECOMMENDED ACTIONS

Area Plan

The Planning Commission and Planning staff recommend City Council approve the area plan amendment from Business Park to Residential for a residential condominium development.

Rezoning

The Planning Commission and Planning staff recommend City Council approve the rezoning from Planned Area Development (PAD) for Business Park to PAD (Residential) for a residential condominium development, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "PINELAKE CONDOMINIUMS", kept on file in the City of Chandler Planning Division, in File No. DVR17-0019, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.
3. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
4. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual #4).
6. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Public Works & Utilities Director for arterial street median landscaping.
7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street

lighting to achieve conformance with City codes, standard details, and design manuals or as otherwise approved in a development agreement.

8. Unless otherwise included as part of the City's Capital Improvement Program, the developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
10. Homebuilder will advise all prospective homebuyers of the information on future City of Chandler facilities contained in the City Facilities map found at www.chandleraz.gov/infomap, or available from the City's Communication and Public Affairs Department. The homebuilder shall post a copy of the City Facilities map in the sales office showing the location of future and existing City facilities.
11. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
12. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing industrial property and industrial businesses that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby existing industrial property and industrial businesses, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
13. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby an existing landfill and a transfer station that may cause adverse noise, odors, and other

externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing landfill and a transfer station, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

14. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing Salt River Project electrical facility property that may cause adverse noise, odors, and other externalities. The “Public Subdivision Report”, “Purchase Contracts”, CC&R’s, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing Salt River Project electrical facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

Preliminary Development Plan

Planning Commission and Planning staff recommend City Council approve the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled “PINELAKE CONDOMINIUMS”, kept on file in the City of Chandler Planning Division, in File No. DVR17-0019, except as modified by condition herein.
2. The landscaping shall be maintained at a level consistent with or better than at the time of planting.
3. The landscaping in all open-spaces and rights-of-way shall be maintained by the adjacent property owner or homeowners’ association.
4. The property shall be maintained in a clean and orderly manner.
5. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
6. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

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7. The same elevation style and color scheme combination shall not be built adjacent to or directly across the street from one another.
8. The garage doors shall be painted a different color than the main building.

Preliminary Plat

Planning Commission and Planning staff recommend City Council approve the Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

PROPOSED MOTIONS

Area Plan

Move City Council approve Resolution No. 5169 Southshore Area Plan amendment, APL17-0003, as recommended by Planning Commission and Planning staff.

Rezoning

Move City Council introduce and tentatively adopt Ordinance No. 4826 approving DVR17-0019 PINELAKE CONDOMINIUMS, rezoning from Planned Area Development (PAD) for Business Park to PAD (Residential) for a residential condominium development, subject to the conditions as recommended by Planning Commission and Planning staff.

Preliminary Development Plan

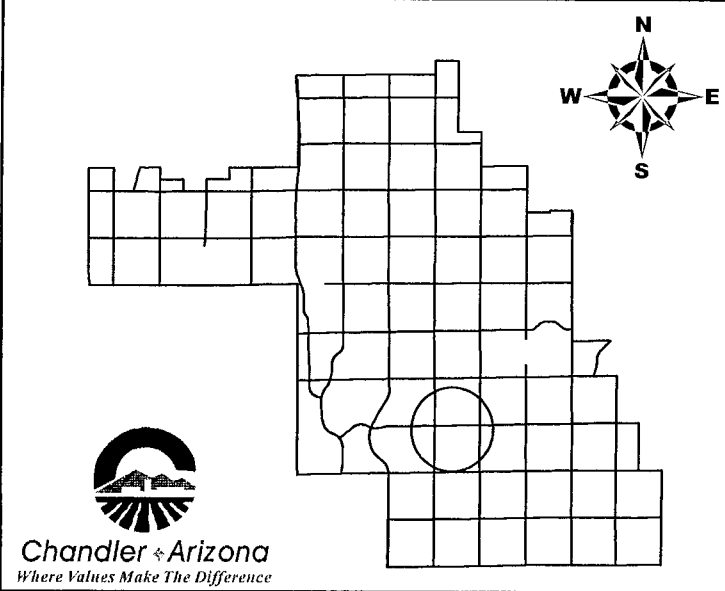
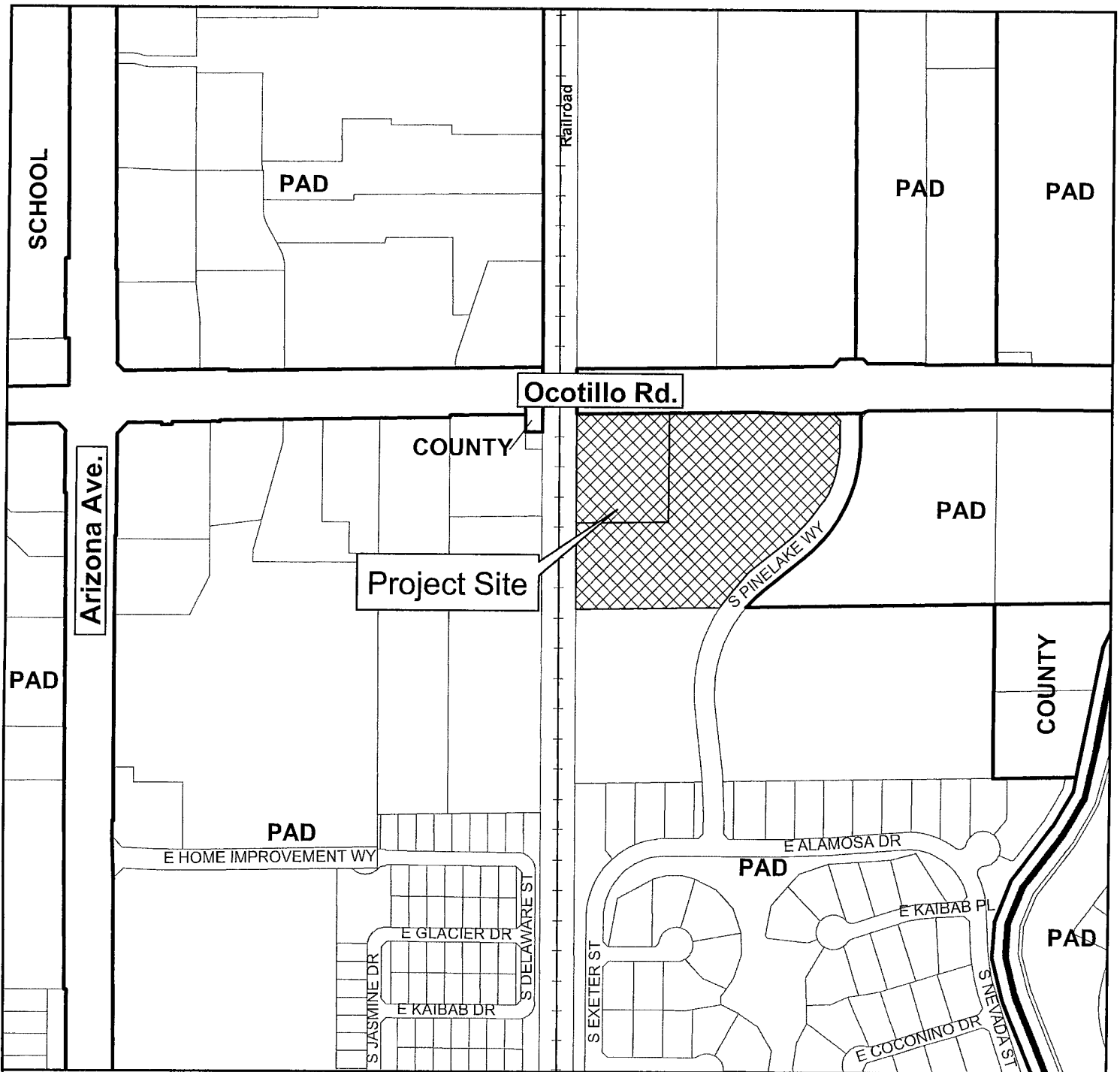
Move City Council approve Preliminary Development Plan DVR17-0019 PINELAKE CONDOMINIUMS for a residential condominium development, subject to the conditions as recommended by Planning Commission and Planning staff.

Preliminary Plat


Move City Council approve Preliminary Plat PLT17-0053 PINELAKE CONDOMINIUMS, subject to the condition recommended by Planning Commission and Planning staff.

