



Memorandum Development Services – Memo No. PZ20-043

Date: October 21, 2020

To: Planning and Zoning Commission

Thur: Kevin Mayo, Planning Administrator *MM*
David De La Torre, Planning Manager *DDLT*

From: Lauren Schumann, Senior Planner *LS*

Subject: PLH19-0060/PLT20-0004 Falcon Storage Condos

Request: Preliminary Development Plan (PDP) for site layout and building architecture for privately owned condominium storage units

Preliminary Plat (PLT) approval

Location: Northeast corner of the Union Pacific Railroad and Willis Road

Applicant: Adam Baugh; Withey Morris, PLC

Background

- Approximately 9.47 acres
- Subject site zoned Planned Area Development (PAD) for Industrial Park in 1986
- Uses permitted under the zoning allow for light industrial (I-1) uses
- 2016 PDP approved site for self-storage facility with outdoor recreational vehicle storage and a 62,240 square foot flex industrial building

Surrounding Land Use Data

North	SanTan Loop 202 Freeway	South	Willis Road; then two industrial businesses 84 Lumber & Pods self-storage facility
East	Undeveloped ADOT property	West	Union Pacific Railroad, then commercial shopping center

Proposed Development

Building Square Footage	156,959 total square feet <ul style="list-style-type: none"> • 10 Buildings; 133 units • 1,219 square foot club house
Building Height	One-story buildings; flat roofs 23' top of roof, 29' for tower features
Façade Materials	<ul style="list-style-type: none"> • Metal Panels- vertical & horizontal panels • Stucco • Split-face CMU block
Parking Spaces Provided	5 spaces adjacent to club house; units can accommodate owners' vehicle when on-site

- Proposal consists of 133 privately owned units within ten buildings and an exclusive club house for condo owners
- Units are climate controlled for storage of vehicles, boats, and hobby cars, etc.
- Units are privately owned units, which be individually sold, condominium platted, and be maintained by recorded CC&R's

Review and Recommendation

Planning staff has reviewed the request and supports the proposal citing consistency with the General Plan and Chandler Airpark Area Plan (CAAP). Additionally the proposed condominium storage units are consistent with the adopted land plans for this site as well as meeting the City's Zoning Code and design expectations for architecture and site layout.

There is one requested waiver from Zoning Code regarding parking requirements for the storage facility. The Zoning Code parking schedule does not include a parking ratio for storage facilities, only light industrial warehousing and manufacturing. Therefore, the applicant proposes parking appropriate for the storage use consisting of five parking spaces at the club house for guest of the club house citing units can accommodate owner's vehicle when on-site. Additionally drive isles within the development are oversized to allow for maneuvering of recreational vehicles and can accommodate parallel parking, which provides adequate on-site parking.

The request was conscientiously reviewed regarding the interface of the development and the view from the SanTan Loop 202 Freeway located to the north. Special attention to building height and the view from the freeway were considered to ensure roof tops are not seen. Corners of buildings provide increased parapet heights to create diversity for elevations adjacent to the freeway. The buildings utilize a mix of materials including stucco, split face cmu, and metal panels to enhance the architecture by providing a mix a textures and color. Further, the slope of the east bound on-ramp, existing ADOT landscaping, and proposed ten foot perimeter landscaping containing trees will limit the

view into the development: the development is not seen from the west bound lanes of the freeway. Additionally, CC&R's will prohibit outdoor storage.

Public/Neighborhood Outreach

- This request was noticed in accordance with requirements of the Chandler Zoning Code.
- A neighborhood meeting was held on December 17, 2019, no one attended other than the applicant.
- As of the writing of this memo, Planning staff is not aware of any concerns or opposition to the request.

Recommended Actions

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Falcon Storage Condos" and kept on file in the City of Chandler Planning Division, in File No. PLH19-0060, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. Compliance with original conditions adopted by the City Council as Ordinance No. 1644 in case Z86-025 Larry S. Lazarus.
3. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
4. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
5. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
6. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.

Preliminary Plat

Planning staff recommends Planning and Zoning Commission move to recommend approval of Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Proposed Motions

Preliminary Development Plan

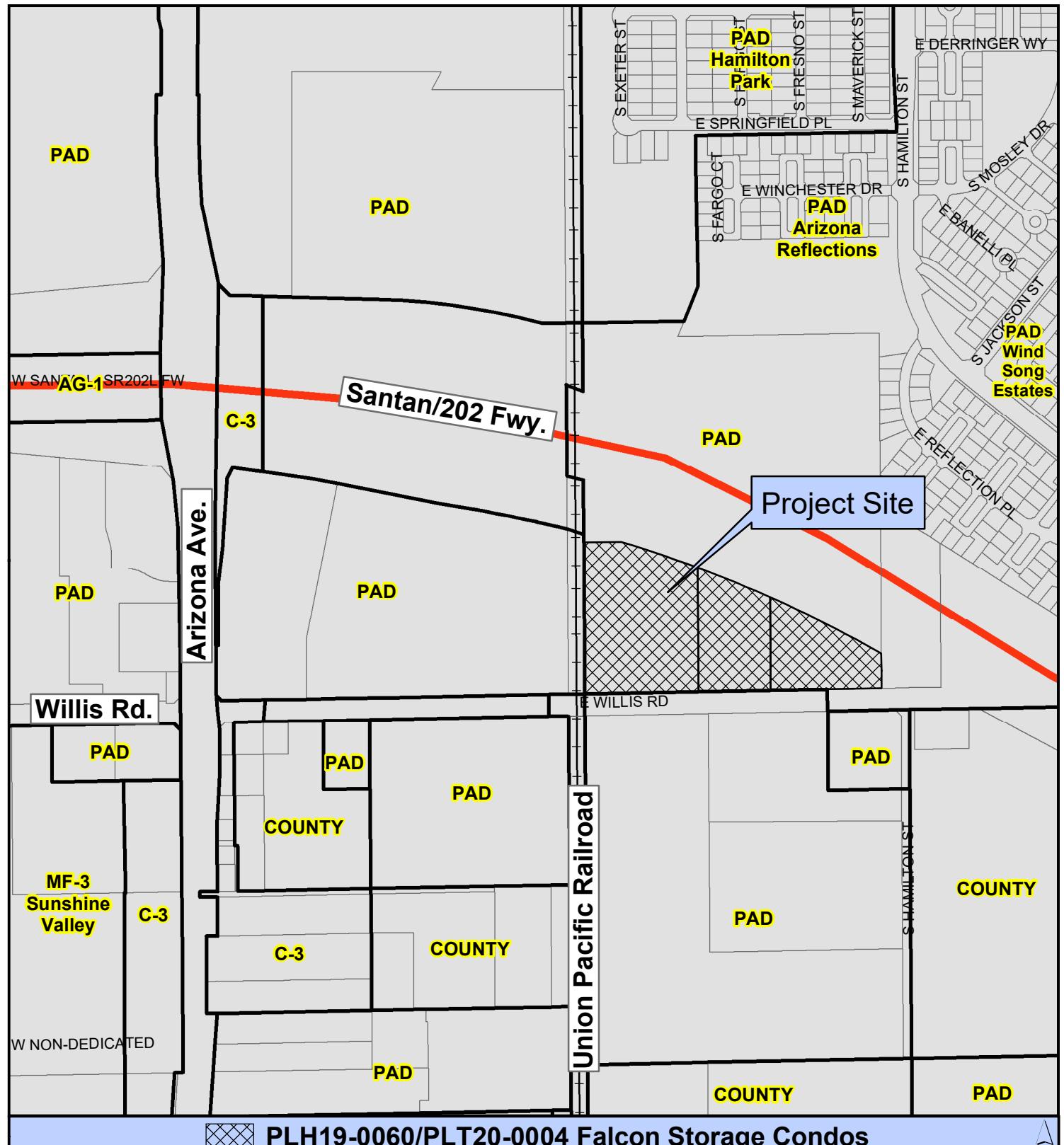
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan PLH19-0060 Falcon Storage Condos for site layout and building architecture for privately owned condominium storage unit, subject to the conditions as recommended by Planning staff.

Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat PLT20-0004 Falcon Storage Condos, per Planning staff recommendation.

Attachments:

1. Vicinity Maps
2. Ordinance No. 1644
3. 1982's "Environmental Design Criteria for Industrial Park"
4. Development Booklet, Attachment A



Project Details

Project PDP

PDI
9.47 Acres

Condominium Storage Facility (Future)

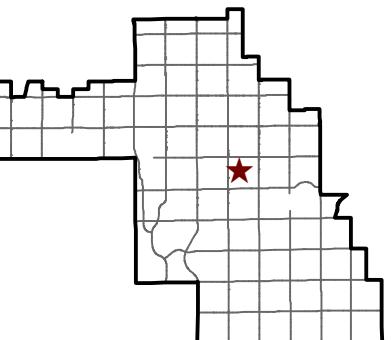


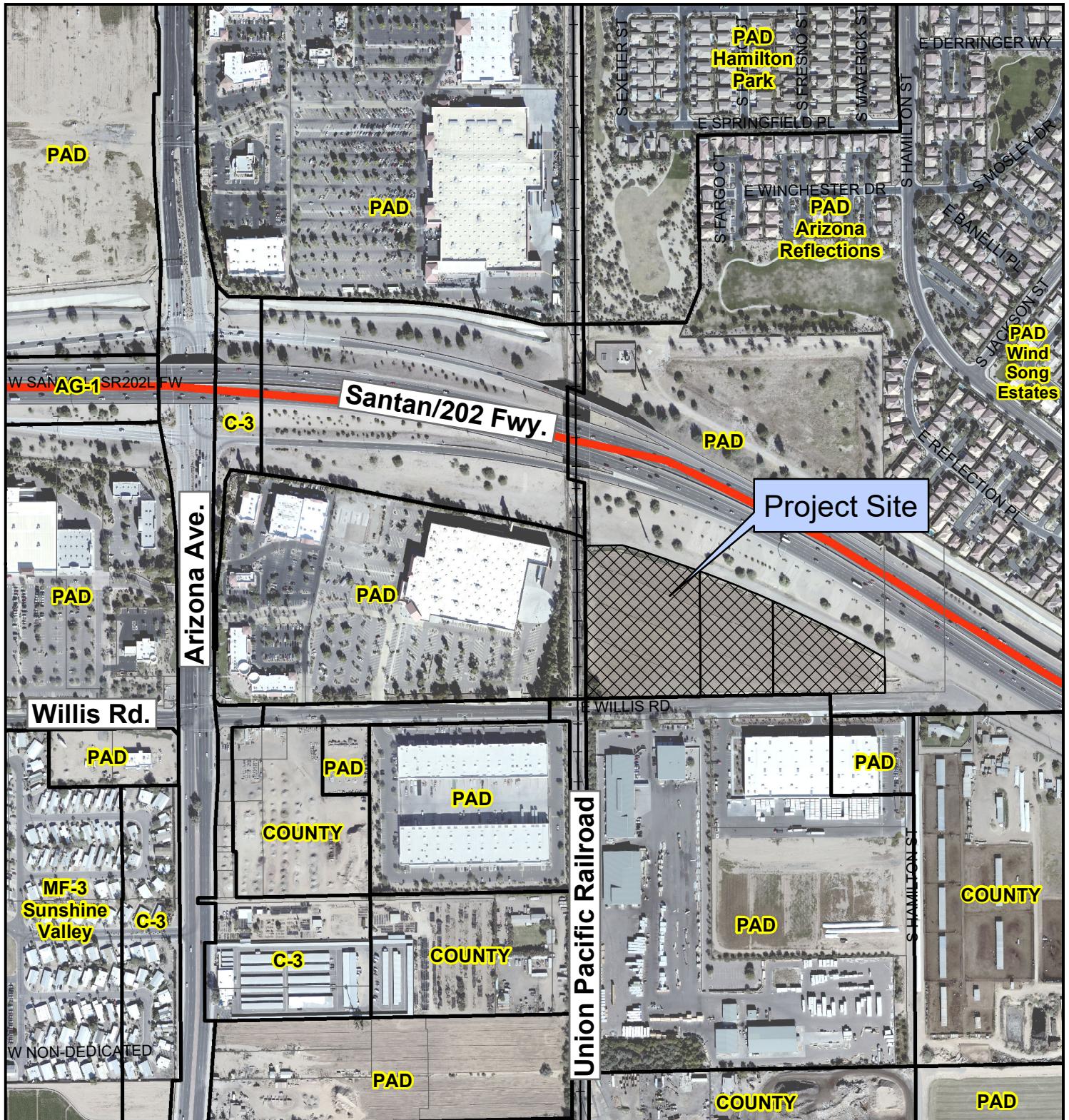
City of Chandler Planning Division

or Chandler Planning Division
chandleraz.gov/planning

For more information visit:

For more information visit:
<https://gis.chandleraz.gov/planning>





 PLH19-0060/PLT20-0004 Falcon Storage Condos



Project Details

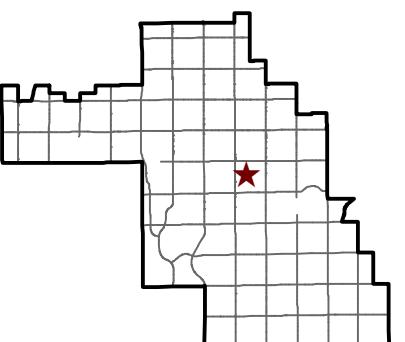
PDP

9.47 Acres

Condominium Storage Facility (Future)



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



ORDINANCE NO. 1644

AN ORDINANCE OF THE CITY OF CHANDLER, ARIZONA, AMENDING THE ZONING CODE AND MAP ATTACHED THERETO, BY PROVIDING FOR THE REZONING OF A CERTAIN PARCEL OF REAL PROPERTY, MORE PARTICULARLY DESCRIBED IN CASE Z86-25 LARRY LAZARUS, FROM AG-1 TO PAD CONCEPTUAL, LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF CHANDLER, ARIZONA.