Attachments

1. Vicinity Maps
2. Site Plans
3. Landscape Plan
4. Sample Building Elevations
5. Existing and Proposed Area Plans
6. Preliminary Plat
7. Resolution No. 5169
8. Ordinance No. 4826
9. Development Booklet, Attachment A

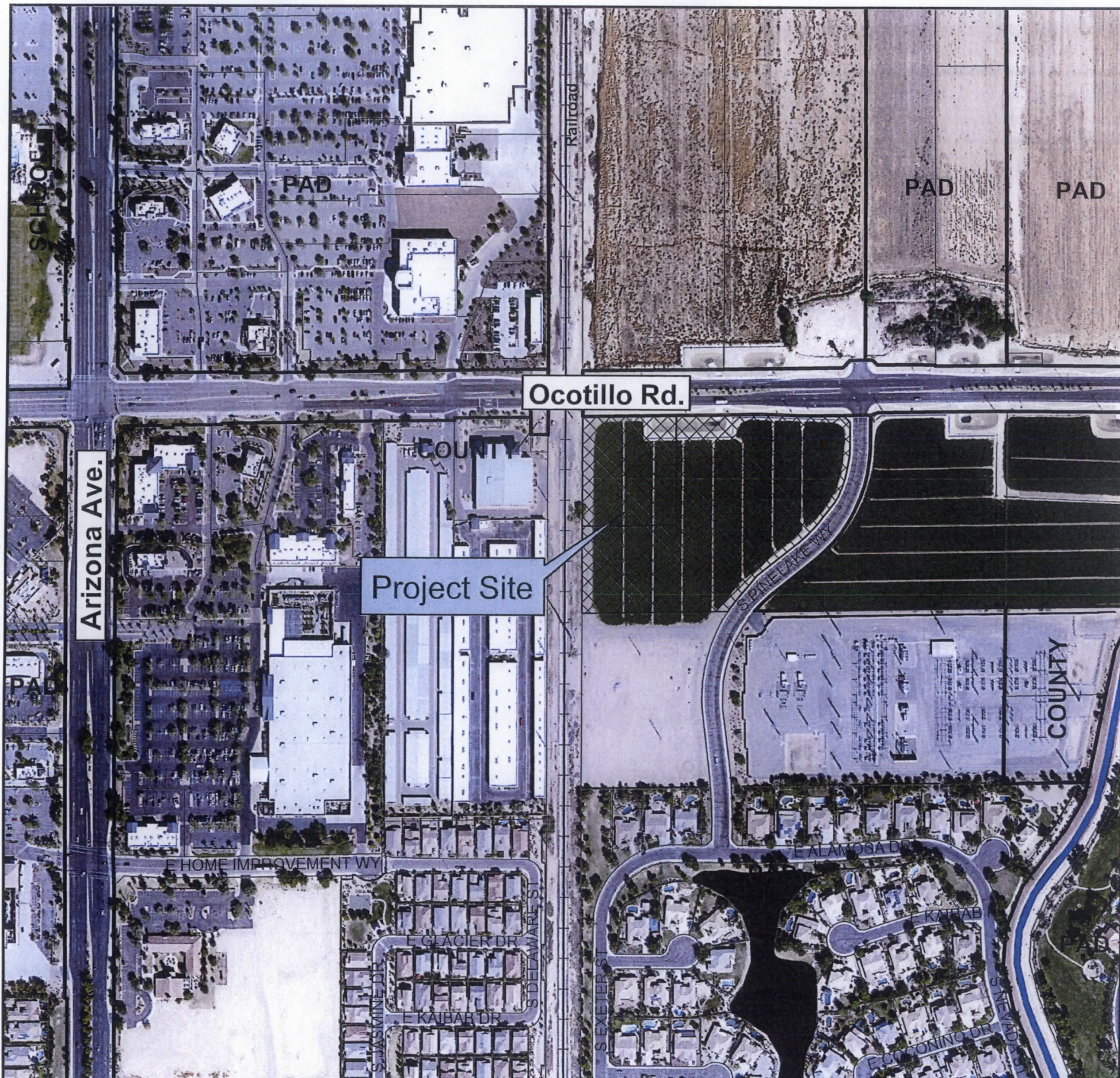


Vicinity Map

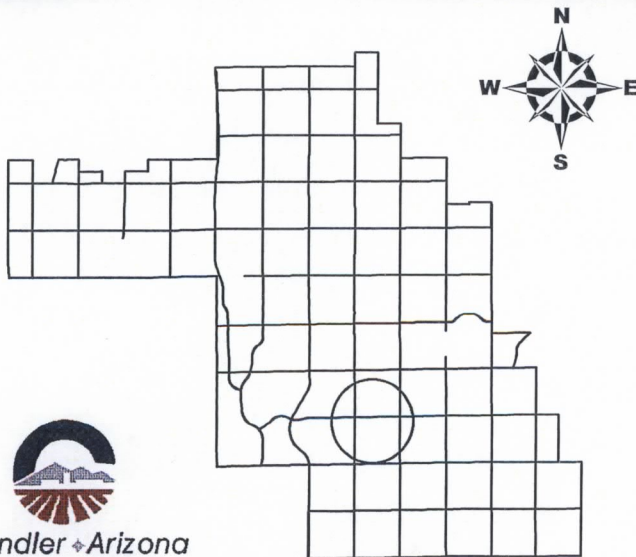

APL17-0003/
DVR17-0019

Pinelake Condominiums

CITY OF CHANDLER 8/30/2017



Vicinity Map



APL 17-0003/
DVR17-0019

Pinelake Condominiums

LENNAR®

Pinelake Condominiums

ILLUSTRATIVE SITE PLAN

SOUTHERN PACIFIC RAILROAD

E OCOTILLO ROAD

PINELAKE WAY

Entry Monument with
Uplight

Entry Sign with
Uplight

Site Data:

Zoning	PAD (Residential)
Gross Area	10.23 acres
Net Area	8.95 acres
Assessors Parcel Number (APN)	303-55-975 303-46-109A
Total Units	93
Net Density	10.39 Du/Ac



Site Plan

PINELAKE CONDOMINIUMS PRELIMINARY SITE PLAN

A PORTION OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

PARCEL APN
PARCEL 1 APN: 303-55-975
PARCEL 2 APN: 303-46-109A

ZONING:
PAD

PROJECT AREA

DENSITY:
GROSS: 10.23 AC
NET: 8.95 AC
DIJAC: +/- 9.68
DIJAC: +/- 11.06

BUILDING CALCULATIONS (3 UNITS PER BUILDING)

NO. BUILDINGS	AREA (SF)	TOTAL
31	3,865	119,815
UNIT	NO. UNITS	AREA (SF) TOTAL
UNIT 1	31	1,053 32,643
UNIT 2	31	1,347 41,757
UNIT 3	31	1,465 45,415
TOTAL UNITS	93	119,815

PARKING CALCULATIONS

PARKING PROVIDED:
COVERED SPACES - 186
GUEST SPACES - 76
TOTAL PROVIDED SPACES - 262
GUEST TO RESIDENT RATIO = $76/186 = 0.41$
ADA SPACES PROVIDED - 3 (4% OF GUEST SPACES)

FLOOD ZONE CERTIFICATION

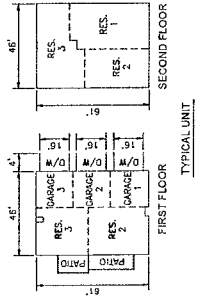
THIS IS TO CERTIFY THAT THIS PROPERTY IS LOCATED WITHIN THE ZONE "X" FLOOD HAZARD AREA PER FIRM MAP PANEL NUMBER 04013C-3102 M DATED NOVEMBER 4, 2015, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ZONE "X" AS DEFINED BY FEMA IS: AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 89°43'50" EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, ACCORDING TO BOOK 972 OF MAPS, PAGE 39, MARICOPA COUNTY RECORDS.

SITE PLAN KEYNOTES

- EXISTING 6" CONCRETE DITCH TO BE REMOVED
- EXISTING BASIN TO BE RELOCATED
- EXISTING CONCRETE SPILLWAY TO BE REMOVED/STORM DRAIN FROM OCOTILLO ROAD TO BE RECONNECTED ON-SITE RETENTION
- EXISTING SIDEWALK
- EXISTING IRRIGATION STRUCTURE TO REMAIN IN PLACE
- DRIVEWAY ACCESS PER C.O.C. STD. DET. C-228
- PROPOSED ASPHALT CONCRETE ROADWAY.
- PROPOSED 4' WIDE CONCRETE SIDEWALK.
- PROPOSED 5' WIDE CONCRETE SIDEWALK.
- 22'x8' PARALLEL VISITOR PARKING SPOT, TYPICAL
- SLIDING GATE, FIRE DEPARTMENT SECONDARY ACCESS ONLY. ACCESS W/ PRE-EMPTION DEVICE AND KEY SWITCH.
- 6' TALL BLOCK WALL
- 6' VIEW FENCE BETWEEN 2'x2' BLOCK COLUMNS
- 2' WROUGHT IRON OVER 4' CMU, BETWEEN 2'x2' BLOCK COLUMNS.
- ACCENT PAVING (TYP.)
- SLIDING GATE, RESIDENT'S EXIT ONLY DRIVEWAY
- ROLLED CURB FOR SRP ACCESS
- 19'x9' VISITOR PARKING SPOT, TYPICAL
16.5' PAVED WITH 2.5' LANDSCAPE OVERHANG.