WHEREAS, application for rezoning involving certain property within the corporate limits of Chandler, Arizona, has been filed in accordance with Article XXVI of the Chandler Zoning Code; and

WHEREAS, the application has been published in the Chandler Arizonan, a daily newspaper of general circulation in the City of Chandler, giving fifteen (15) days notice of time, place and date of public hearing; and

WHEREAS, a notice of such hearing was posted on the property at least seven (7) days prior to said public hearing; and

WHEREAS, public hearings were held by the Planning and Zoning Commission as required by the Zoning Code;

NOW, THEREFORE, BE IT ORDAINED BY THE City Council of the City of Chandler, Arizona, as follows:

SECTION 1. Legal description of property:

That part of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Parcel 1.

BEGINNING at a point on the South line of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian a distance of 3992.3 feet (3998.61 feet measured) East of the Southwest corner of the North half of said Section 3, said point being 2542.3 feet (2542.47 feet measured) East of the East line of the land and right-of-way of the Arizona Eastern Railroad Company, a corporation, and the TRUE POINT OF BEGINNING; thence North (N 0° 04'37" E measured) and parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, 2730.26 feet (2733.49 feet measured) to the North line of said Section 3; thence West and along said North line a distance of 1451.32 feet to a point; thence South parallel to the East line of the right-of-way of said railroad to the South line of the North half of said Section 3; thence East along said South line 1451.41 feet to the TRUE POINT OF BEGINNING; except the North 33 feet road right-of-way; and except the South 33 feet road right-of-way.

Parcel 2.

BEGINNING at a point on the South line of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian a distance of 2547.20 feet East of the Southwest corner of the North half of said Section 3, said point being 1091.06 feet East of the East line of the land and right-of-way of the Arizona Eastern Railroad Company, a corporation, and the TRUE POINT OF BEGINNING; thence North and parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, 661.85 feet; thence West and parallel to the East/West midsection line a distance of 1091.06 +/- feet to the point of intersection with the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation; thence South and along the East line of the right-of-way of said railroad to the South line of the North half of said Section 3; thence East along said South line 1091.06 feet to the TRUE POINT OF BEGINNING; except the South 33 feet road right-of-way.

Parcel 3.

BEGINNING at a point on the South line of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian a distance of 2547.20 feet East of the Southwest corner of the North half of said Section 3, said point being 1091.06 feet East of the East line of the land and right-of-way of the Arizona Eastern Railroad Company, a corporation; thence North and parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, 661.85 feet to the TRUE POINT OF BEGINNING; thence continuing North on a line parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, a distance of 169.69 feet; thence West and parallel to the East/West midsection line a distance of 1091.06 feet to the point of intersection with the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation; thence South and along the East line of the right-of-way of said railroad a distance of 169.69 feet; thence East along a line parallel to the East/West midsection line a distance of 1091.06 feet to the TRUE POINT OF BEGINNING.

Parcel 4.

BEGINNING at a point on the South line of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian a distance of 2547.20 feet East of the Southwest corner of the North half of said Section 3, said point being 1091.06 feet East of the East line of the land and right-of-way of the Arizona Eastern Railroad Company, a corporation; thence North and parallel to the East line of the right-of-way of the

Arizona Eastern Railroad Company, a corporation, 831.54 feet to the TRUE POINT OF BEGINNING; thence continuing North on a line parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, a distance of 516.43 feet; thence West and parallel to the East/West midsection line a distance of 1091.06 feet to the point of intersection with the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation; thence South and along the East line of the right-of-way of said railroad a distance of 516.43 feet; thence East along a line parallel to the East/West midsection line a distance of 1091.06 feet to the TRUE POINT OF BEGINNING.

Parcel 5.

BEGINNING at a point on the South line of the North half of Section 3, Township 2 South, Range 5 East of the Gila and Salt River Base and Meridian a distance of 2547.20 feet East of the Southwest corner of the north half of said Section 3, said point being 1091.06 feet East of the East line of the land and right-of-way of the Arizona Eastern Railroad Company, a corporation; thence North and parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, 1347.97 feet to the TRUE POINT OF BEGINNING; thence continuing North on a line parallel to the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, a distance of 1373.39 +/- feet to the point of intersection with the North line of said Section 3; thence West and along said North line a distance of 1090.99 +/- feet to the point of intersection of the North line of said Section with the East line of the right-of-way of the Arizona Eastern Railroad Company, a corporation, and said point being distant 1450.0 feet (1453.57 feet measured), more or less, Easterly from the Northwest corner of said Section 3; thence South and along the East line of the right-of-way of said railroad a distance of 1387.78 feet; thence East along a line parallel to the East/West midsection line a distance of 1091.06 feet to the TRUE POINT OF BEGINNING.

Said property is hereby rezoned from AG-1 to PAD Conceptual, subject to the conditions set forth as follows:

1. Dedications achieving full half-widths for Pecos and Willis Road totalling 65 feet and 40 feet respectively;
2. The zoning of this property does not assure that the sewage generated by this project will be accepted by the existing system;

3. Submittal to and Commission approval of Preliminary Development Plans for any residential phase within one (1) year of the effective date of the ordinance adopting this rezoning; and construction of infrastructure on said phase within two years of the effective date of the ordinance date adopting this rezoning or the zoning shall revert to its previous classification (AG-1);
4. Residential density is limited to 6.0 du/ac; upon dedication of Pecos freeway right-of-way, 6.0 du/ac may be transferred from the corridor and distributed to the balance of the site; at the time of Preliminary Development Plan submittal, a parcel map shall be submitted depicting residential unit allocations for each product phase in accordance with the approved overall density. Commission and Council may consider and approve a higher project density upon receipt and approval of additional quality exhibits;
5. Wildhorse Drive from Ranchos de Chandler not be extended into this development; improvement of any required turn-around on Wildhorse shall be the responsibility of the developer;
6. Development in accordance with attachments, Exhibits, and representations unless herein modified by code or condition;
7. The developer shall reserve a three (3) acre site for a water production facility, to be located in accordance with Public Works recommendation;
8. If applicant pursues density increase with added quality at a later date, additional park area may be required, as recommended by the Directors of Planning & Development and Community Services to the Commission at that time of increase;
9. Approval by the Director of Planning & Development and by the City Engineer relative to the plans and details of all submittals required by code or condition of this approval, including street and utility improvements as recommended by the traffic and infrastructure studies submitted for this development.
10. Development of the Industrial Park shall be in accordance with "Environmental Design Criteria for Industrial Park."

(Z86-25 Larry Lazarus)

SECTION 2. Except where provided, nothing contained herein shall be construed to be an abridgement of any other ordinance of the City of Chandler.

SECTION 3. The Department of Planning and Development of the City of Chandler is hereby directed to enter such changes and amendments as may be necessary upon the Zoning Map of said Zoning Code in compliance with this ordinance.

INTRODUCED AND TENTATIVELY APPROVED by the City Council this 12th day of June, 1986.

ATTEST:

Carolyn Dunn
DEPUTY CITY CLERK

Hub Brooks
MAYOR

PASSED AND ADOPTED by the City Council this 26th day of June, 1986.

ATTEST:

Carolyn Dunn
DEPUTY CITY CLERK

Hub Brooks
MAYOR

C E R T I F I C A T I O N

I HEREBY CERTIFY that the above and foregoing Ordinance No. 1644 was duly passed and adopted by the City Council of the City of Chandler, Arizona, at a regular meeting held on the 26th day of June, 1986, and that a quorum was present thereat.

APPROVED AS TO FORM:

Clifford J. Frey
CITY ATTORNEY

Carolyn Dunn
DEPUTY CITY CLERK

PUBLISHED: 7/3 07/10/86

ENVIRONMENTAL DESIGN
CRITERIA FOR
INDUSTRIAL PARKS

ordinance # 1009
ADOPTED JANUARY 28, 1982

1. BASIC LAYOUT

- 1.1 FOR SAFETY REASONS AND TO ALLOW FLEXIBILITY THERE NEED BE AT LEAST TWO ENTRANCES TO AN INDUSTRIAL PARK, AND EACH PRINCIPAL ENTRANCE IDENTIFIED AS A NODE THROUGH LANDSCAPING, SIGNAGE, AND SOME OTHER EASILY DISCERNABLE DESIGN FEATURE. TWO ENTRANCES SHALL NOT BE REQUIRED WHERE THE SIZE OF THE PARCEL TO BE SUBDIVIDED AND THE NUMBER OF LOTS TO BE CREATED ARE SUCH THAT SAFETY CAN BE ASSUMED WITH A SINGLE ENTRY.
- 1.2 BECAUSE OF DAILY EXPOSURE TO TENS OF THOUSANDS OF PERSONS, ALL DEVELOPMENT ALONG ARTERIAL ROADS SHALL BE SO ARRANGED, DESIGNED, CONSTRUCTED, LANDSCAPED AND MAINTAINED AS TO RESULT IN A VERY HIGH QUALITY ENVIRONMENT. TO ACCOMPLISH SUCH EFFECT, FOLLOWING CONCERNSS SHALL BE FULLY REFLECTED AND HANDLED:
 - A. BUILDING AND LANDSCAPE DESIGN.
 - B. OUTDOOR STORAGE, ACCESSORY BUILDINGS, AND MECHANICAL EQUIPMENT SHALL NOT BE READILY OBSERVABLE.
 - C. SCREEN WALLS SHALL BE AVOIDED: HEIGHT AND LENGTH MITIGATED TO AVOID "TUNNEL" EFFECT.
- 1.3 WHILE SIDEWALKS GENERALLY ARE NOT REQUIRED, THEY SHALL BE PROVIDED IN PROXIMITY OF USES TO WHICH PEOPLE CAN BE REASONABLY EXPECTED TO WALK SUCH AS RESTAURANTS, PUBLIC SPACES, AND GENERAL SHOPPING FACILITIES.

2. STREETSCAPE

- 2.1 A STREETSCAPE PLAN IS NEEDED FOR EACH STREET SETTING FORTH A DISCERNABLE MOTIF OR CONTINUITY ELEMENT. THIS CAN BE ACCOMPLISHED, FOR EXAMPLE, BY SPECIFYING NUMBER AND TYPE OF TREE(S) TO BE PROVIDED IN THE FRONT YARD OF EACH ESTABLISHMENT. PROVISION SHALL BE MADE FOR EACH LANDSCAPE DESIGN TO BE REVIEWED BY A LANDSCAPE ARCHITECT OR A COMMITTEE FOR CONFORMANCE WITH THE STREETSCAPE PLAN.
- 2.2 A SPECIALLY DESIGNED STREET FURNITURE IS HIGHLY RECOMMENDED, INCLUDING A STREET GRAPHICS PROGRAM.

3. BUILDING DESIGN AND DETAIL

- 3.1 ALL BUILDING DESIGN MUST BE OF THE HIGH QUALITY AS ESTABLISHED BY RECENT DEVELOPMENTS ON WILLIAMS FIELD ROAD.

4. PARKING AND LOADING/UNLOADING

- 4.1 UNLESS ESPECIALLY PROVIDED FOR AND SCREENED OR IN THE CASE OF RAIL ACCESS, LOADING/UNLOADING BAYS SHALL NOT FRONT ON STREETS. IN ANY CASE, THEY SHALL BE FULLY OR EFFECTIVELY SCREENED.

4.2 ALL PARKING SHALL BE PARTLY SCREENED FROM THE STREET, ABUTTING PROPERTIES, AND PUBLIC AND RESIDENTIAL AREAS BY A COMBINATION OF AT LEAST TWO OF THE FOLLOWING: BERMS, LANDSCAPING, AND LOW DECORATIVE MASONRY WALLS.

5. RENTENTION BASINS

5.1 RETENTION BASINS NEED BE LANDSCAPED, PLEASINGLY SHAPED AND FULLY INCORPORATED INTO THE SITE/PROJECT DESIGN.

6. FACILITIES FOR EMPLOYEES

6.1 A "BROWN BAG" PARK WITH APPROPRIATE FACILITIES SUCH AS PICNIC TABLES, SEATING AND SHADE SHOULD BE PROVIDED. THESE AND OTHER LEISURE TIME FACILITIES SUCH AS AN EXERCISE PATH MAY BE LOCATED ON RETENTION BASINS.

6.2 BUSINESSES AND PERSONAL SERVICES (I.E. DAY CARE, BANKING, LODGING, FOOD SERVICE) ARE ENCOURAGED.

7. IMPLEMENTATION THRU CC&R'S

7.1 IMPLEMENTATION STANDARDS FOR BELOW LISTED ITEMS SHALL BE PRESCRIBED IN PROJECT CONDITIONS, COVENANTS AND RESTRICTIONS RECORDED BY THE DEVELOPER AFTER CITY REVIEW FOR CONFORMANCE WITH THIS ORDINANCE. THE ITEMS FOR WHICH STANDARDS ARE TO BE PRESCRIBED BY THE CONDITIONS, COVENANTS AND RESTRICTIONS ARE: 1.2, 2.1, 3, 4 AND 5.

FALCON STORAGE CONDOS

PRELIMINARY DEVELOPMENT PLAN

CASE NUMBER: PLH19-0060



**E. WILLIS ROAD AND N. ARIZONA BLVD.
CHANDLER, AZ 85286**

1ST SUBMITTAL: NOVEMBER 1, 2019

2ND SUBMITTAL: FEBRUARY 7, 2020

3RD SUBMITTAL: AUGUST 20, 2020

FINAL SUBMITTAL: SEPTEMBER 30, 2020

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Falcon Storage Condos

SEPTEMBER 2020

I. Introduction

A. Site Overview

The subject property is located at the northeast corner of Willis Road and the Union Pacific Railroad (UPR) and encompasses approximately 9.48 gross acres (the "Property").

The Property was zoned Planned Area Development (PAD) for industrial park in June 1986. The intended uses were based upon the 1982 General Plan Land Use Element defining warehousing and various types of industrial uses in conformance with the Zoning Code. The uses are akin to the Planned Industrial District (I-1) zoning district today. The storage condo use proposed with this application is permitted by the underlying zoning. The purpose of this application is to request Preliminary Development Plan (PDP) approval for a warehouse storage condo development called Falcon Storage Condos.

B. Proposed Development

Falcon One (the "Applicant"), proposes to develop a privately owned condo storage facility on the vacant Property. As detailed further below, the development will offer privately owned condominium storage units which are individually sold, platted units, governed by recorded CC&Rs, and professionally managed by a Commercial Owners' Association. Units will be indoor, climate controlled and allow for personal and professional storage items as well as recreational vehicles, boats, hobby cars, and more. The CC&Rs will prohibit: (i) use of the units as living quarters; (ii) outdoor storage; and (iii) operating a business from an owned unit. A separate clubhouse building, approximately 1,219 square feet in size, will be provided for private use by owners and their guests. It will include a small media room, restrooms with small shower facilities, and a kitchenette with a dining area. A barbecue area is also proposed to the north of the clubhouse. Use of the clubhouse will require key fob access and use of the building will be restricted by CC&Rs.

C. Relationship to Adjacent Properties

The Property is currently vacant. The Property is bordered by Willis Road on the south, Loop 202 freeway to the north, and railroad to the west. Directly west is the Santan Gateway commercial center and to the east is .3-acres owned by ADOT. To the south is the 84 Lumber Company industrial business and vacant land zoned for industrial uses. The other properties in the immediate vicinity are zoned for commercial employment and industrial projects.

D. General Plan Conformance

This request is in conformance with the City of Chandler General Plan adopted in 2016 and the underlying zoning. The General Plan designates the Property as Employment, which allows warehousing, storage, and other industrial uses.

II. PDP

A. Process

This PDP will establish the site plan, development standards and development guidelines for the Property. Upon approval of this case, this document will set forth and establish a PDP and development guidelines for all future development within this PAD.

B. Site Design

The site improvements and building locations are ideally situated for this irregular, triangular-shaped Property. The Property is accessed from two gated entry points along Willis Road. The northern side fronts the 202 Freeway, and for that reason, the architectural design has been enhanced. The west side is adjacent to the rail line and is screened by buildings. A view fence will be built along portions of the perimeter property line as shown on the site plan except where buildings are located along property lines.

C. Development Standards

The development shall conform to the standards set forth in the I-1 District of the Chandler Zoning Code and the standards set forth in this PDP. If there is a conflict, the development standards in this PDP shall apply.

D. Deviations

i. Parking

This PDP requests a parking deviation to reduce the number of required parking spaces. The Chandler Zoning Code does not specify parking requirements for an indoor recreational vehicle storage facility. Typically, 155 spaces would be required (1/1000 sf) if this were a normal 155,000 sf industrial facility with employees, workspace, and manufacturing, etc,. However, because this is a low-scale, low-intensity storage use, the 5 proposed parking spaces are more than sufficient to meet the realistic needs of the business including 1 accessible space at the clubhouse. In addition, future owners of the storage condo units will be able to park directly inside, or in front of their specific unit, which will not impact the number of striped parking spaces.

E. Architectural Design and Theme

It is the intent of this PDP to establish design criteria that will create an attractive, high quality development, incorporating a sophisticated architectural style.

i. Building Massing & Articulation

Falcon Storage Condos is a series of buildings that will use quality materials and massing strategies to capture and integrate elements from the surrounding developments as a point of departure. This departure serves as a rallying point for the massing concept to be deconstructed and reconstituted with horizontal banding broken up vertically by

pronounced forms which provide contrast and facade relief. The rhythm created by the vertical accents provides interest along the views and orientations of the otherwise singular monumental masses into a more appropriate scale. A combination of textured variations contributes to breaking down the scale of the buildings making it more accessible to the human eye. A series of floor to wall articulated surfaces provides an engagement enhanced by the selected landscaping. This variation provides a dynamic design. The horizontal banding is broken up by pattern composition, height variation, color selection and texture variation in order to realize the engaging experience needed for overall community satisfaction. Finally, in order to provide additional variation, the elevations incorporate a tower element on several key building corners, visible from rights-of-way. The tower elements will feature an edge lit horizontal metal accent comprised of strip LED lighting to provide additional visual interest and variation to the buildings, particularly during non-daytime hours.

ii. Building Materials

The blend of quality building materials, including CMU block, stucco and accents of metal combined with the visual composition of the various materials integrated by a panel structure, help break down the perceived size of the building. The detailed elevations provide additional information regarding Falcon Storage Condos' architectural design.

The CMU block banding elements are designed to visually ground the building mass in horizontal orientations along all exterior facades. The variation is guided by the specific intention to create a rhythmic pattern and dynamic interest while showing measured restraint. The vertical stucco accents provide a marked contrast yet shows the dignity of consistency between the rhythmic pattern of the strong color horizontal banding. The colored parapet cap provides a visual cornice element creating a pleasing roof line which undulates along the building facades. The synthesis of the various elements of the design provide a rich composition creating visual interest and avoids creating monolithic elevations.

The color palette is comprised of a range of three varying shades of warm grey tones. These colors are complemented by the smaller amounts of accented stucco panels. This approach gives the building a grounded feel, relying on the increasing tone of color as it approaches the ground. The rich texture of the various materials promotes a sense of elegance and quality commensurate with the consistent visual identity of the Falcon Storage Condos.

i. Equipment Screening

The mechanical unit for each condo—which are best described as clean and sleek PTAC units—will be located above the man-door and flush mounted to the building wall. The units will be painted to match the surrounding elevation design so that the mechanical systems blend in with the prescribed architectural design. A mechanical unit elevation has been provided on Sheet A-501, Site Details, for further information.

In the event that mechanical equipment is provided on the roof, it will be entirely screened from view by a parapet, which will extend to the highest point of all mechanical equipment and other building appurtenances to conceal and screen views. Parapet walls will be designed to be an integral part of the building and will be consistent with other metal building accent materials, which will further enhance the structure through variations of the building roof lines and massing.

F. Landscaping

i. Landscape Theme

The landscape theme has been selected in accordance with the latest amended edition of the Arizona Nursery Association - Recommended Tree Specifications. From this recommended list, native-drought tolerant-highly adaptive-xeric plantings will be provided, along with a select assortment of trees and shrubs which offer seasonal interest, texture-form-color-size. The theme aims to soften the ground-middle-overhead planes and provide interest through a variety of plant sizes, and additional elements, all of which are organized in a manner that provides a clean and open landscape consistent with the area. The landscaping palette will provide unity and continuity throughout the Property. The landscaping along the northern property line will appropriately screen the site from the Loop 202.

ii. Landscape Setbacks

The landscape setbacks are shown on the site plan (see architectural). All front yard areas and street right-of-way areas located between developed on-site improvements and the back of existing or future public sidewalks or street curbs will be landscaped, except needed access driveways. In addition, a minimum 10' perimeter landscape setback is provided at the west, north and east of the Property. The landscaping densities will be in accordance with the code required 1 (one) tree and six (6) shrubs per 30 lineal feet. New plantings will provide better screening for views from the Loop 202 Freeway, as represented on the perspectives provided herein. Landscaping will meet or exceed all landscaping required by the Code.

G. Grading & Drainage Summary

The existing Property slopes generally to the northwest however, the regional flow of stormwater runoff is to the south. The proposed grading will be per the City of Chandler designs standards and site finish floor elevations will be set as to ensure failure of any regional drainage structures will not result in flooding of new structures. The Property will convey stormwater runoff as shallow sheet flow to a series of storm drain inlets spread throughout the Property. Onsite storm drain will be routed to an underground retention storage area. This project will be required to provide permanent retention for the adjacent half street right of way. Storm water from Willis Road will be conveyed to a retention basin along the roadway frontage. The above ground retention basin along Willis Road will be tied to the onsite underground retention tank. All retention systems will be sized to retain the 100yr-2hr storm plus an additional 10% per Chandler requirements. All above ground and underground retention systems will be bled-off via natural percolation and drywells within the required 36-hours.

H. Utilities

There is an existing 12" sanitary sewer in Hampton Street, terminating at an existing sewer manhole in the intersection of Willis Road and Hamilton Street, directly southeast of the project. A new 8" public sewer main extension will be required to bring sewer service to the project. It is anticipated that the sewer main extension will be only as far as necessary

to allow the new community building to tie into the sewer as all users south of Willes Road already have access to existing sewer facilities.

There is an existing 12" waterline in Willis Road. There are no existing water stubs to the Property from the existing main. New services will directly tap the existing main near the location of the new community building. A separate service will be installed for a dedicated landscape service. As required by the City of Chandler a separate fire hydrant loop and fire building service loop will be provided within the Property to supply automatic fire suppression to the proposed buildings and provided new fire hydrants for proper fire hydrant coverage. Fire hydrants will be spaced per Chandler requirements.

I. Phasing

The project will be built per market demand, however all on and off-site construction, excluding building slabs, will be constructed with the commencement of construction for the first building.

J. Signage

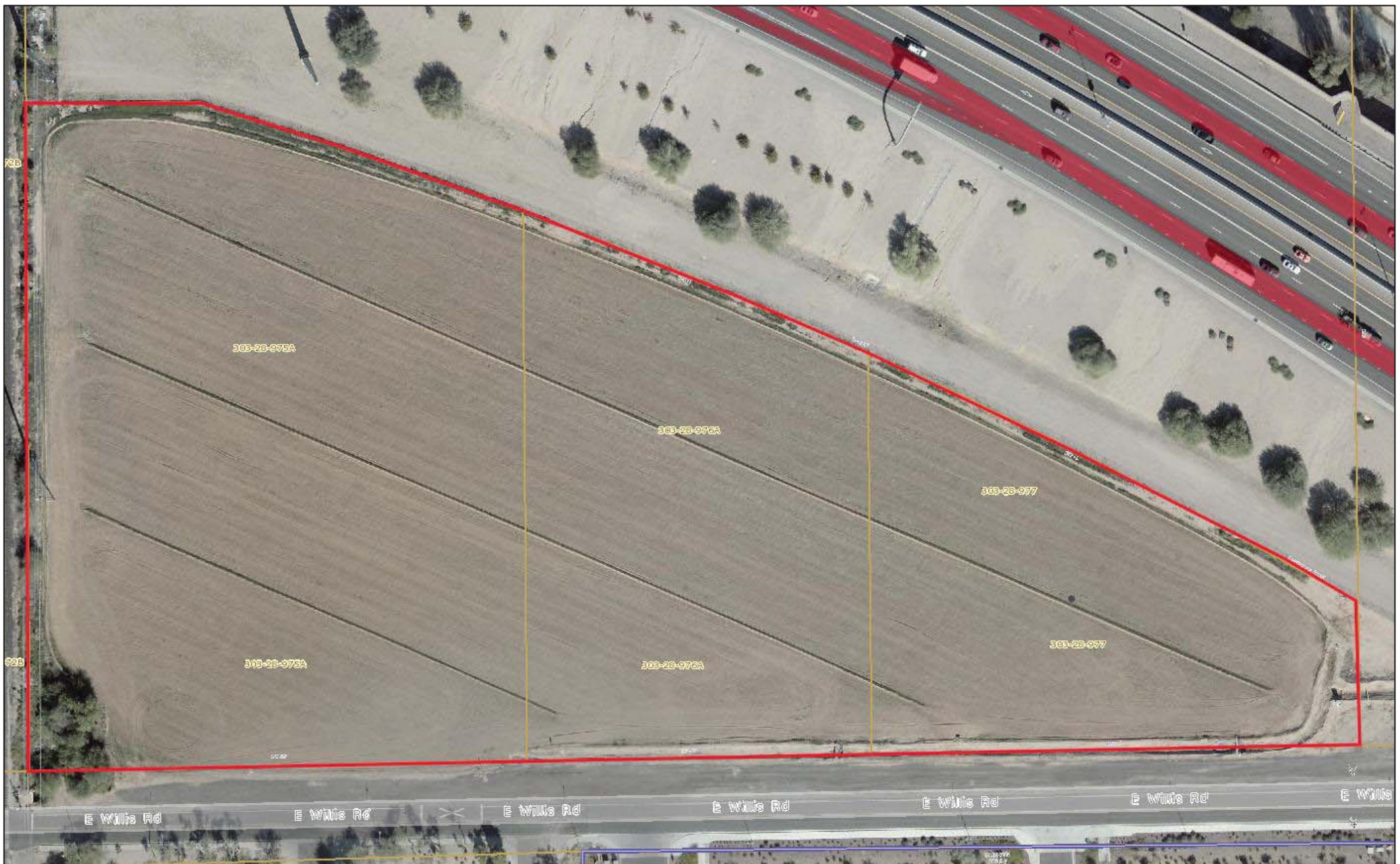
Signage is conceptually proposed herein. Specifically, the envisioned signage for the project includes: (i) an approximately four (4) foot tall freestanding entry directional sign to give visitors and users of the Property a significant perception of "arrival"; and, (ii) wall mounted project identification signage. The signage proposed herein complements the project architecture and provides for a sense of continuity through the use of colors and materials. Please refer to the sign plan provided for more details.

III. Summary

This development represents a unique and innovative approach to recreational vehicle and storage and provides a convenient amenity to area residents. More importantly, it preserves high quality of life without the impacts that generally accompany industrial uses. The proposed PDP is in full conformance with the General Plan and underlying industrial zoning. The PDP sets forth exceptional site development and architectural design criteria that will have a positive influence on the area. Because the intended use of this Property is compatible with the surrounding land use patterns, this request will not alter acceptable land use patterns to the detriment of the area. The proposed use and request are compatible and consistent with the surrounding area.