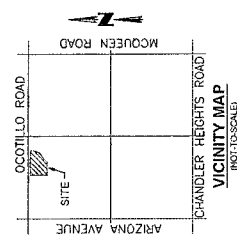


LEGEND

- FOUND BRASS CAP FLUSH
- SET 1/2" REBAR WITH CAP LSH#42186
- EX POWER POLE
- EX POLE STREET LIGHT
- EX TRANSFORMER
- CENTERLINE
- EASEMENT
- PROPERTY LINE
- RAILROAD
- CONCRETE SIDEWALK
- ACCENT PAVING - STAMPED ASPHALT
- LIMITS OF MODEL PHASE LINE
- 6' VIEW FENCE BETWEEN 2'x2' BLOCK COLUMNS
- 2' WROUGHT IRON OVER 4' CMU BETWEEN 2'x2' BLOCK COLUMNS
- 6' BLOCK WALL
- EXISTING HYDRANT
- PROPOSED HYDRANT
- ASSESSOR PARCEL NUMBER
- BUILDING
- CONCRETE
- DRIVEWAY
- EASEMENT
- FORCE MAIN SANITARY SEWER
- IRRIGATION
- MONUMENT LINE
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- RIGHT-OF-WAY
- RECLAIMED WATER
- SIDEWALK
- MODEL

NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD-BEARING
C1	366.40'	400.00'	052°29'00"	197.19'	333.73'	N65°30'44"E
C2	405.81'	400.00'	058°16'15"	222.98'	389.50'	S23°37'05"W
C3	141.03'	370.00'	081°50'00"	71.35'	140.15'	N11°11'24"E
C4	59.83'	182.50'	017°48'00"	20.16'	56.39'	N31°00'49"E
C5	51.10'	382.00'	012°30'09"	40.72'	86.33'	N45°20'09"E
C6	50.12'	430.00'	006°40'43"	25.09'	50.09'	S07°21'00"W

LINE TABLE		
NO.	BEARING	LENGTH
L1	N44°43'48"W	28.58'
L2	S07°16'14"W	52.88'
L3	N00°54'23"E	55.00'
L4	S44°43'48"E	21.21'
L5	S07°16'14"W	74.99'



ENGINEER
COE & VAN LOO CONSULTANTS, INC.
4550 NORTH 12TH STREET
PHOENIX, ARIZONA 85014
PHONE: (602) 264-6831
FAX: (602) 264-0928
CONTACT: RYAN WEED, P.E.
REGISTRATION NO. 37325
EMAIL: RWEED@CVLCI.COM

PROPERTY OWNER
PINE FOREST CO
11980 NE 24TH ST, UNIT 200
BELLEVUE, WA 98005

DEVELOPER
LENNAR ARIZONA, INC.
1725 W. GREENTREE DRIVE, STE. 114
TEMPE, ARIZONA 85284
PHONE: (480) 777-4625
CONTACT: TODD SKORO
CELL: (602) 921-6520
EMAIL: TODD.SKORO@LENNAR.COM

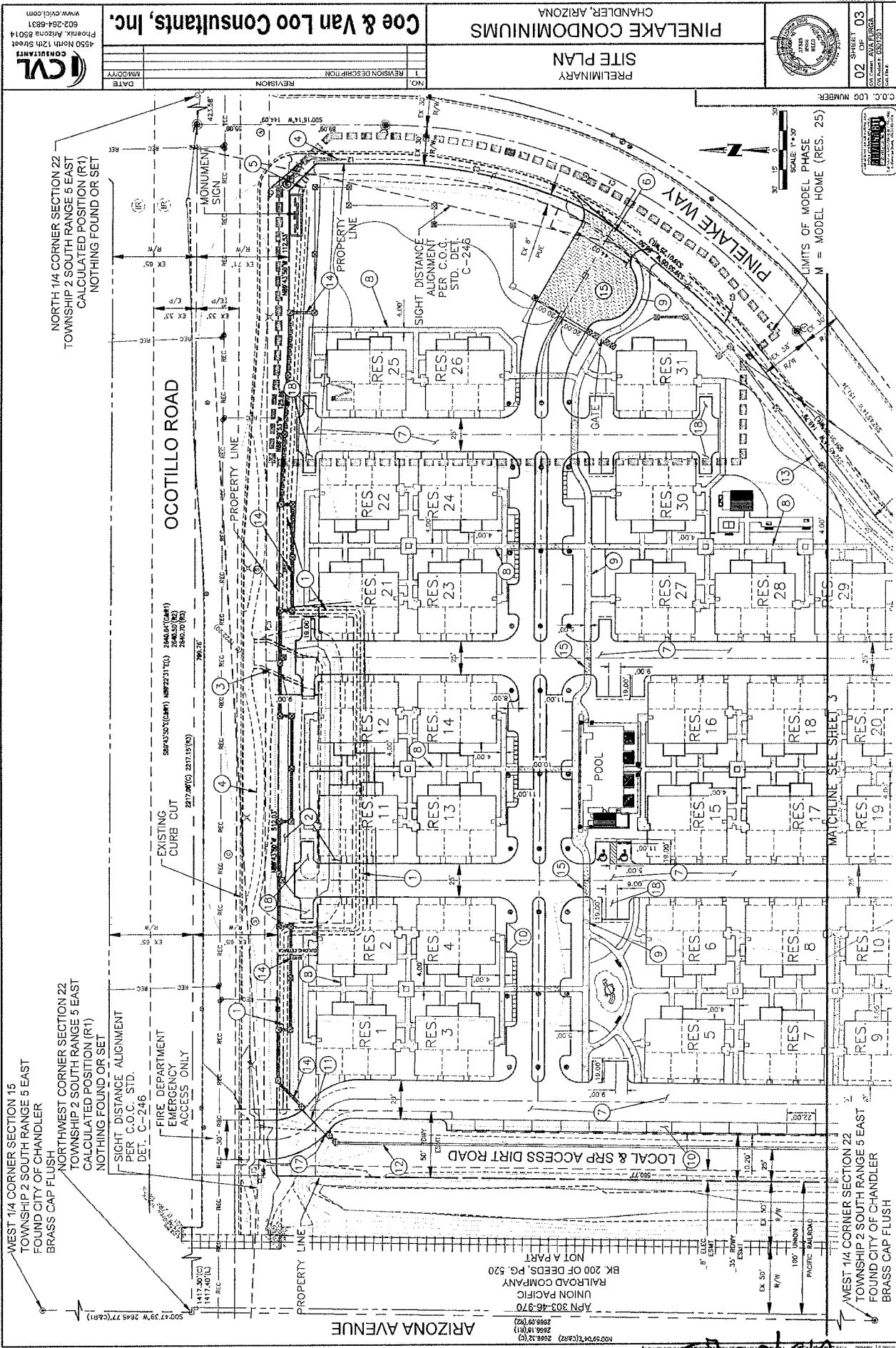


NO.	REVISION DESCRIPTION	DATE
1	REVISION DESCRIPTION	DATE

PRELIMINARY
SITE PLAN
PINELAKE CONDOMINIUMS
CHANDLER, ARIZONA



C.O.C. LOG NUMBER:
SHEET 01 OF 02
DATE: 01/11/2016
DRAWN BY: RYAN WEED
CHECKED BY: RYAN WEED
APPROVED BY: RYAN WEED

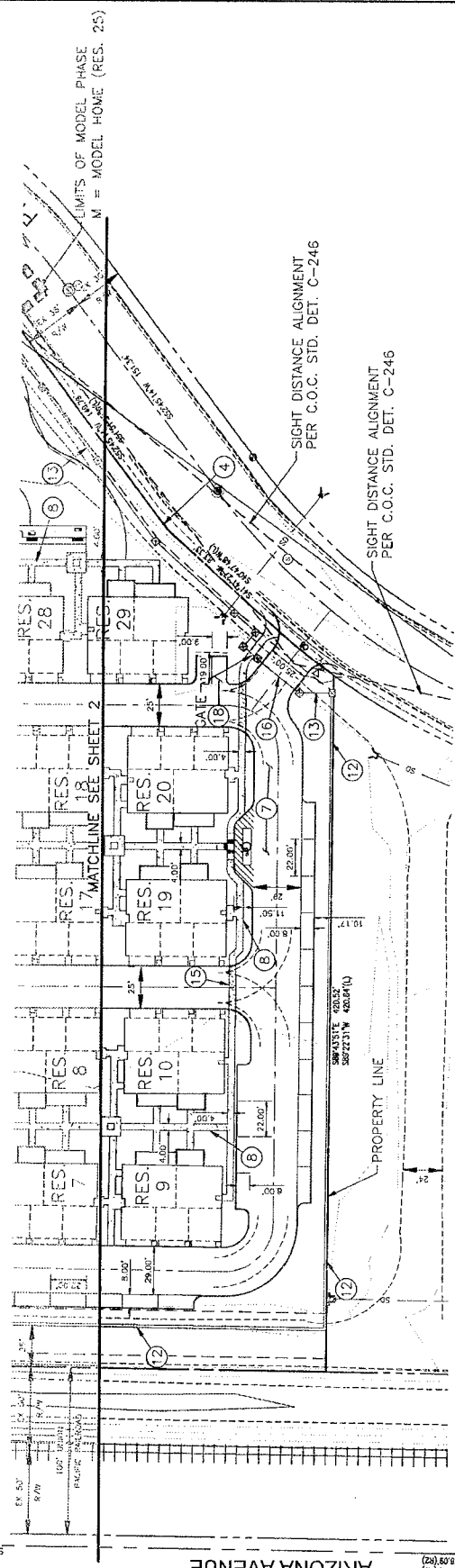


WEST 1/4 CORNER SECTION 15
TOWNSHIP 2 SOUTH RANGE 5 EAST
FOUND CITY OF CHANDLER
BRASS CAP FLUSH

WEST 1/4 CORNER SECTION 22
TOWNSHIP 2 SOUTH RANGE 5 EAST
FOUND CITY OF CHANDLER
BRASS CAP FLUSH

LINE TABLE		
NO.	BEARING	LENGTH
L1	M44°43'45"W	25.58'
L2	S50°18'14"W	52.86'
L3	N40°54'23"E	55.00'
L4	S44°43'48"E	21.21'
L5	S50°18'14"W	74.09'

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	TANGENT	CHORD-BEARING
C1	306.40'	400.00'	63°29'00"	197.19'	333.13'
C2	408.81'	400.00'	68°16'15"	222.86'	389.50'
C3	141.03'	370.00'	92°15'02"	71.38'	140.16'
C4	59.83'	182.50'	97°48'20"	30.16'	59.59'
C5	81.10'	355.00'	97°25'09"	40.72'	80.93'
C6	50.12'	450.00'	60°40'42"	25.09'	50.09'