Tab 1

Aerial Map



11540 E. Willis Road – Chandler, AZ

↑
N

Tab 2



neUdesign

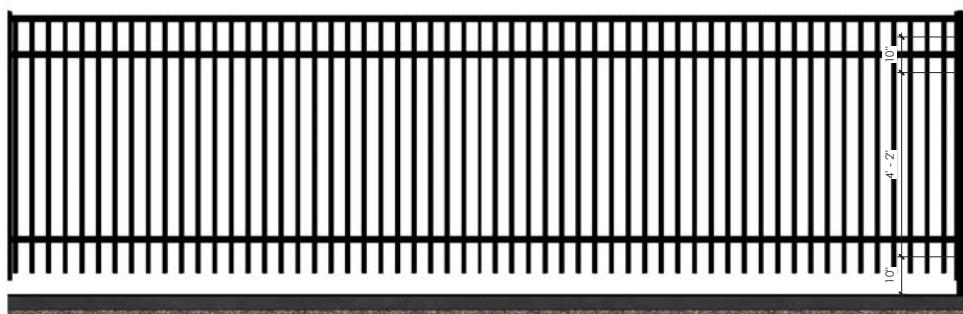
ARCHITECTURE

725 E 2nd St
Meridian, ID 83642
208.884.2824

CONSULTANT

EXAMPLE TO SHOW GATE
AND FENCE SLATS AT THE
MAIN ENTRY GATE.
(PILASTERS NOT IN DESIGN)

HORIZONTAL SLATS
PROVIDING 80% MIN
OBSCURITY



3 ELEVATION AT FENCE
1/2" = 1'-0"

2 GATE EXAMPLE
6" = 1'-0"

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FALCON STORAGE CONDOS

E. WILLIS RD. AND N. ARIZONA BLVD.
CHANDLER, AZ 85286

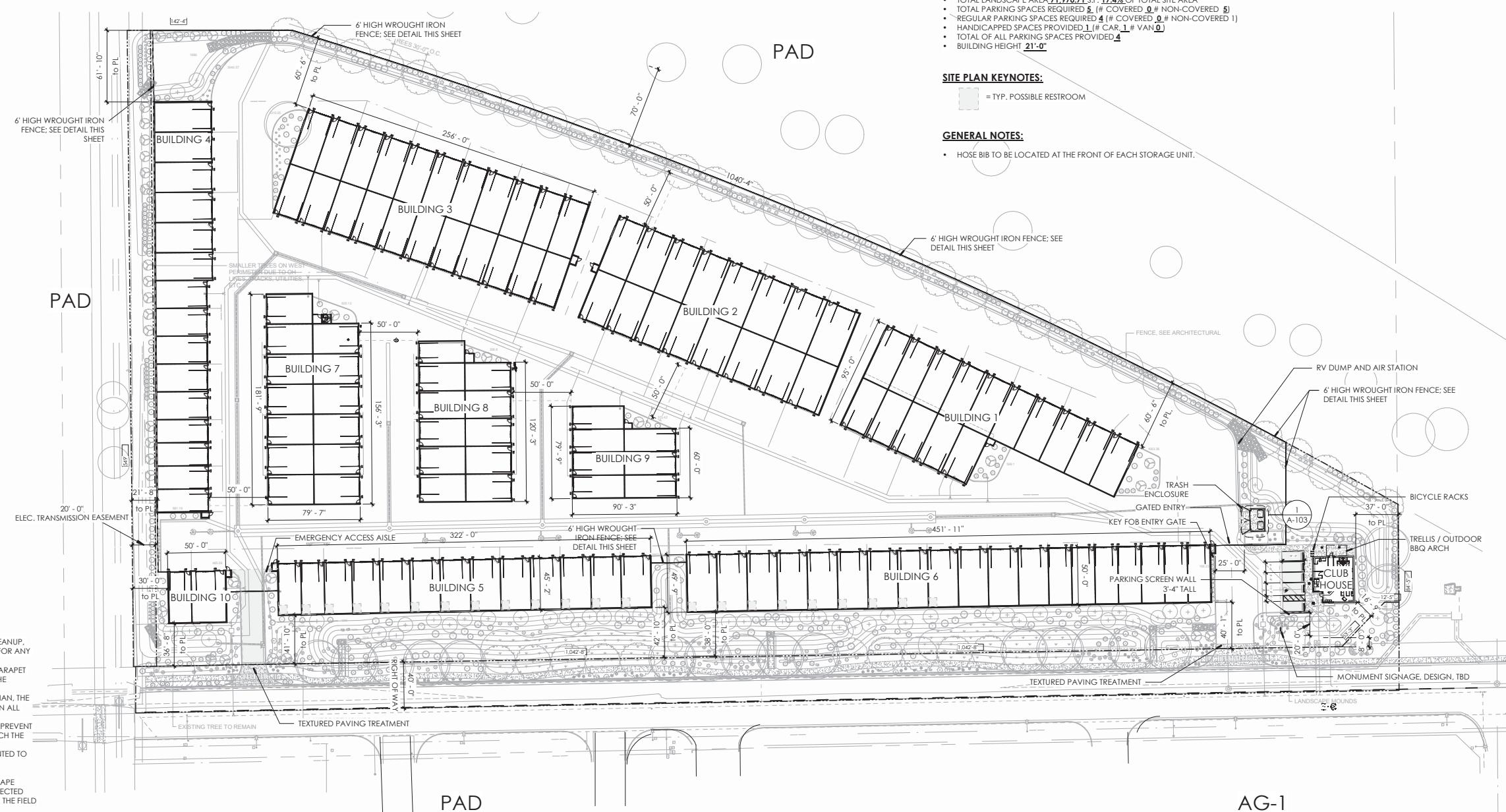
CLIENT:
FALCON ONE, LLC

PROFESSIONAL SEAL

NOT FOR PERMIT

NO.	DESCRIPTION	DATE
I	PLANNING REVIEW	09.25.20
H	PLANNING REVIEW	09.16.20
G	PLANNING REVIEW	09.08.20
F	PLANNING REVIEW	08.04.20
E	COORDINATION	07.27.20
D	CLIENT REVIEW	07.23.20
C	PLANNING REVIEW	02.06.20
B	PLANNING REVIEW	10.31.19
A	CLIENT REVIEW	08.23.19

SITE PLAN



AG-1



1 Site Plan - New

1" = 50'-0"

A-101

JOB NUMBER
DRAWN BY
19183
Author

Tab 3

LANDSCAPE NOTES:

- REGULATIONS & STANDARDS
 - All contractor work shall be conducted in accordance with ASPWC, 2020; and City of Chandler AZ, AZ codes, standards and state and local regulations.
- EXISTING CONDITIONS
 - All utilities shall be located prior to construction and protected. Any structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks. See Engineer's plans for information about existing features.
 - Refer to civil plans for all existing and/or proposed drainage pipes & locations. Utilities. Protect all drainage at all times, protect all utilities at all times.
- GRADING & SITE PREPARATION
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overtopp to be removed and disposed of off site.
 - Finish grade to be smooth transition to allow for entire site to be a natural growing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - No pooling or standing water will be accepted per industry standards.
- SOILS
 - Lawn areas shall receive 12" min depth of screened topsoil.
 - All planter beds shall receive 18" min depth of screened topsoil.
 - Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil shall have a pH of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of

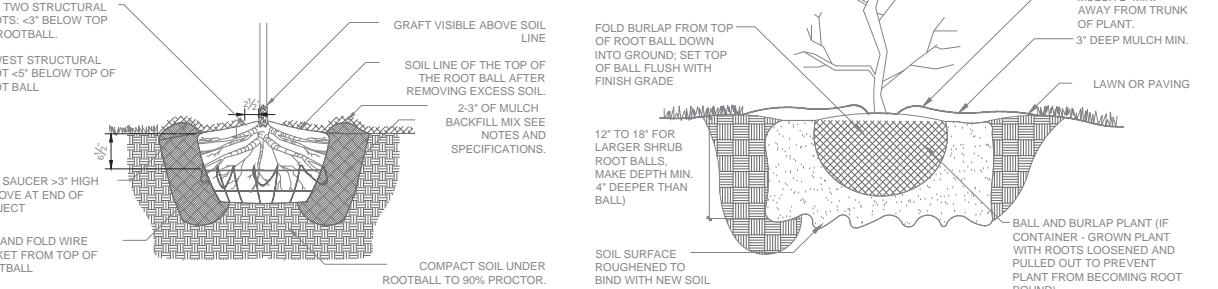
- 6.5-8.0.
 - Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade. 5" below adjacent surfaces.
 - Amend all new plantings with 2 parts topsoil, 1 part compost.
- LAWN AREAS
 - Sodded lawn to be Tifway Bermuda Grass, or approved other.
 - Sodded lawn to be regionally/locally harvested; lay sod within 24 hours of harvesting.
 - Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - Law adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - Install 1" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - Provide tree rings with a minimum 3" diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
- PLANTER BED MULCH
 - All planter beds to receive 3" depth of 1" chips or pea gravel, grey and tan mixture rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
 - PLANTS
 - All plant material shall be installed per industry standards.
 - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
 - Trees and shrubs over 3" shall not be planted within clear vision triangles.
 - Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
 - IRRIGATION
 - Irrigation system shall be built to the following specifications:
 - Adhere to city codes when connecting to city water.
 - All irrigation material to be new with manufacturers' warranty

fully intact.

- Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
- Controller to have On/Off rain switch or rain shut off device that does not alter program.
- All remote control valves (including master control valve) to have flow control device.
- Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
- Any 1" dia all pipe above 3" caliper to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
- Use common trenching where possible..
- All PVC located under hardscapes to be schedule 40 PVC with same restraints as above.
- All wires to be Paige wire T350 or T351 direct bury wire at a depth of 12" below finished grade.
- Connect mainline to point of connection in approximate location shown on plan.
- Contractor is responsible complying with all codes and paying all permits necessary.
- Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
- All drip irrigation to be buried 2" below finished grade.
- Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
- Install all irrigation per irrigation drawings. utilize material specified or approved equal.
- Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
- If any discrepancies are found, then local codes shall prevail.

NOTES:
1. DO NOT DAMAGE OR CUT LEADER
2. DO NOT PUNCH HOLE OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
3. TREE STAKING SHOULD AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

BACKFILL SHALL BE 100% TOPSOIL.
WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL
MAINTAINS 3" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



1 BALL & BURLAP TREE PLANTING

2 SHRUB PLANTING

32933-03 32933-03

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE: 35-1903

NOTES: LANDSCAPE DESIGN SHALL INTEGRATE THE 7 XERISCAPE PRINCIPLES
ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE:
"ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS"
"TURF SHALL BE MAX 10% OF LANDSCAPE COVERAGE (NO REPURPOSED IRRIGATION)

STREET OR PERIMETER YARD:

- 1 TREE PER 30LF. 6 SHRUBS PER 30LF WITH VEGETATIVE COVERAGE UP TO 50% TOTAL AREA
- BERMING WITH 2' MINIMUM HEIGHT ALONG 50% OVERALL LENGTH OF ARTERIALS WITH A 4:1 MAX SLOPE
- STREET NAME LENGTH (LF) TREES/SHRUBS REQUIRED TREES/SHRUBS PROVIDED

E. WILLIS RD	1083	36/217	36/217
SANTAN FWY	1180	39/236	39/236** + (25/50 NEW)
EAST	120	4/24	4/24
WEST	548	18/109	18/110

**22 EXISTING TREES, 65 EXISTING SHRUBS BETWEEN DEVELOPMENT & SANTAN WAY

NOTE: 50% OF LANDSCAPE SHALL BE ORGANIC VEGETATION AT Maturity
FRONTAGE LS 51444.63
SHRUB COVERAGE 26,429.85 51.38%
INORGANIC COVER 25,014.78 48.62%
TURF 8695.91 9.18%

PARKING LOT:

- PARKING AREAS ABUTTING FRONT YARDS SHALL HAVE BERMS AND MASONRY WALLS BETWEEN 30" AND 42" HIGH, VARIATION IN THE WALL REQUIRED IF EXCEEDS 80LF, AND VEGETATION PER PARAGRAPH 5.
- VISUAL SCREEN OF PARKING, SERVICE, AND STORAGE AREAS
- 1 TREE AND 5 SHRUBS PER SINGLE ROW PLANTER ISLAND
- 2 TREES AND 10 SHRUBS PER EACH DOUBLE ROW PLANTER ISLAND
- LARGER ISLANDS TO HAVE 1 SHRUB PER ADDITIONAL 25SF OF LANDSCAPE AREA

- PLANTERS TREES/SHRUBS REQUIRED TREES/SHRUBS PROVIDED

1	1/5	1/5
---	-----	-----

INTERIOR SITE VEGETATION COVERAGE:

- 1 TREE AND 6 SHRUBS PER 1000SF OF INTERIOR OPEN SPACE
- 50% MINIMUM LANDSCAPE AREA SHALL BE VEGETATED COVERAGE

- PLANTER AREA TREES/SHRUBS REQUIRED TREES/SHRUBS PROVIDED

19,650 SF	20/117	20/117+
-----------	--------	---------

MINIMUM PLANT SIZES:

PLANT TYPE:

- TREES (COMMERCIAL DEVELOPMENT ADJOINING ARTERIAL STREETS) 24" BOX (50% OF REQUIRED TREES)
36" BOX (25% OF REQUIRED TREES)
48" BOX (25% OF REQUIRED TREES)
- TREES (COMMERCIAL DEVELOPMENT) 15 GAL (50% OF REQUIRED TREES)
24" BOX (50% OF REQUIRED TREES)
- TREES (FOR NON-COMMERCIAL DEVELOPMENT) 15 GAL (50% OF REQ'D TREES)
24" BOX (50% OF REQ'D TREES)
- TREES (QUANTITIES THAT EXCEED MINIMUM CODE STANDARDS)
SHRUBS
VINES
GROUND COVERS
ANNUALS 15- GALLON
5 - GALLON
1 - GALLON
1 - GALLON
4" POTS OR FLATS

SITE INFORMATION:

DISTRIBUTION	AREA (SF)	(AC)	PERCENT
SITE	412,369.64	9.47	
BUILDING	151,339.22	3.47	36.70%
HARDSCAPE	166,313.81	3.82	41.33%
LANDSCAPE	94,716.61	2.17	22.97%
PARKING	988		24%
LANDSCAPE	325		32.89%
IN PARKING			
OVERALL LS	94,716.61		
SHRUB COVERAGE	41,077.95		43.37%
INORGANIC COVER	53,638.67		56.63%
TURF	8695.91		9.18%
INTERNAL	19,650		4.77%
LANDSCAPING			
FRONTAGE LS	51444.63		
SHRUB COVERAGE	26,429.85		51.38%
INORGANIC COVER	25,014.78		48.62%

*SWALE BOTTOMS NOT MULCH, SEE CIVIL

CHECKLIST NOTES

- All site improvements, including landscape and site cleanup, must be completed prior to Certificate of Occupancy for any building within a phase.
- No obstructions to view shall be erected, constructed or parked within the sight visibility area, all trees within the line of sight will maintain a canopy height above 6' curb elevation, all shrubs in this area may not reach a mature height over 24'.
- All plant materials are guaranteed for a minimum period of sixty (60) days from the date of final approval by the City. Any plant materials, which are not approved by the City prior to October 1 of the calendar year in which they are installed, shall be further guaranteed until May 20 of the following calendar year.
- Trees, shrubs, vines, ground cover and turf that have to be replaced under terms of the guarantee, shall be guaranteed for an additional 60 days from the date of replacement.
- All plant materials must be maintained in health and vigor and be allowed to attain natural size and shape in accordance with the originally approved landscape plan. See Section 1902 (6)(h).
- Parking lot trees must have a minimum clear canopy distance of 5'. See Section 1903(6)(c)(4).
- All landscape areas shall be graded so that finished grade surfaces of all nonliving materials (i.e. decomposed granite, crushed rock, mulch, etc.) are one and one half (1 1/2) inches below concrete or other paved surfaces. See Section 1903(6)(c)(11), Zoning Code.
- Trees must be placed a minimum of 5' from sidewalks and public access-ways. Shrubs must be, at maturity, 3' from all sides of a fire hydrant, PIV or FDC. See Section 1903(6)(i)(1), Zoning Code.
- All landscaping shall be maintained by the landowner or the lessor in compliance with the Zoning Code. See Section 1903(6)(h), Zoning Code.
- There shall be no obstruction of site signage by landscape plant material, and that such must be relocated and/or corrected before the field inspection will accept/pass the sign in the field or issue a Certificate of Occupancy for a project.
- All transformer boxes, meter panels and electric equipment, backflow devices or any other utility equipment not able or required to be screened by landscaping or walls, shall be painted to match the building color.
- All walls over 7' in height, site lighting, signage, ramadas and shade structures require separate submittal and permits.
- All trees shall comply with the latest amended edition of the "Arizona Nursery Association - Recommended Tree Specifications". See Section 1903(6)(a), Zoning Code; (This is to be noted in the plant legends on each sheet)
- Add current City of Chandler Civil Engineering Reclaimed Water Notes to irrigation plan when using effluent water for irrigation. See link: http://www.chandleraz.gov/content/UDM_ReclaimedWaterNotes.pdf
- Add certification to the cover sheet:
I hereby certify that no tree or boulder is designed closer than six (6) feet to the face of public street curb.

Registered Landscape Architect

10/7/17
Date

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725 E 2nd St
Meridian, ID 83642
208.884.2824

CONSULTANT



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CLIENT: FALCON ONE, LLC
E. WILLIS RD. AND N. ARIZONA BLVD.
CHANDLER, AZ 85226



Expiration Date MARCH 31, 2021
PRELIMINARY
NOT FOR CONSTRUCTION
NO. DESCRIPTION DATE

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE: 35-1901

NOTES: LANDSCAPE DESIGN SHALL INTEGRATE THE 7 LANDSCAPE PRINCIPLES
ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE
ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS
TURF SHALL BE MAX 10% OF LANDSCAPE COVERAGE (NO REPURPOSED IRRIGATION)

STREET OR PERIMETER YARD:

STREET NAME	LENGTH (LF)	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
E. WILLIS RD	1083	36/217	36/217
SANTAN FWY	1180	39/236	39/236* + (25/50 NEW)
W. 120	424	4/24	4/24
W. WEST	548	18/109	18/110

*22 EXISTING TREES, 65 EXISTING SHRUBS BETWEEN DEVELOPMENT & SANTAN WAY

NOTE: 50% OF LANDSCAPE SHALL BE ORGANIC VEGETATION AT Maturity

FRONTAGE LS 51444.63

FRONTAGE COVERAGE 20.014.45 F1.29%

INORGANIC COVER 25.014.78 48.62%

TURF 8695.91 0.18%

PARKING LOT:

- PARKING AREAS ABUTTING FRONT YARDS SHALL HAVE BERMS AND MASONRY WALLS BETWEEN 30" AND 42" HIGH, VARIATION IN THE WALL REQUIRED IF EXCEEDS 80LF, AND VEGETATION PER PARAGRAPH 5.
- VISUAL SCREEN OF PARKING, SERVICE, AND STORAGE AREAS
- 1 TREE AND 5 SHRUBS PER SINGLE ROW PLANTER ISLAND
- 2 TREES AND 10 SHRUBS PER EACH DOUBLE ROW PLANTER ISLAND
- LARGER ISLANDS TO HAVE 1 SHRUB PER ADDITIONAL 25SF OF LANDSCAPE AREA

PLANTERS	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
1	1/5	1/5

INTERIOR SITE VEGETATION COVERAGE:

- 1 TREE AND 5 SHRUBS PER 100SF OF INTERIOR OPEN SPACE
- 50% MINIMUM LANDSCAPE AREA SHALL BE VEGETATED COVERAGE

PLANTER AREA	TREES/SHRUBS REQUIRED	TREES/SHRUBS PROVIDED
19,650 SF	20/117	20/117+

MINIMUM PLANT SIZES:

PLANT TYPE: MINIMUM SIZE

- TREES (COMMERCIAL DEVELOPMENT ADJOINING ARTERIAL STREETS)
 - 24" BOX (50% OF REQUIRED TREES)
 - 36" BOX (25% OF REQUIRED TREES)
 - 48" BOX (25% OF REQUIRED TREES)
- TREES (COMMERCIAL DEVELOPMENT)
 - 15 GAL (50% OF REQUIRED TREES)
 - 24" BOX (25% OF REQUIRED TREES)
- TREES (FOR NON-COMMERCIAL DEVELOPMENT)
 - 15 GAL (50% OF REQUIRED TREES)
 - 24" BOX (50% OF REQUIRED TREES)
- TREES (QUANTITIES THAT EXCEED MINIMUM CODE STANDARDS)
 - SHRUBS
 - VINES
 - GROUND COVERS
 - ANNUALS

15 GALLON
5 GALLON
1 GALLON
1 GALLON
4" POTS OR FLATS

LAWN:

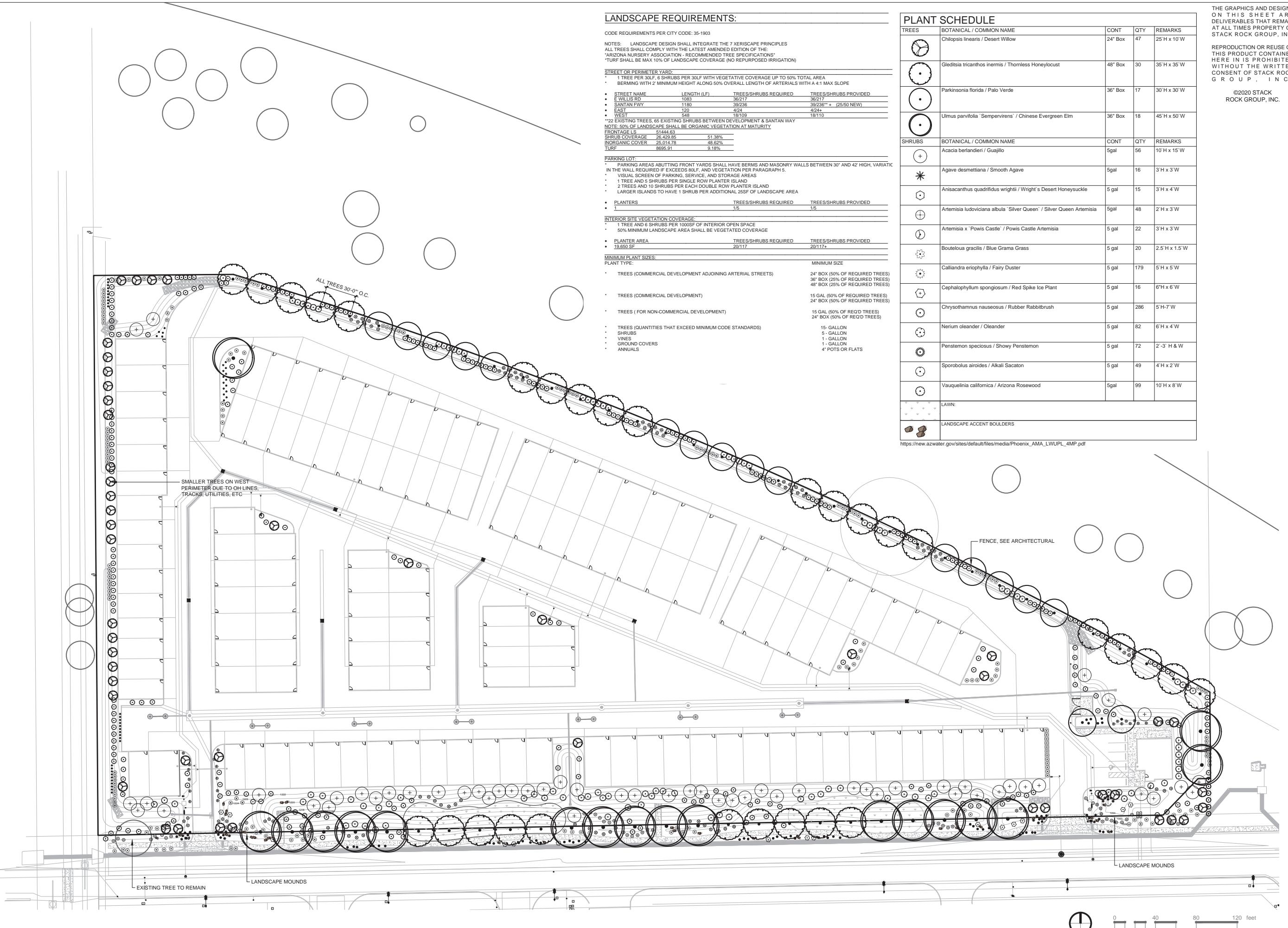
LANDSCAPE ACCENT BOULDERS

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
○	Chilopsis linearis / Desert Willow	24" Box	47	25'H x 10'W
○	Gleditsia triacanthos inermis / Thornless Honeylocust	48" Box	30	35'H x 35'W
○	Parkinsonia florida / Palo Verde	36" Box	17	30'H x 30'W
○	Ulmus parvifolia 'Sempervirens' / Chinese Evergreen Elm	36" Box	18	45'H x 50'W

SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
+	Acacia berlandieri / Guajillo	5gal	56	10'H x 15'W
*	Agave desmettiana / Smooth Agave	5gal	16	3'H x 3'W
○	Anisacanthus quadrifidus wrightii / Wright's Desert Honeysuckle	5 gal	15	3'H x 4'W
+	Artemesia ludoviciana albula 'Silver Queen' / Silver Queen Artemesia	5gal	48	2'H x 3'W
○	Artemesia x 'Powis Castle' / Powis Castle Artemesia	5 gal	22	3'H x 3'W
○	Bouteloua gracilis / Blue Grama Grass	5 gal	20	2.5'H x 1.5'W
○	Calliandra eriophylla / Fairy Duster	5 gal	179	5'H x 5'W
○	Cephalophyllum spongiosum / Red Spike Ice Plant	5 gal	16	6'H x 6'W
○	Chrysanthemus nauseosus / Rubber Rabbitbrush	5 gal	286	5'H-7'W
○	Nerium oleander / Oleander	5 gal	82	6'H x 4'W
○	Penstemon speciosus / Showy Penstemon	5 gal	72	2'-3' H & W
○	Sporobolus airoides / Alkali Sacaton	5 gal	49	4'H x 2'W
○	Vauquelina californica / Arizona Rosewood	5gal	99	10'H x 8'W

https://new.azwater.gov/sites/default/files/media/Phoenix_AMA_LWUPL_4MP.pdf



Tab 4



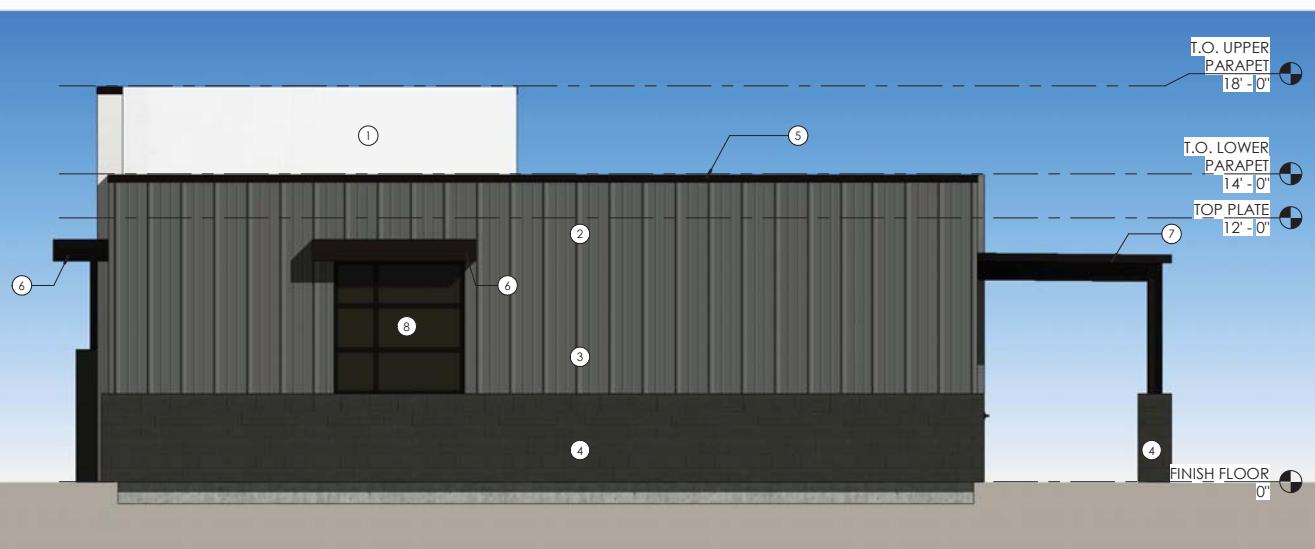
1 NORTH ELEVATION

1/4" = 1'-0"



2 SOUTH ELEVATION

1/4" = 1'-0"



3 EAST ELEVATION

1/4" = 1'-0"



4 WEST ELEVATION

1/4" = 1'-0"

GENERAL NOTES:

A. ALL ELEVATIONS ARE CONSIDERED TO BE "PER INTENT OF THE DRAWINGS" AND MAY NOT REFLECT EXACT CONSTRUCTED ITEMS
B. VERIFY FINISHES OF ALL EXPOSED SURFACES WITH OWNER TYP
C. ALL PLUMBING FIXTURES TO BE VERIFIED W/ OWNER
D. ALL GRADES ARE SHOWN AS ESTIMATES - VERIFY ACTUAL STRUCTURAL ITEMS WITH STRUCTURAL DRAWINGS
E. NOTES ARE TYP. PER EACH ITEM SHOWN ON THIS SHEET (MAY ONLY BE LABELED ONCE ON ONE ELEVATION/DETAIL/SECTION)

ELEVATION NOTES

#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	PARAPET CAP - DARK BRONZE
6	AWNING - DARK BRONZE
7	WOOD TRELLIS
8	DARK BRONZE WINDOW SYSTEM W/ INSULATED GLAZING
9	DARK BRONZE ENTRY DOOR W/ INSULATED GLAZING
10	HORIZONTAL METAL PANEL
11	EDGE LT LED LIGHTING

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)		STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)		SPLITFACE CMU MFR: BASALITE CHARCOAL GRAY
2)		VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)		HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)		VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE			

CLUBHOUSE ELEVATIONS

A-2RO



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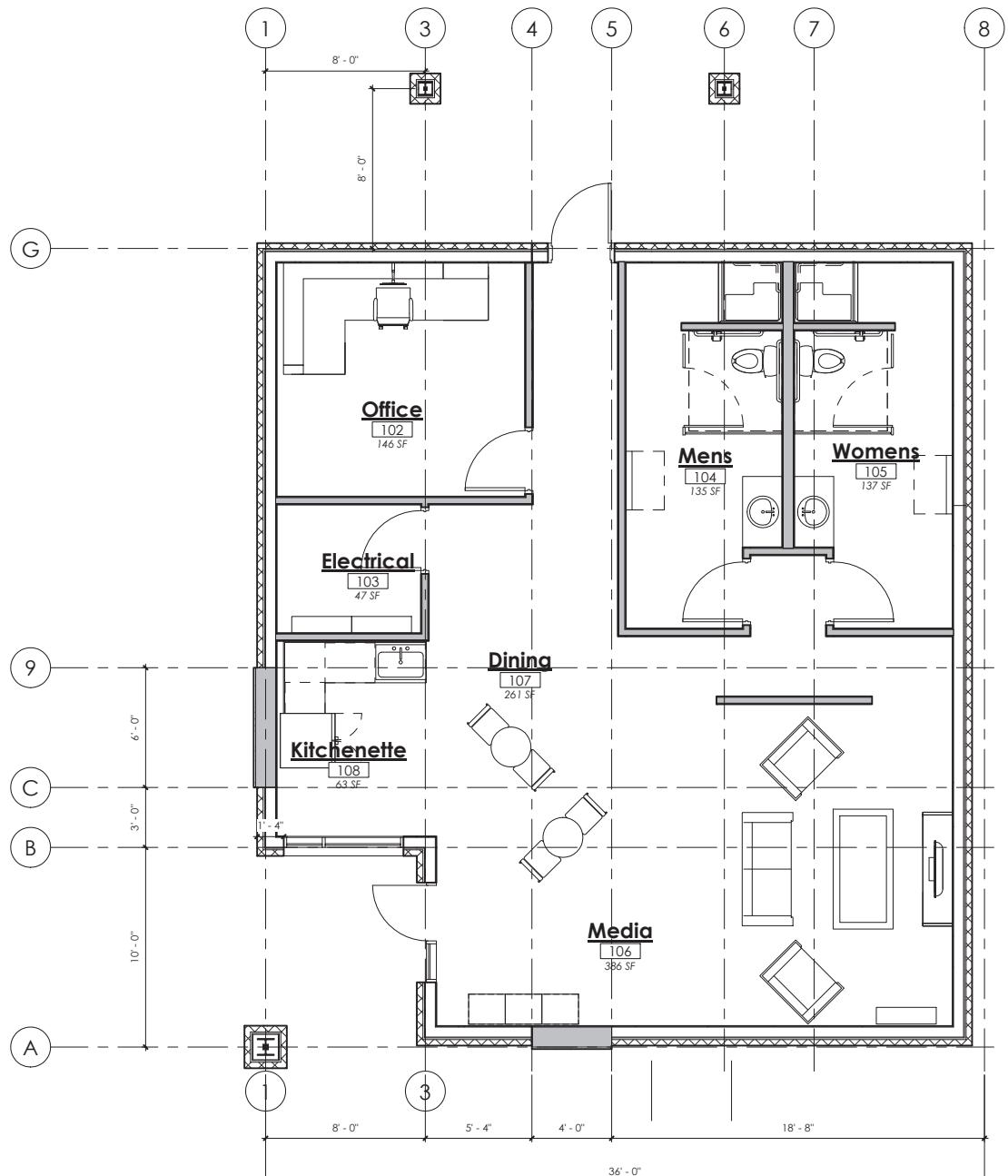
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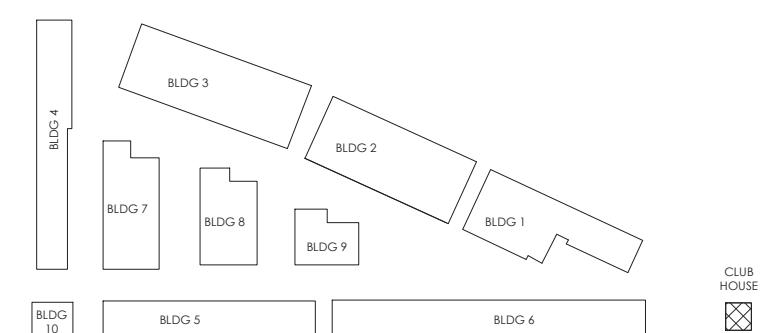
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NO. DESCRIPTION DATE
C PLANNING 08.05.20
B REVIEW 02.06.02
A PLANNING 10.31.19



GENERAL NOTES:

A. VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION
B. TYPICAL DIMENSION LOCATIONS ARE TO F.O. CONCRETE OR GRID LINES OR LEFT/TOP SIDE OF F.O. STUD. U.N.O. (TO F.O. STRUCTURAL MEMBERS, NOT TO F.O. FINISH MATERIALS)
C. PROVIDE SOLID BLOCKING IN WALLS FOR ITEMS SUCH AS GRAB BARS, TOILET PAPER ROLLS, PAPER DISPENSERS, WALL-HUNG TOILETS, AND ETC.
D. ALL STUD-FRAMED INTERIOR PARTITIONS WALLS SHALL BE BRACED TO THE UNDERSIDE OF DECK/STRUCTURE ABOVE
E. ALL INTERIOR WALLS SHALL BE FILLED WITH SOUND BATT INSULATION
F. CONTRACTORS SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS FOR IBC AND SPECIFIC TRADE CODES
G. DO NOT SCALE DRAWINGS
H. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS U.N.O.
I. ALL EXPOSED G.W.B EDGES TO HAVE METAL EDGE TRIM, TYP.
J. LIGHTER LINES TYPICALLY INDICATE OWNER SUPPLIED ITEMS U.N.O.



2 SITE PLAN LEGEND
1" = 10'-0"

A-1RO



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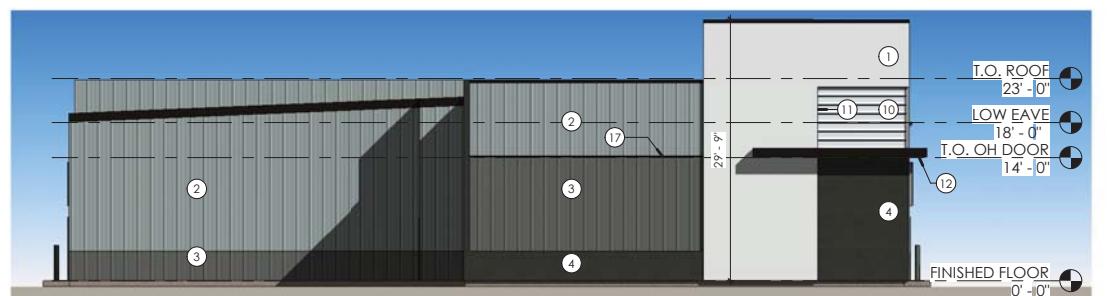
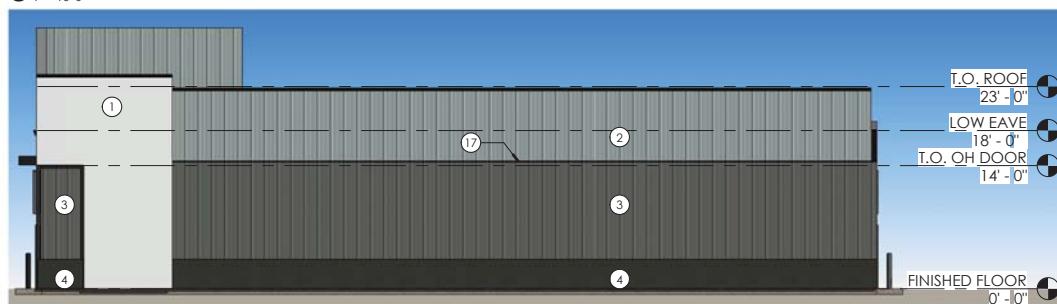
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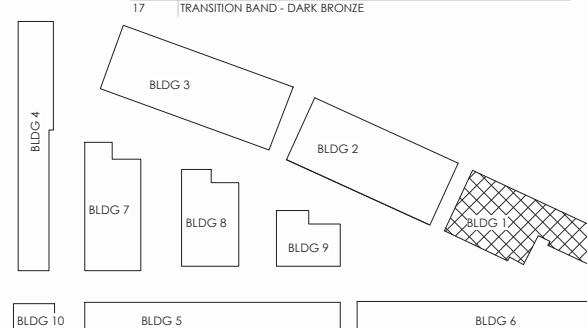
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#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
6	36 X 84 SOLID METAL DOOR - PAINTED SW 7625 ICE CUBE
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
8	VERTICAL PTAC UNIT - SW 7625 ICE CUBE
9	OVER HEAD DOOR TO MATCH
10	HORIZONTAL METAL PANEL
11	EDGE LIT LED LIGHTING
12	AWNING - DARK BRONZE
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
17	TRANSITION BAND - DARK BRONZE



SITE PLAN LEGEND

EXTERIOR FINISH LEGEND	
*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS	
1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE
4)	SPLITFACE CMU MFR: BASALITE CHARCOAL GRAY
10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM

BLDG 1
ELEVATIONS

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E	PLANNING REVIEW	09.08.20
D	PLANNING	08.03.20
C	DESIGN CHANGE	07.27.20
B	PLANNING REVIEW	02.06.20
A	PLANNING REVIEW	10.31.19

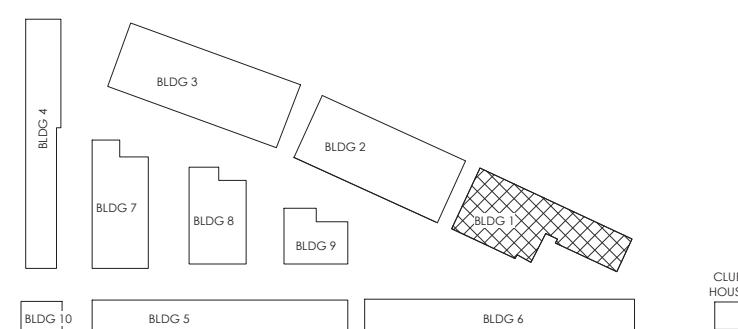
1 BLDG 1 FLOOR PLAN

1"

= 10'-0"

GENERAL NOTES:

- A. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT AND DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL GRADES ARE APPROXIMATE. VERIFY IN FIELD.
- B. ALL PLANTS, TREES AND HARDCAPING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT FROM DAMAGE DURING CONSTRUCTION. REPLACE AS REQUIRED.
- C. PRIOR TO CERTIFICATE OF OCCUPANCY, REPLACE ANY DAMAGED EXISTING HARDCAPING (ASPHALT, CONCRETE, CURBS, ETC.) AS REQUIRED.
- D. PROVIDE SECURE BICYCLE PARKING IN CLOSE PROXIMITY TO BUILDING ENTRANCES MEETING ADA REQUIREMENTS. THESE FACILITIES SHALL NOT OBSTRUCT PEDESTRIAN WALKWAYS, PUBLIC SIDEWALKS, OR BUILDING ENTRANCE. EACH CONSTRUCTED FACILITY SHALL SUPPORT THE BICYCLE AND ALLOW THE OWNER OF, TO LOCK FRAME AND FRONT WHEEL WITH ONE LOCK.