- LEGEND:**
- FOUND BRASS CAP FLUSH
 - SET 1/2" REBAR WITH CAP L#42186
 - EX POWER POLE
 - EX POLE STREET LIGHT
 - EX TRANSFORMER

- CENTERLINE
- EASEMENT
- PROPERTY LINE
- RAILROAD
- CONCRETE SIDEWALK
- ACCENT PAVING - STAMPED ASPHALT
- LIMITS OF MODEL PHASE LINE
- 6' VIEW FENCE BETWEEN 2'x2' BLOCK COLUMNS
- 2' WROUGHT IRON OVER 4' CMU BETWEEN 2'x2' BLOCK COLUMNS
- 6' BLOCK WALL
- EXISTING HYDRANT
- PROPOSED HYDRANT

- APN
- BLDG
- CONC.
- D/W
- ESMT
- FM SS
- IRR
- ML

- ASSESSOR PARCEL NUMBER
- BUILDING
- CONCRETE
- DRIVEWAY
- EASEMENT
- FORCE MAIN SANITARY SEWER
- IRRIGATION
- MONUMENT LINE

- PL
- PUE
- R/W
- R/W
- SW
- MODEL

PINELAKE CONDOMINIUMS
SITE PLAN
PRELIMINARY

CHANDLER, ARIZONA

NO.	REVISION DESCRIPTION	DATE
1	REVISION	MADDERY

Coe & Van Loo Consultants, Inc.
4550 North 12th Street
Phoenix, Arizona 85014
602-264-6831
www.cvlcl.com

SHEET 03 OF 03
DATE: 08/02/2011
BY: JMM
CHECKED: JMM
SCALE: 1" = 40'

PINE LAKE

A PORTION OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 35N, RANGE 12E, COUNTY OF MARICOPA, ARIZONA

OWNER / DEVELOPER
LEHMAN ARIZONA, INC.
1735 W. GREENHILL DR.
SUITE 100 PHOENIX, AZ 85044
PH: 602.944.6334
FAX: 602.944.6335
CONTACT: TODD SKOROK
TODD.SKOROK@LEHMAN.COM

ON SITE DESIGN TEAM
Project Manager:
RYAN WOOD
Architect:
JULIE VERHILLION
Engineer:
TODD SKOROK
Landscape Architect:
STEVE VOORHEES

CONCEPT PLANT SCHEDULE

27" BOX 15 GAL 15 GAL 15 GAL 24" BOX 24" BOX	76	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	27" BOX 15 GAL 15 GAL 15 GAL 24" BOX 24" BOX
15 GAL 15 GAL 15 GAL 24" BOX 24" BOX	76	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	15 GAL 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	87	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	29	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	18, 83, 51	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	28, 78, 87	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	67, 33, 51	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	14, 61, 51	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX
24" BOX 15 GAL 15 GAL 24" BOX 24" BOX	500	SEEDLING TREES BACCHARIS VIRENS COTONEASTER CORREA BOSSCHER SCHRADERA VITEX AGRIUS X CATALPA BIGNONIENSIS / CHALUPA	24" BOX 15 GAL 15 GAL 24" BOX 24" BOX

CVL
CONSULTANT

4008 N. 24th Street, Phoenix, AZ 85016, phone: 602.264.4331, fax: 602.264.9739, www.cvl.com

Landscaping, Site Planning, Architectural Landscaping, Design, Tree Care, Landscape Architecture, Construction Management

PRELIMINARY LANDSCAPE PLAN

0 01 1
001 of 001

2.218
1" = 10' - 0"

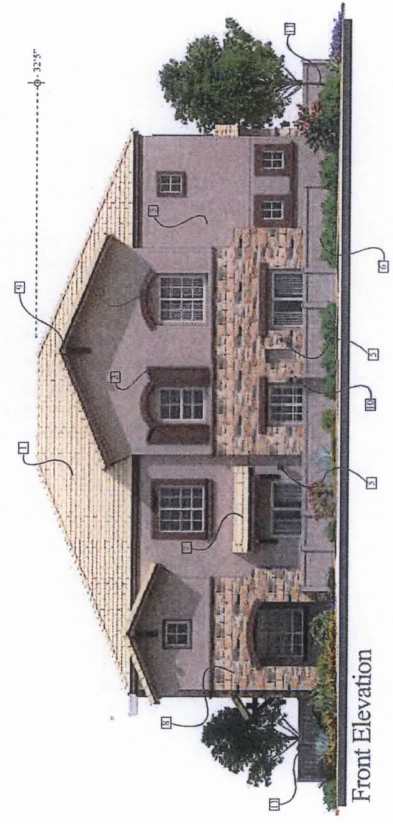
10' 0" 20' 0" 30' 0" 40' 0" 50' 0" 60' 0" 70' 0" 80' 0" 90' 0" 100' 0"

NOT TO SCALE. SEE PLANS FOR DIMENSIONS.

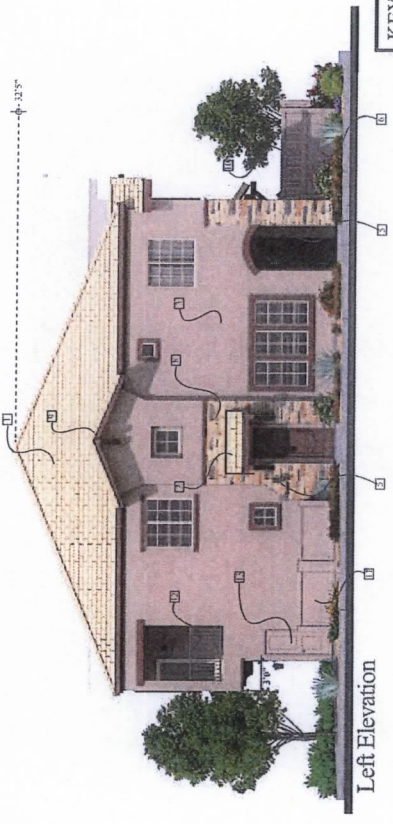


TREE QUANTITIES	QTY	QTY	MATURE	MATURE
STREET	REQUIRED	PROVIDED	REQUIRED	PROVIDED
PINE LAKE DRIVE	25	24	13	13
COTILLLO RD.	25	24	13	13
INTERNAL TREE LINED STREET	25	24	13	13
SHADING TREES	25	24	13	13
WEST PAL	25	24	13	13
TOTAL	100%	100%	100%	100%

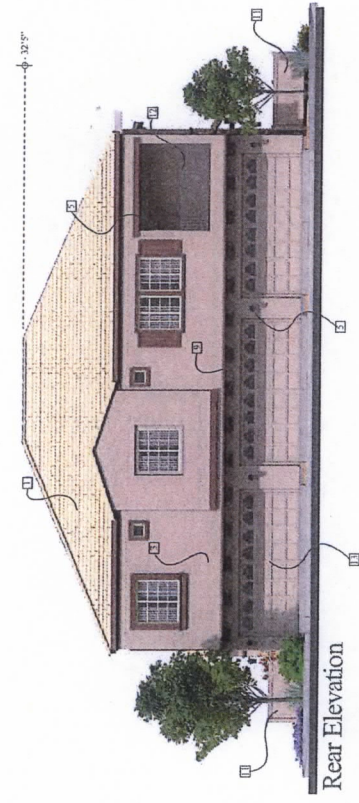
landscape plan



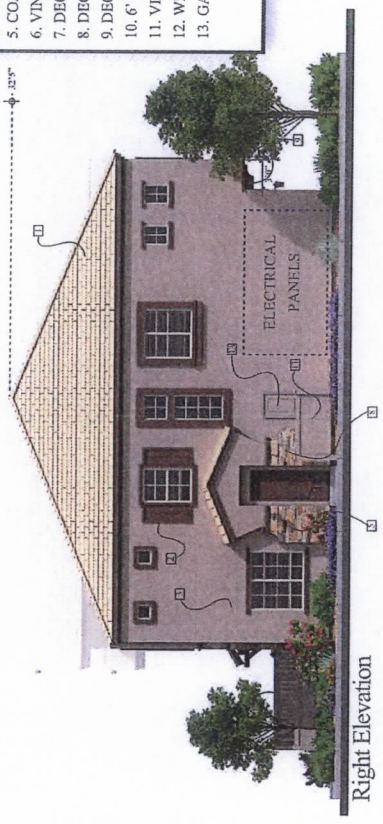
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

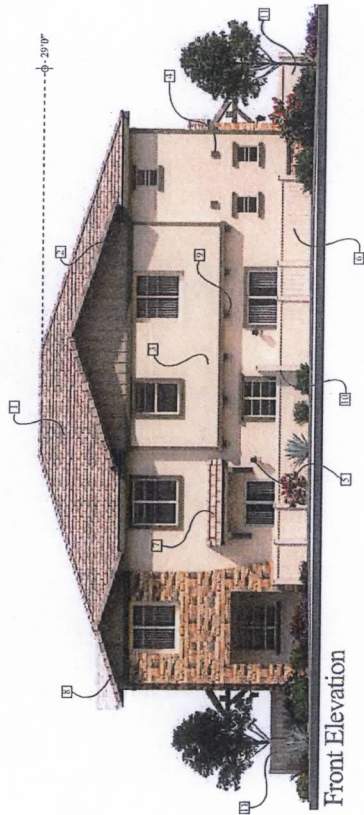
KEYED NOTES: FRENCH	<ol style="list-style-type: none"> 1. SLATE TILE ROOF 2. DECORATIVE SHUTTERS 3. STUCCO FINISH 4. RECESSED WINDOW 5. COACH LIGHT 6. VINYL YARD FENCING 7. DECORTIVE SHED ROOF 8. DECORATIVE STONE VENEER 9. DECORATIVE CORBEL 10. 6" VINYL FENCE 11. VINYL A/C FENCING 12. WROUGHT IRON FENCING 13. GARAGE DOOR
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Sample Building Elevations