2 SITE PLAN LEGEND

1"

= 10'-0"

BLDG 1
FLOOR
PLAN

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1 BLDG 2 NORTH ELEVATION

1/8" = 1'-0"

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2 BLDG 2 SOUTH ELEVATION

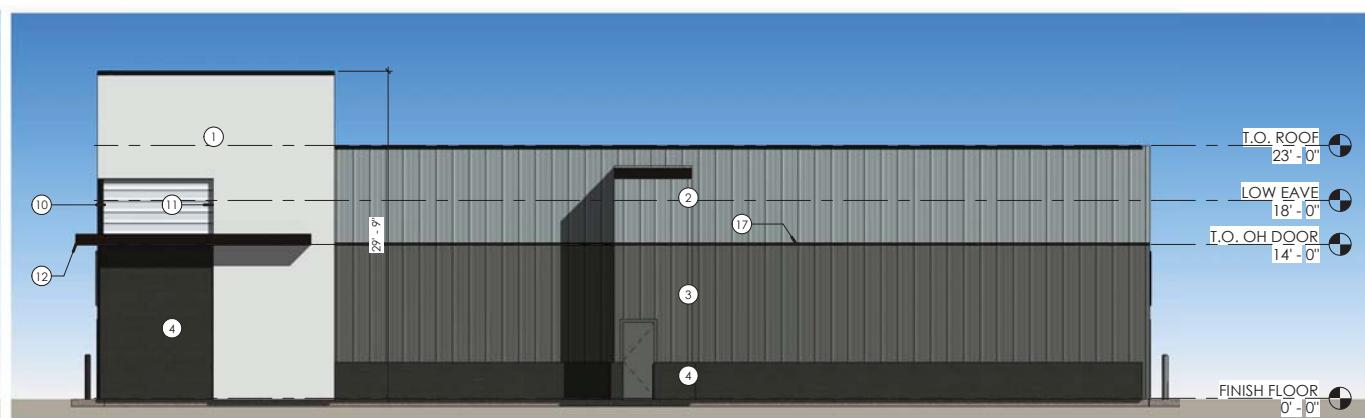
1/8" = 1'-0"

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3 BLDG 2 EAST ELEVATION

1/8" = 1'-0"



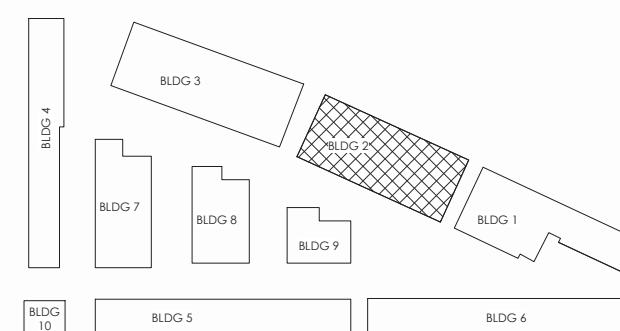
4 BLDG 2 WEST ELEVATION

1/8" = 1'-0"

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G	PLANNING REVIEW	09.08.20
F	PLANNING REVIEW	08.27.20
E	PLANNING REVIEW	08.14.20
D	PLANNING REVIEW	08.03.20
C	DESIGN CHANGE	07.27.20
B	PLANNING REVIEW	02.06.20
A	PLANNING REVIEW	10.31.19



SITE PLAN LEGEND

GENERAL NOTES:

- A. ALL ELEVATIONS ARE CONSIDERED TO BE "PER INTENT OF THE DRAWINGS" AND MAY NOT REFLECT EXACT CONSTRUCTED ITEMS
- B. VERIFY FINISHES OF ALL EXPOSED SURFACES WITH OWNER TYP
- C. ALL PLUMBING FIXTURES TO BE VERIFIED w/ OWNER
- D. ALL GRADES ARE SHOWN AS ESTIMATES - VERIFY ACTUAL STRUCTURAL ITEMS WITH STRUCTURAL DRAWINGS
- E. NOTES ARE TYP. PER EACH ITEM SHOWN ON THIS SHEET (MAY ONLY BE LABELED ONCE ON ONE ELEVATION/DETAIL/SECTION)

ELEVATION NOTES

#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
6	36 X 84 SOLID METAL DOOR - PAINTED SW 6252 ICE CUBE
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
8	VERTICAL PTAC UNIT - SW 6252 ICE CUBE
9	OVER HEAD DOOR TO MATCH
10	HORIZONTAL METAL PANEL
11	EDGE LIT LED LIGHTING
12	AWNING - DARK BRONZE
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
17	TRANSITION BAND - DARK BRONZE

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		

BLDG 2
ELEVATIONS

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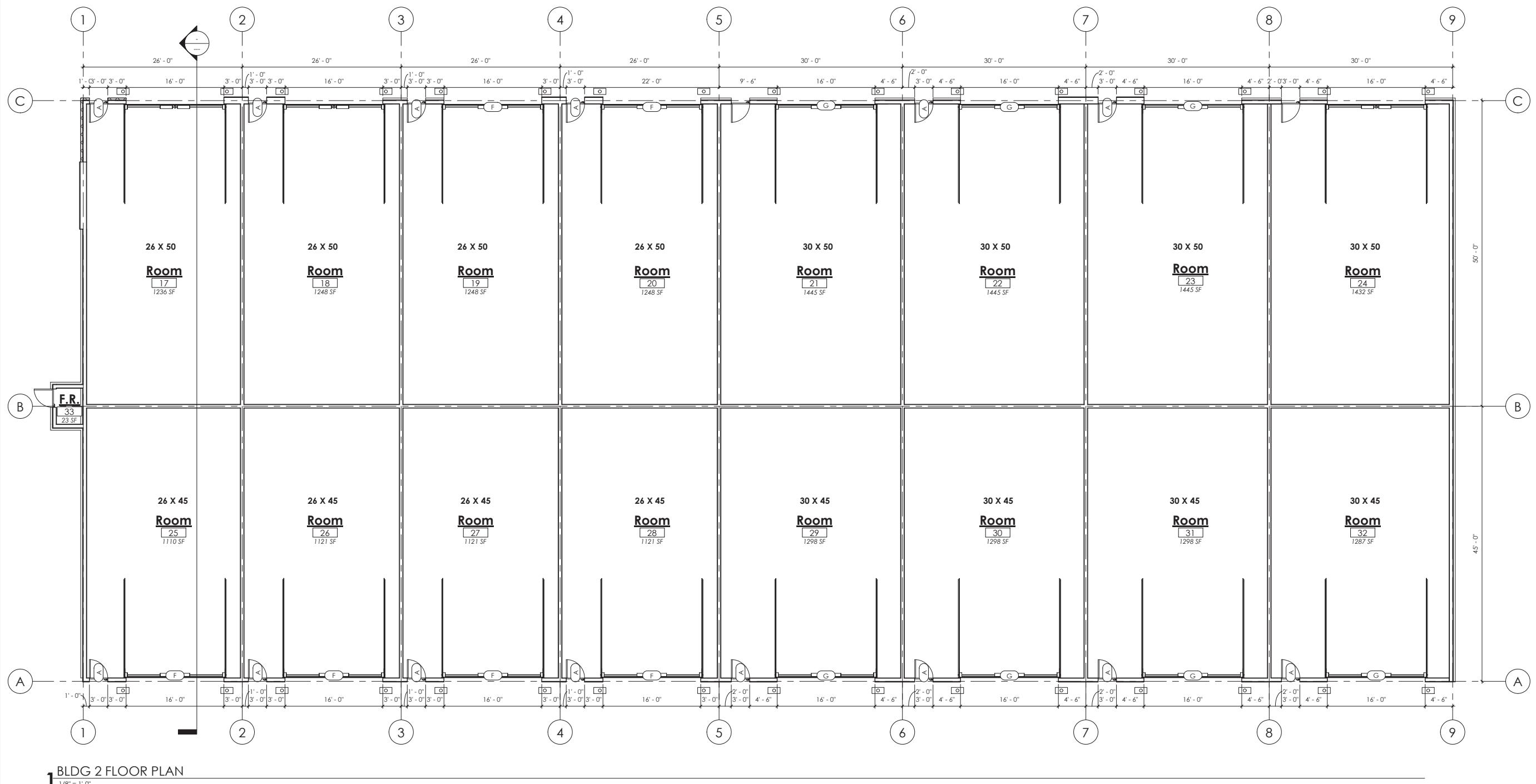
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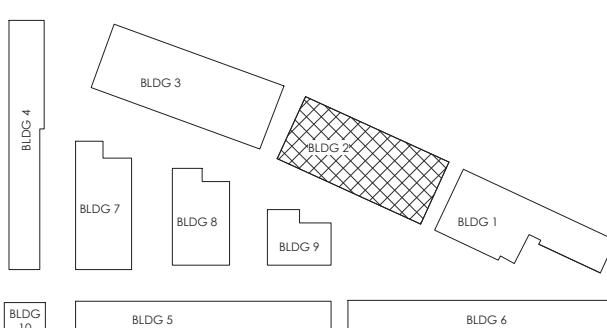
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NO. DESCRIPTION DATE
E PLANNING 09.08.20
D PLANNING 08.03.20
C DESIGN CHANGE 07.27.20
B PLANNING 02.06.20
A PLANNING 10.31.19
REVIEW



GENERAL NOTES:

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- D. ALL STUD FRAMED INTERIOR PARTITIONS WALLS SHALL BE BRACED TO THE UNDERSIDE OF DECK/STRUCTURE ABOVE
- E. CONTRACTORS SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS FOR IBC AND SPECIFIC TRADE CODES
- F. DO NOT SCALE DRAWINGS
- G. LARGE SCALE DRAWINGS TAKE PRIORITY OVER SMALLER SCALE DRAWINGS U.N.O.
- H. ALL EXPOSED G.W.B. EDGES TO HAVE METAL EDGE TRIM, TYP.
- I. LIGHTER LINES TYPICALLY INDICATE OWNER SUPPLIED ITEMS U.N.O.
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- K. ANY NOTES STATED HERIN SHALL BE SUPERCEDED BY NOTES PROVIDED IN STRUCTURAL, MEP DRAWINGS (WHICH WILL TAKE HIGHER PRIORITY).
- L. GRADES AT ENTRY DOORS TO BE NO MORE THAN 1.5% IN ALL DIRECTIONS FOR A MINIMUM DISTANCE OF 5'-0" PERPENDICULAR TO DOORS



SITE PLAN LEGEND

BLDG 2
FLOOR
PLAN

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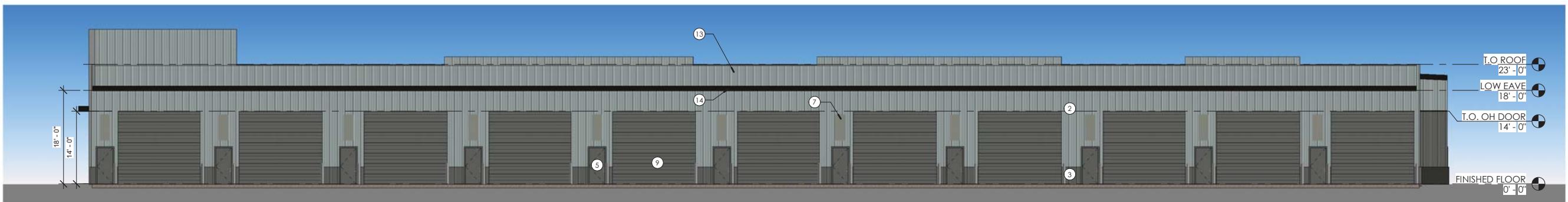
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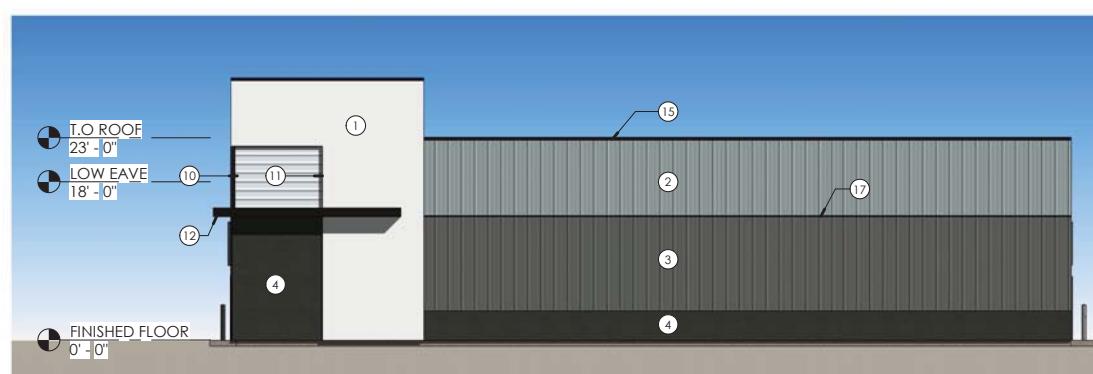
3 BLDG 3 SOUTH ELEVATION - FACING INTERIOR
1" = 10'-0"



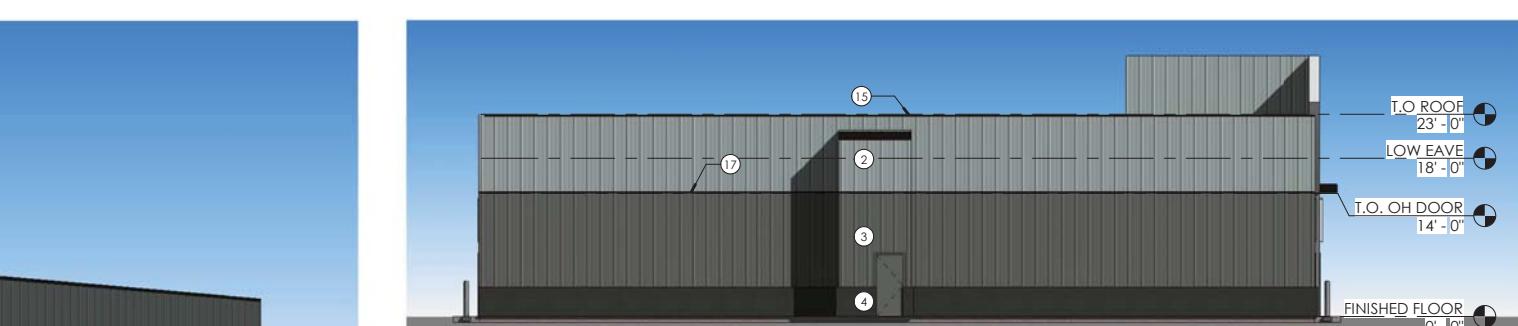
2 BLDG 3 NORTH ELEVATION - FACING 202
1" = 10'-0"