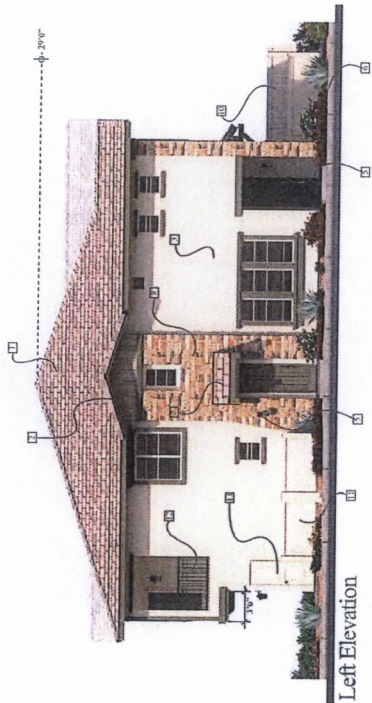
PINELAKE WEST

FRENCH ELEVATION

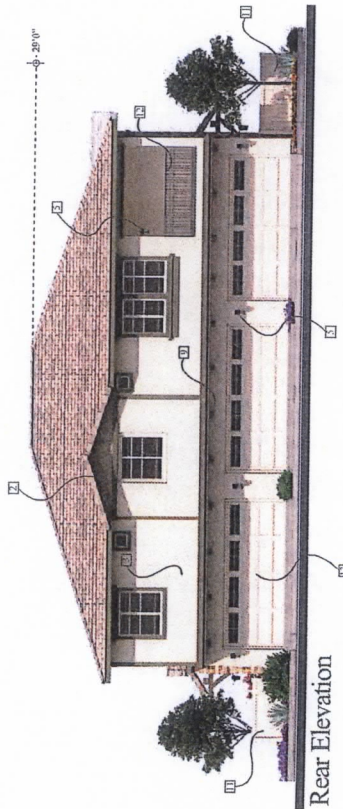
Chandler, Arizona



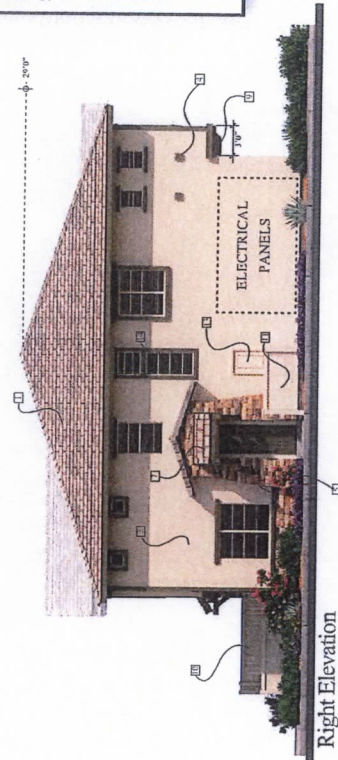
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

KEYED NOTES:

CRAFTSMAN

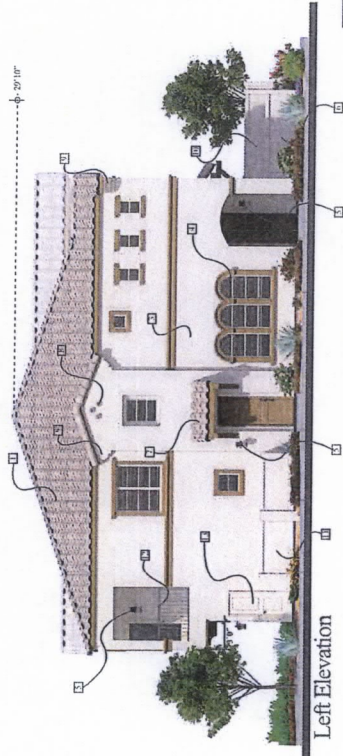
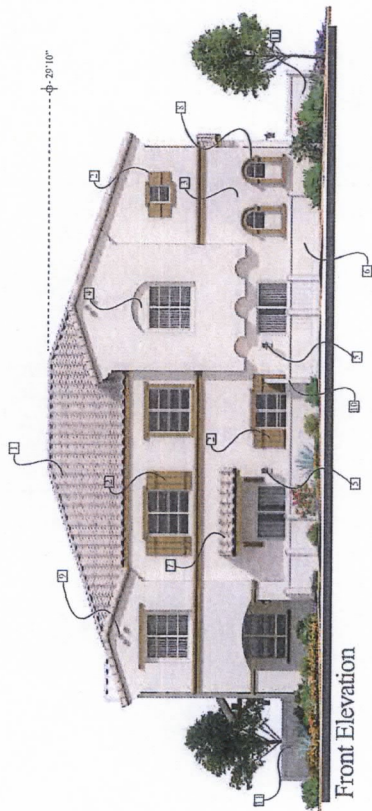
1. SLATE TILE ROOF
2. BOARD AND BATTEN SIDING
3. STUCCO FINISH
4. DECORATIVE DETAIL
5. COACH LIGHT
6. VINYL YARD FENCING
7. DECORTIVE SHED ROOF
8. DECORATIVE STONE VENEER
9. DECORATIVE CORBEL
10. 6" VINYL FENCE
11. VINYL A/C FENCING
12. WROUGHT IRON FENCING
13. GARAGE DOOR
14. WINDOW AT STAIRS

Sample
Building
Elevations

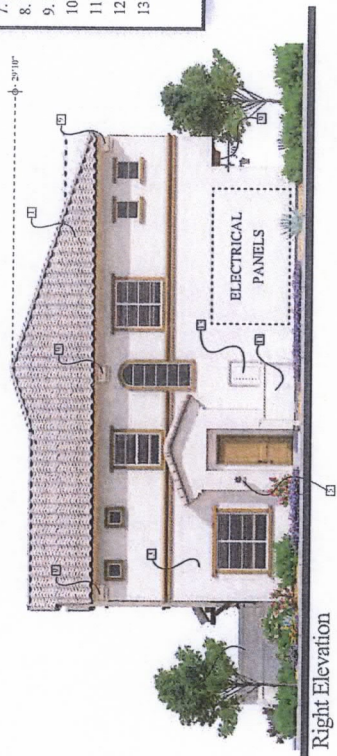
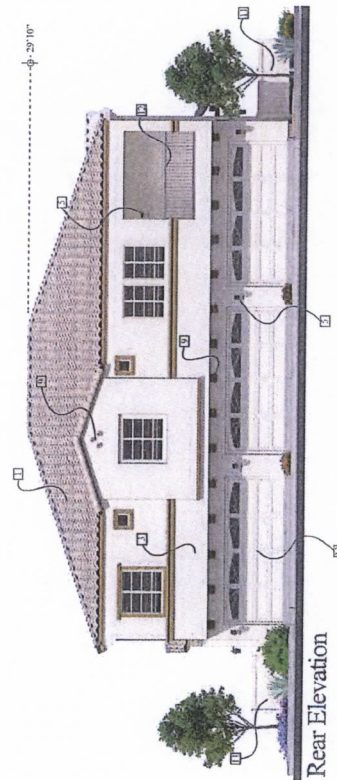
PINELAKE WEST

CRAFTSMAN ELEVATION

Chandler, Arizona



KEYED NOTES:	
SANTA BARBARA	
1. 5' TILE ROOF	
2. DECORATIVE SHUTTERS	
3. STUCCO FINISH	
4. RECESSED WINDOW	
5. COACH LIGHT	
6. VINYL YARD FENCING	
7. DECORTIVE SHED ROOF	
8. DECORATIVE STONE VENEER	
9. DECORATIVE CORBEL	
10. 6" VINYL FENCE	
11. VINYL AC FENCING	
12. WROUGHT IRON FENCING	
13. GARAGE DOOR	

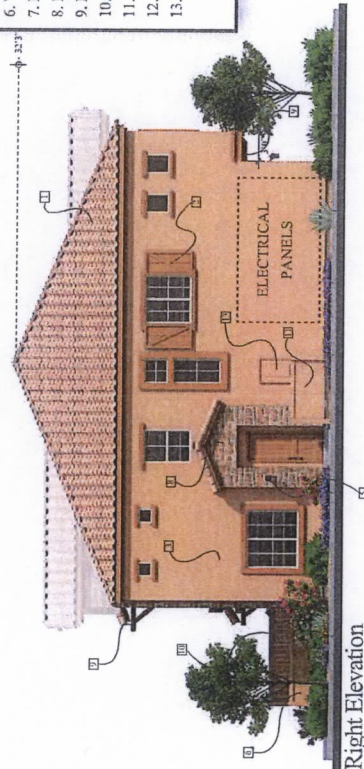
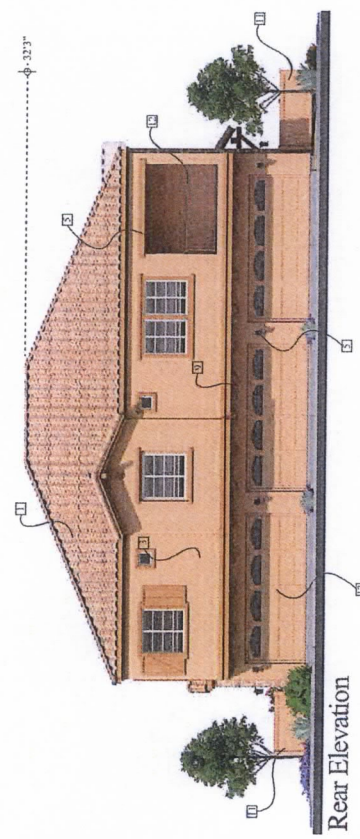
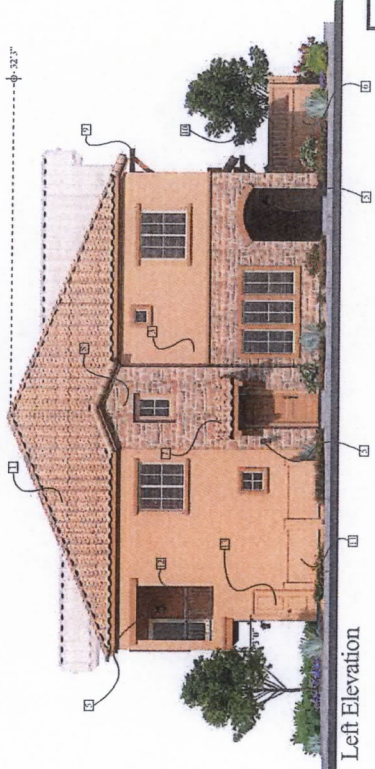
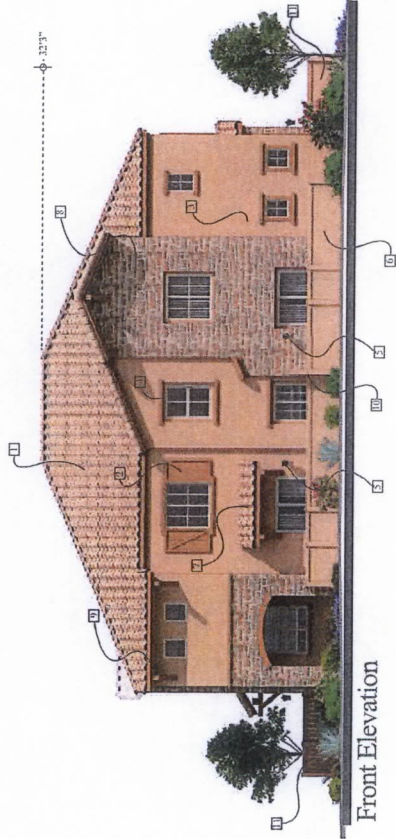


Sample
Building
Elevations

PINELAKE WEST

SANTA BARBARA ELEVATION

Chandler, Arizona



KEYED NOTES:
TUSCAN

1. 5" TILE ROOF
2. DECORATIVE SHUTTERS
3. STUCCO FINISH
4. RECESSED WINDOW
5. COACH LIGHT
6. VINYL YARD FENCING
7. DECORATIVE SHED ROOF
8. DECORATIVE STONE VENEER
9. DECORATIVE CORBEL
10. 6" VINYL FENCE
11. VINYL A/C FENCING
12. WROUGHT IRON FENCING
13. GARAGE DOOR

Sample
Building
Elevations

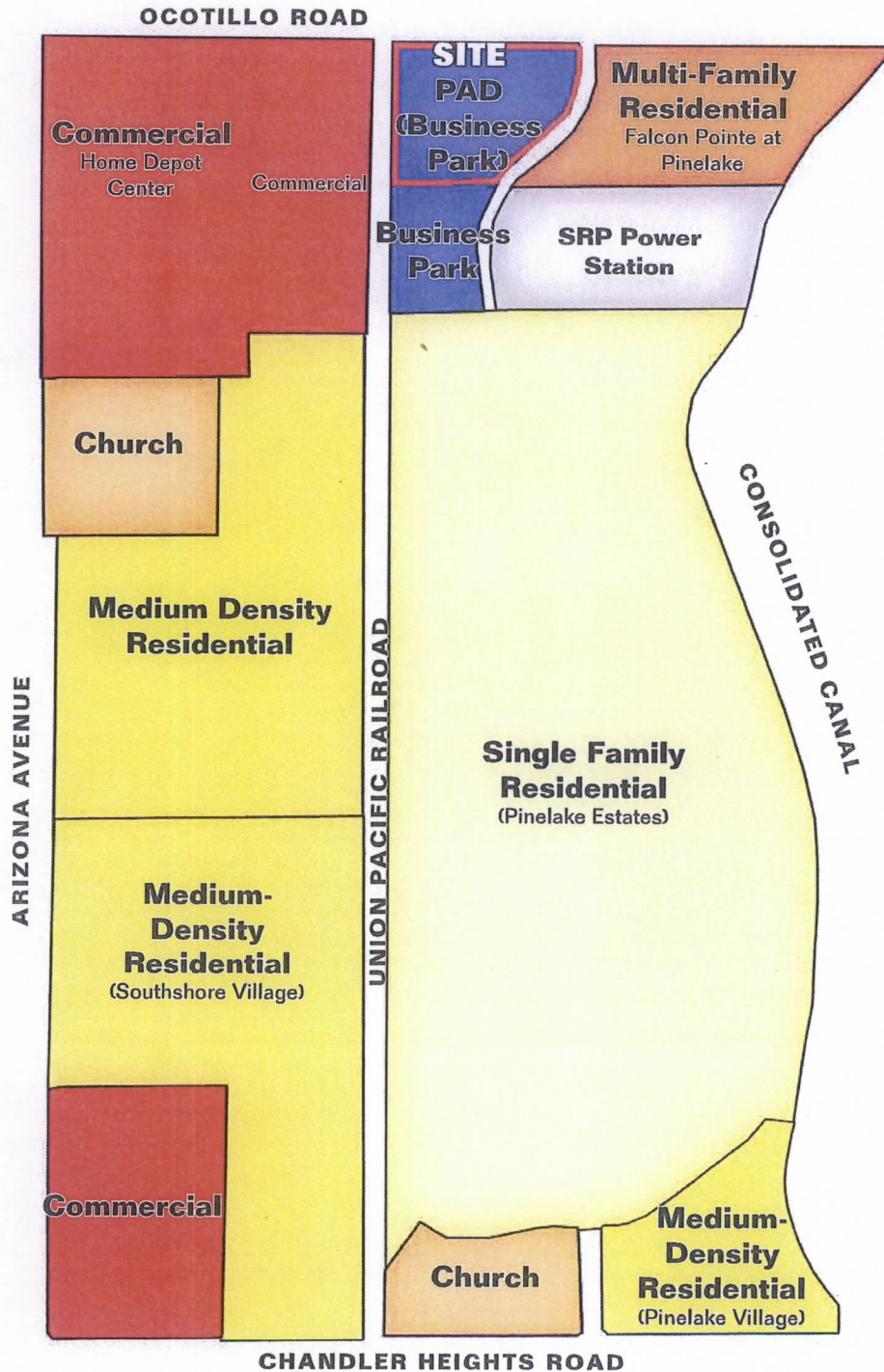
TUSCAN ELEVATION

PINELAKE WEST

Chandler, Arizona

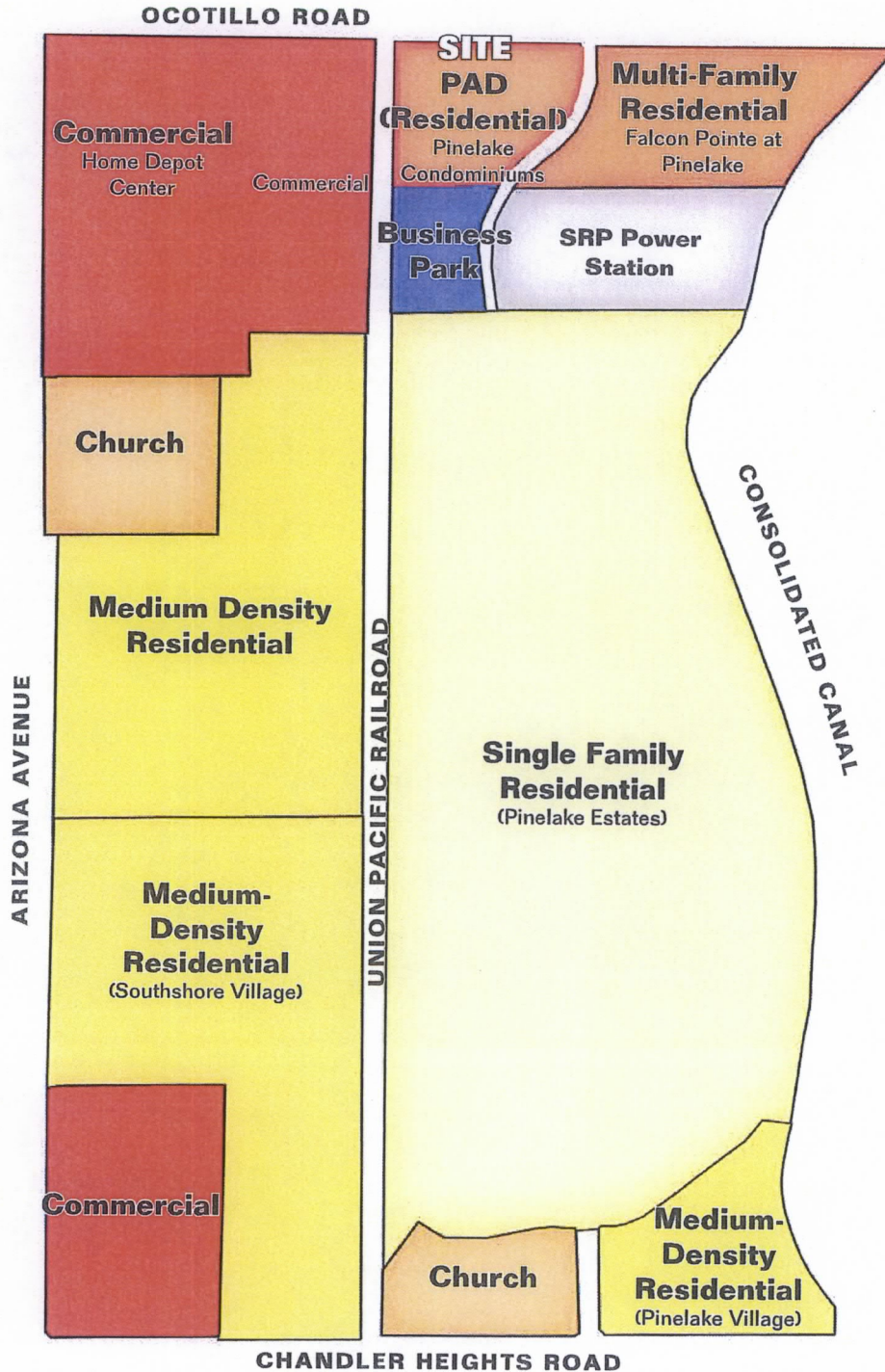
Pinelake Condominiums

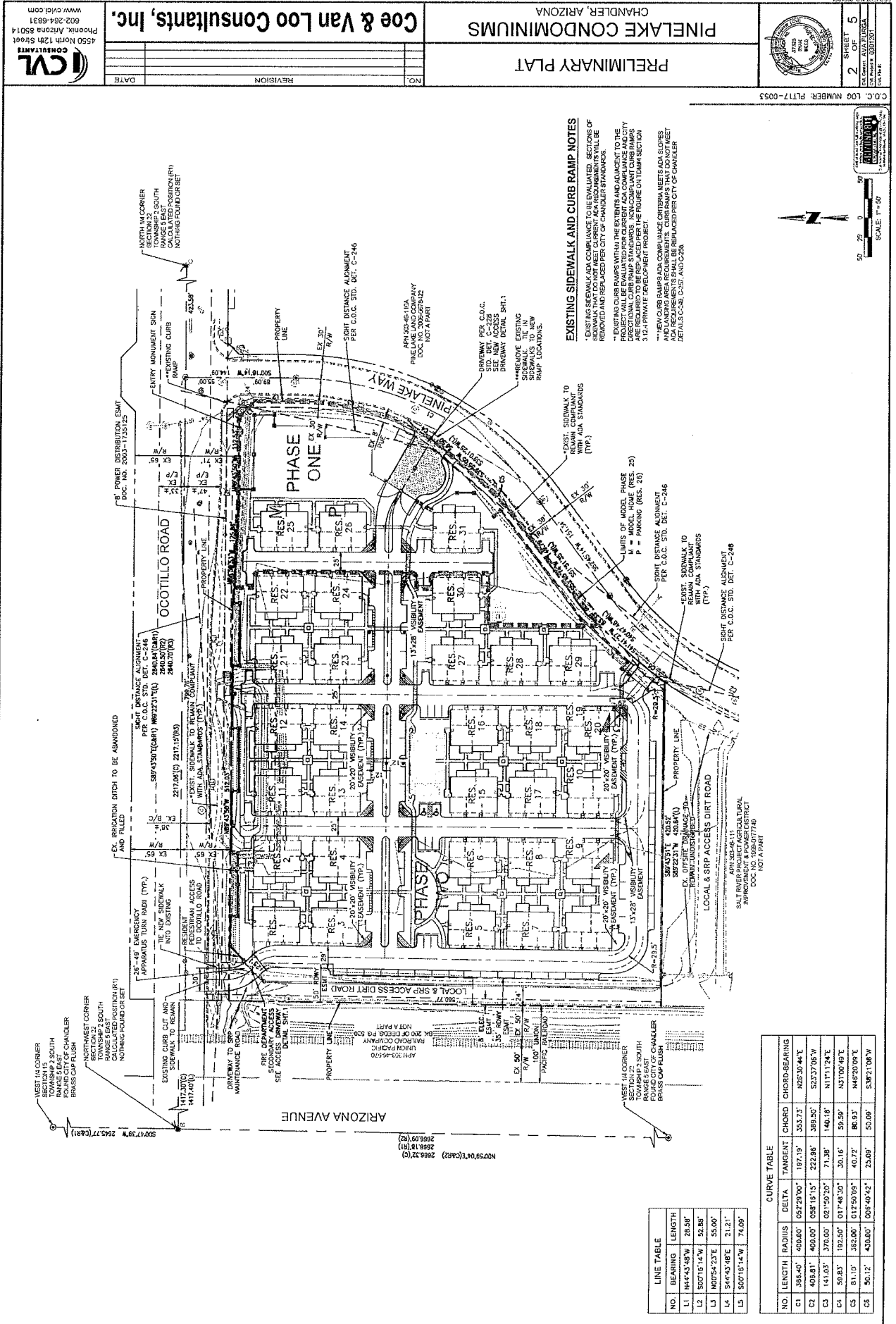
EXISTING
SOUTHSHORE AREA
PLAN



Pinelake Condominiums

PROPOSED
SOUTHSHORE AREA
PLAN





LINE TABLE		
NO.	BEARING	LENGTH
L1	N44°43'18"W	28.58'
L2	S00°15'14"W	52.86'
L3	N00°54'23"E	55.00'
L4	S44°43'48"E	21.21'
L5	S00°15'14"W	74.09'

CURVE TABLE				
NO.	LENGTH	RADIUS	DELTA	CHORD
C1	398.40'	400.00'	05°29'00"	197.19'
C2	408.01'	400.00'	05°15'15"	222.86'
C3	141.03'	370.00'	02°50'20"	71.38'
C4	59.83'	192.50'	01°48'30"	30.16'
C5	81.10'	382.00'	01°50'09"	40.73'
C6	50.12'	430.00'	00°40'42"	25.69'

EXISTING SIDEWALK AND CURB RAMP NOTES

- * EXISTING SIDEWALK ADA COMPLIANCE TO BE EVALUATED. SECTIONS OF SIDEWALK THAT DO NOT MEET CURRENT ADA REQUIREMENTS WILL BE REMOVED AND REPLACED PER CITY OF CHANDLER STANDARDS.
- ** EXISTING CURB RAMP WITHIN THE EXTENTS AND ADJACENT TO THE EXISTING SIDEWALK SHALL BE REMOVED AND REPLACED PER CITY OF CHANDLER STANDARDS. NON-COMPLIANT CURB RAMP ARE REQUIRED TO BE REPLACED PER THE FIGURE ON TAMA SECTION 3.1.2-A PRIVATE DEVELOPMENT PROJECT.
- *** EXISTING SIDEWALK ADA COMPLIANCE CRITERIA MEETS ADA SCORES AND REQUIREMENTS SHALL BE REPLACED PER CITY OF CHANDLER STANDARDS. DETAILS C-246, C-247, AND C-248.



SCALE: 1" = 50'

preliminary plat

RESOLUTION NO. 5169

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CHANDLER, ARIZONA, ADOPTING AN AMENDMENT TO THE "SOUTHSHORE AREA PLAN" FROM BUSINESS PARK TO RESIDENTIAL ON PROPERTY LOCATED AT THE SOUTHWEST CORNER OF OCOTILLO ROAD AND PINELAKE WAY.

WHEREAS, an interest has been expressed in seeking approval of a rezoning request, pending approval of an Area Plan amendment, for a particular development proposal located at the southwest corner of Ocotillo Road and Pinelake Way; and

WHEREAS, the Land Use policies within the Chandler General Plan adopted by the City Council on April 14, 2016, encourage the preparation of Area Plans that address distinct characteristics and support unique land use planning for each area; and

WHEREAS, an existing area plan, the "Southshore Area Plan", has been adopted for the area bounded by Ocotillo Road, Arizona Avenue, Chandler Heights Road, and the Consolidated Canal;

WHEREAS, the applicant prepared this amendment to the existing "Southshore Area Plan"; and

WHEREAS, such an amendment, covering a portion of the adopted Area Plan including a map has been prepared by the applicant for consideration by the City Council after having received public input from the Planning and Zoning Commission and property owners at a previous public hearing;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. That the attached map exhibit, an Amendment to the "Southshore Area Plan", as presented to the Planning and Zoning Commission and approved at their public hearing held on May 16, 2018, is hereby adopted as the guideline for future rezoning and development for the area described within it.

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona, this _____ day of _____, 2018.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I HEREBY CERTIFY that the above and foregoing Resolution No. 5169 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting was held on the _____ day of _____, 2018, and that a quorum was present thereat.

CITY CLERK

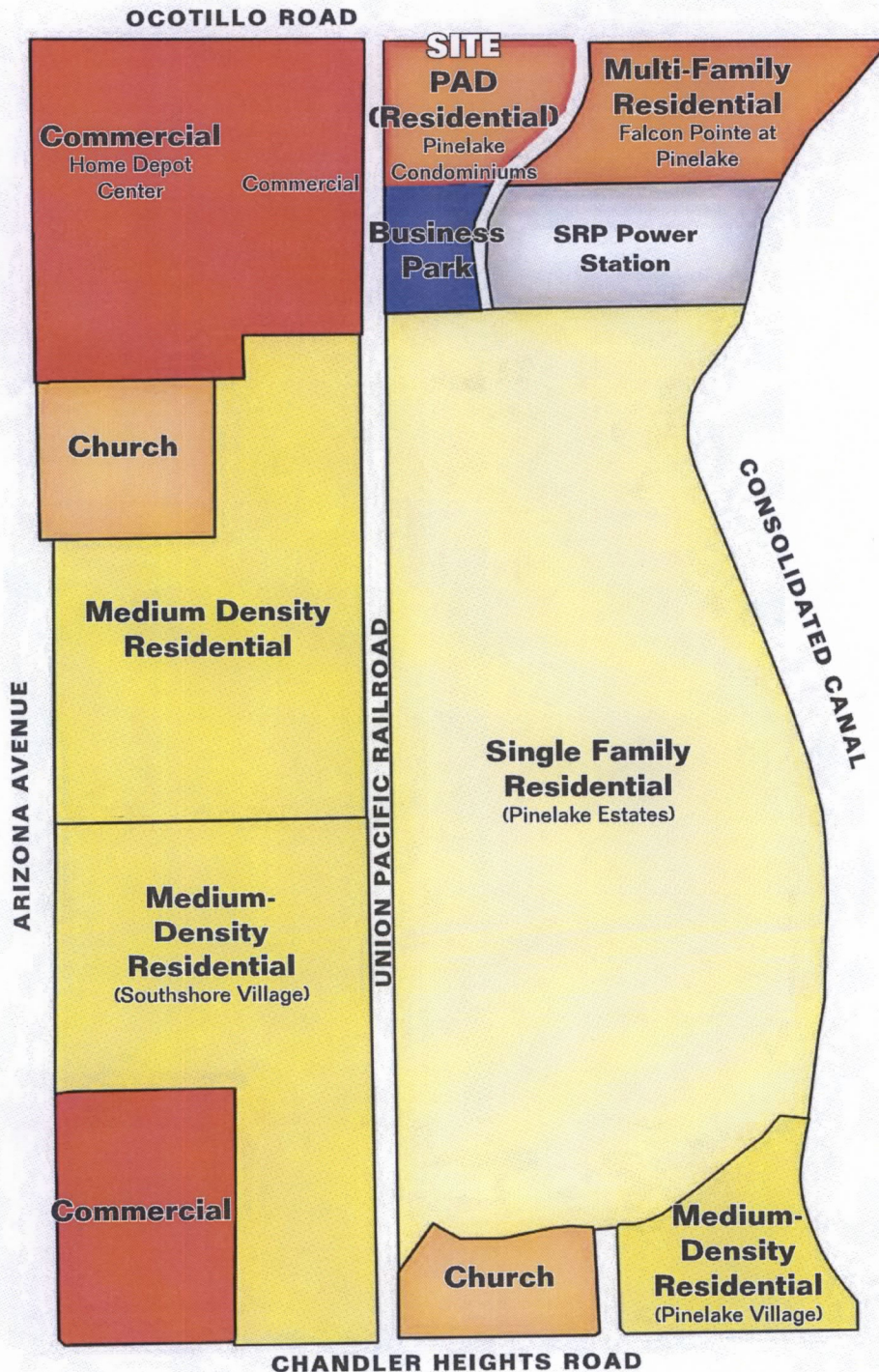
APPROVED AS TO FORM:

CITY ATTORNEY



Pinelake Condominiums

PROPOSED
SOUTHSHORE AREA
PLAN



ORDINANCE NO. 4826

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY REZONING A PARCEL FROM PLANNED AREA DEVELOPMENT (PAD) FOR BUSINESS PARK TO PAD (RESIDENTIAL) IN CASE (DVR17-0019 PINELAKE CONDOMINIUMS) LOCATED AT THE SOUTHWEST CORNER OF OCOTILLO ROAD AND PINELAKE WAY WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in a local newspaper with general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, a public hearing was held by the Planning and Zoning Commission as required by the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Chandler, Arizona, as follows:

SECTION I. Legal Description of Property:

See Exhibit 'A'.

Said parcel is hereby rezoned from Planned Area Development (PAD) for Business Park to PAD (Residential), subject to the following conditions:

1. Development shall be in substantial conformance with Exhibit A, Development Booklet, entitled "PINELAKE CONDOMINIUMS", kept on file in the City of Chandler Planning Division, in File No. DVR17-0019, except as modified by condition herein.
2. Construction shall commence above foundation walls within three (3) years of the effective date of the ordinance granting this rezoning or the City shall schedule a public hearing to take administrative action to extend, remove or determine compliance with the schedule for development or take legislative action to cause the property to revert to its former zoning classification.

3. Undergrounding of all overhead electric (less than 69kv), communication, and television lines and any open irrigation ditches or canals located on the site or within adjacent right-of-ways and/or easements. Any 69kv or larger electric lines that must stay overhead shall be located in accordance with the City's adopted design and engineering standards. The aboveground utility poles, boxes, cabinets, or similar appurtenances shall be located outside of the ultimate right-of-way and within a specific utility easement.
4. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
5. Future median openings shall be located and designed in compliance with City adopted design standards (Technical Design Manual #4).
6. Approval by the Planning Administrator of plans for landscaping (open spaces and rights-of-way) and perimeter walls and the Transportation & Development Director for arterial street median landscaping.
7. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals or as otherwise approved in a development agreement.
8. Unless otherwise included as part of the City's Capital Improvement Program, the developer shall be required to install landscaping in the arterial street median(s) adjoining this project. In the event that the landscaping already exists within such median(s), the developer shall be required to upgrade such landscaping to meet current City standards.
9. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
10. Homebuilder will advise all prospective homebuyers of the information on future City of Chandler facilities contained in the City Facilities map found at www.chandleraz.gov/infomap, or available from the City's Communication and Public Affairs Department. The homebuilder shall post a copy of the City Facilities map in the sales office showing the location of future and existing City facilities.
11. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing railroad tracks and railroad right-of-way that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing railroad track and railroad right-of-way, and the disclosure

shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

12. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing industrial property and industrial businesses that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby existing industrial property and industrial businesses, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
13. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby an existing landfill and a transfer station that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing landfill and a transfer station, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
14. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby existing Salt River Project electrical facility property that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby an existing Salt River Project electrical facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.

SECTION II. Except where provided, nothing contained herein shall be construed to be an abridgment of any other ordinance of the City of Chandler.

SECTION III. The Planning Division of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council of the City of Chandler, Maricopa County, Arizona, this ____ day of _____, 2018.

ATTEST:

CITY CLERK

MAYOR

PASSED AND ADOPTED by the City Council of the City of Chandler, Arizona this ____ day of _____, 2018.

ATTEST:

CITY CLERK

MAYOR

CERTIFICATION

I, HEREBY CERTIFY, that the above and foregoing Ordinance No. 4826 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the ____ day of _____, 2018, and that a quorum was present thereat.

CITY CLERK

APPROVED AS TO FORM:

CITY ATTORNEY



PUBLISHED:

Exhibit 'A'

Ord # 4026

That portion of the Northwest Quarter of Section 22, Township 2 South, Range 5 East of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the calculated position of the Northwest Corner of said Section 22, from which the City of Chandler Brass Cap flush marking the West Quarter Corner of said Section 22 bears South $00^{\circ}59'04''$ West, a distance of 2,666.32 feet, and from which the City of Chandler Brass Cap flush marking the West Quarter Corner of Section 15, Township 2 South, Range 5 East bears North $00^{\circ}47'39''$ East, a distance of 2,645.77 feet;

Thence South $89^{\circ}43'50''$ East, along the North line of the Northwest Quarter of said Section 22, a distance of 1,417.30 feet to a point on the Easterly right-of-way line of the Union Pacific Railroad as described in Book 200 of Deeds, Page 520, Records of Maricopa County, Arizona, said point being the True Point of Beginning;

Thence continuing South $89^{\circ}43'50''$ East, along said North line, a distance of 799.76 feet to a City of Chandler Brass Cap flush marking the monument line of Pinelake Way as depicted in Book 584 of Maps, Page 27, Records of Maricopa County, Arizona;

Thence along the monument line of said Pinelake Way the following courses:

Thence South $00^{\circ}16'14''$ West, a distance of 144.09 feet to a City of Chandler Brass Cap flush marking the beginning of a tangent curve of 400.00 foot radius, concave Westerly;

Thence Southerly, along said curve, through a central angle of $52^{\circ}29'00''$, a distance of 366.40 feet to a City of Chandler Brass Cap flush;

Thence South $52^{\circ}45'14''$ West, a distance of 151.34 feet to a City of Chandler Brass Cap flush marking the beginning of a tangent curve of 400.00 foot radius, concave Southeasterly;

Thence Southwesterly, along said curve, through a central angle of $14^{\circ}42'08''$, a distance of 102.64 feet to a point on the Northerly line of that certain parcel of land described in Exhibit A in Document No. 99-0177749, Records of Maricopa County, Arizona;

Thence North $89^{\circ}43'51''$ West, departing said monument line along said Northerly line, a distance of 457.72 feet to a point on said Easterly right-of-way line of the Union Pacific Railroad;

Exhibit 'A' ord #4826

Thence North $00^{\circ}54'23''$ East, along said Easterly right-of-way line, a distance of 625.77 feet to the True Point of Beginning.

Containing 444,872 Square Feet or 10.2129 Acres, more or less.



Expires: 3/31/20