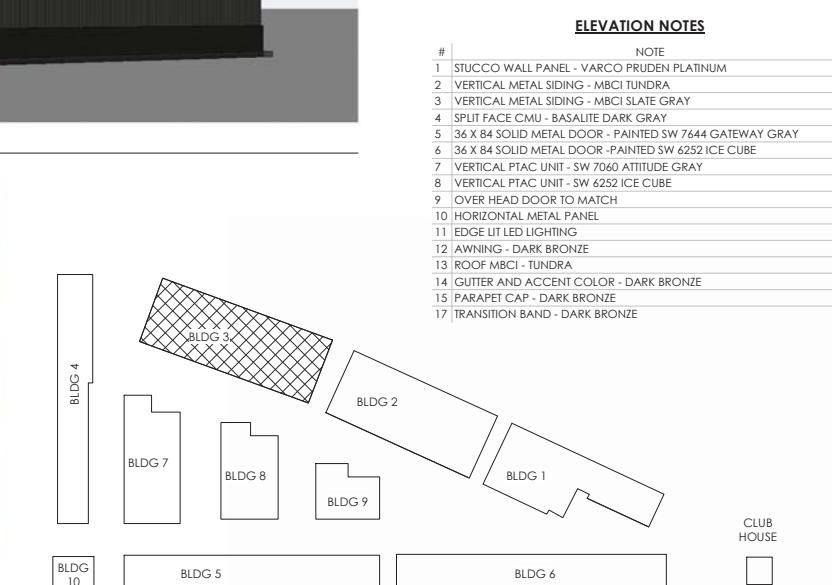
1 3D View 1



5 BLDG 3 EAST ELEVATION
1" = 10'-0"



4 BLDG 3 WEST ELEVATION
1" = 10'-0"



SITE PLAN LEGEND

ELEVATION NOTES

NOTE

- 1) STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
- 2) VERTICAL METAL SIDING - MBCI TUNDRA
- 3) VERTICAL METAL SIDING - MBCI SLATE GRAY
- 4) SPLIT FACE CMU - BASALITE DARK GRAY
- 5) 36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
- 6) 36 X 84 SOLID METAL DOOR - PAINTED SW 6252 ICE CUBE
- 7) VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
- 8) VERTICAL PTAC UNIT - SW 4252 ICE CUBE
- 9) OVER HEAD DOOR TO MATCH
- 10) HORIZONTAL METAL PANEL
- 11) EDGE LIT LED LIGHTING
- 12) AWNING - DARK BRONZE
- 13) ROOF MBCI - TUNDRA
- 14) GUTTER AND ACCENT COLOR - DARK BRONZE
- 15) PARAPET CAP - DARK BRONZE
- 17) TRANSITION BAND - DARK BRONZE

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR: CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		

NO.	DESCRIPTION	DATE
J	PLANNING REVIEW	09.08.20
I	PLANNING REVIEW	08.27.20
H	PLANNING REVIEW	08.14.20
G	PLANNING REVIEW	08.04.20
F	DESIGN CHANGE	07.27.20
E	DESIGN CHANGE	07.17.20
D	DESIGN CHANGE	07.16.20
C	DESIGN CHANGE	07.15.20
B	PLANNING REVIEW	02.06.20
A	PLANNING REVIEW	10.31.19

BLDG 3
ELEVATIONS

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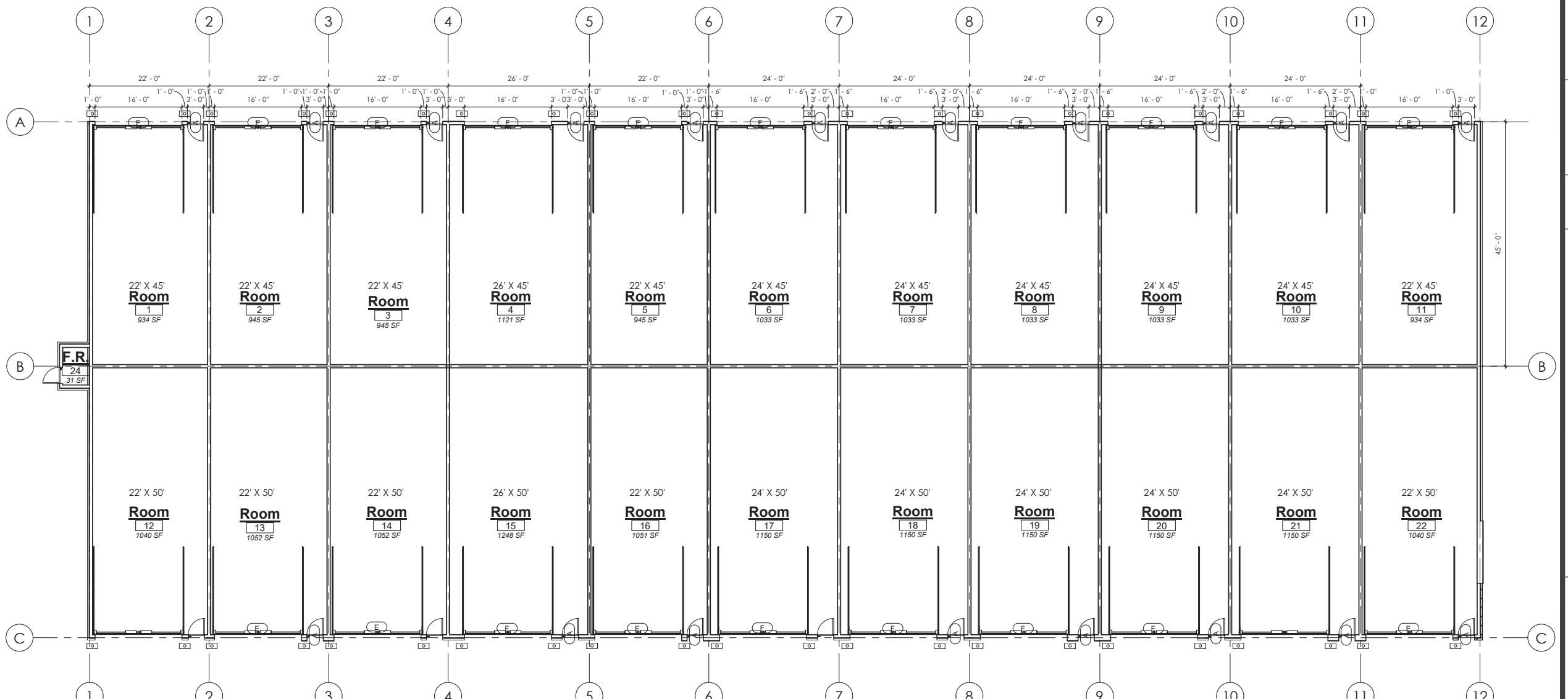
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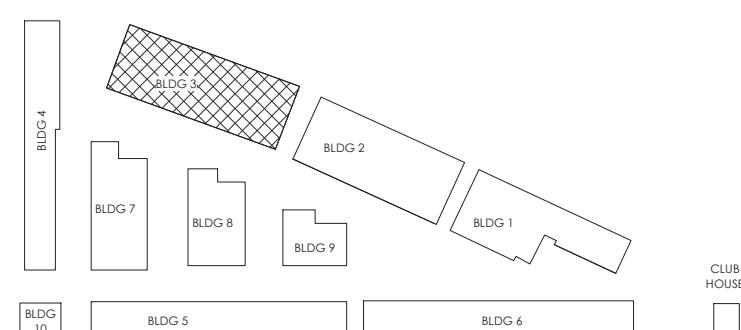
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- I. LIGHTER LINES TYPICALLY INDICATE OWNER SUPPLIED ITEMS U.N.O.
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- L. GRADES AT ENTRY DOORS TO BE NO MORE THAN 1.5% IN ALL DIRECTIONS FOR A MINIMUM DISTANCE OF 5'-0" PERPENDICULAR TO DOORS

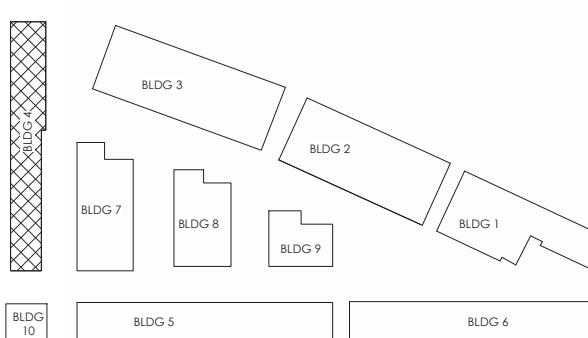
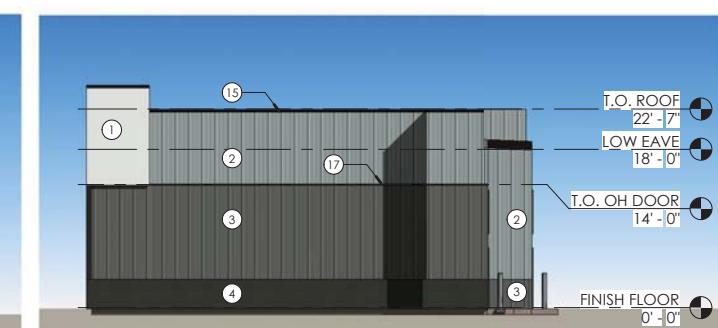
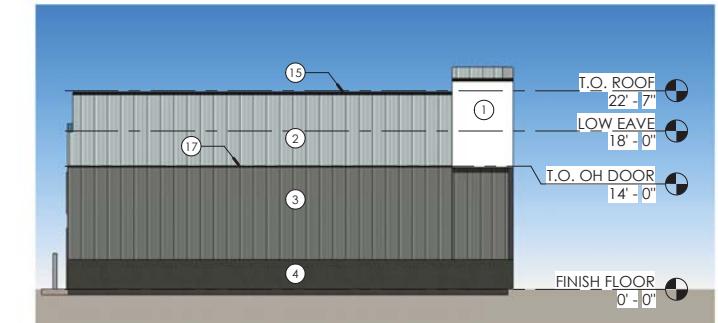


SITE PLAN LEGEND

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NO.	DESCRIPTION	DATE
E	PLANNING REVIEW	09.08.20
D	PLANNING REVIEW	08.27.20
C	PLANNING REVIEW	08.14.20
B	PLANNING REVIEW	02.06.20
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SITE PLAN LEGEND
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ELEVATION NOTES

NOTE #	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
6	VERTICAL PTAC UNIT - SW 6252 ICE CUBE
7	36 X 80 METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
8	OVERHEAD DOOR SIZE VARIES - UNIQUE GARAGE DOORS, SANDSTONE
9	OVERHEAD DOOR TO MATCH
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
17	TRANSITION BAND - DARK BRONZE

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR NAME: DARK BRONZE
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		



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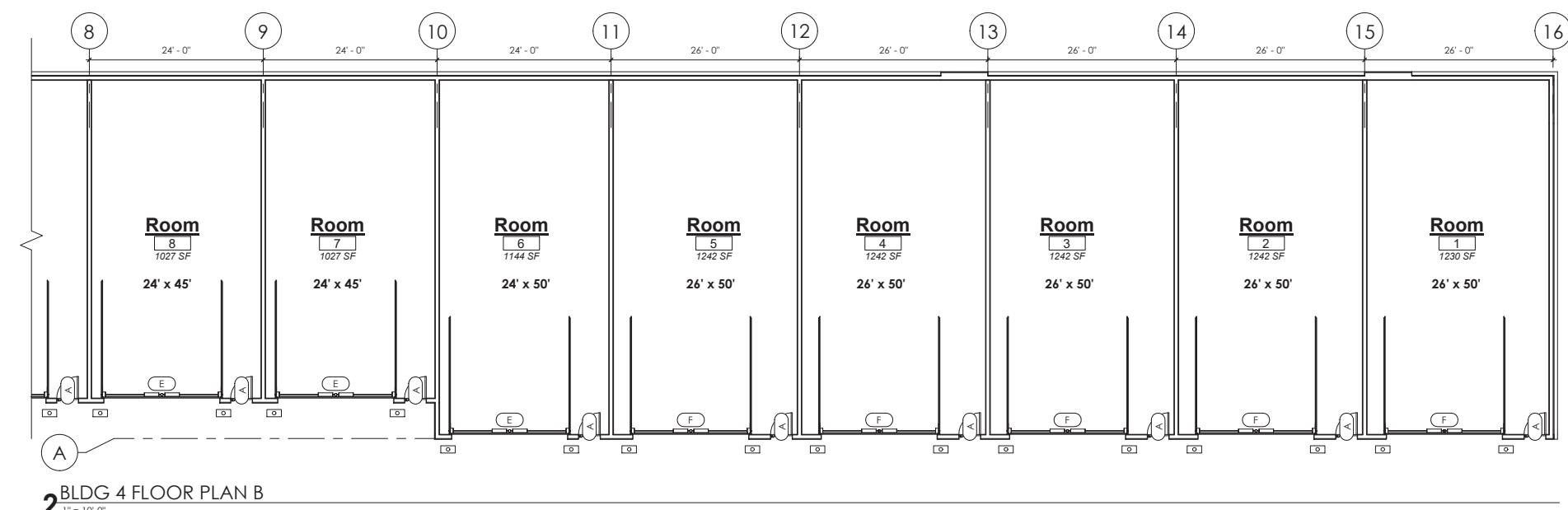
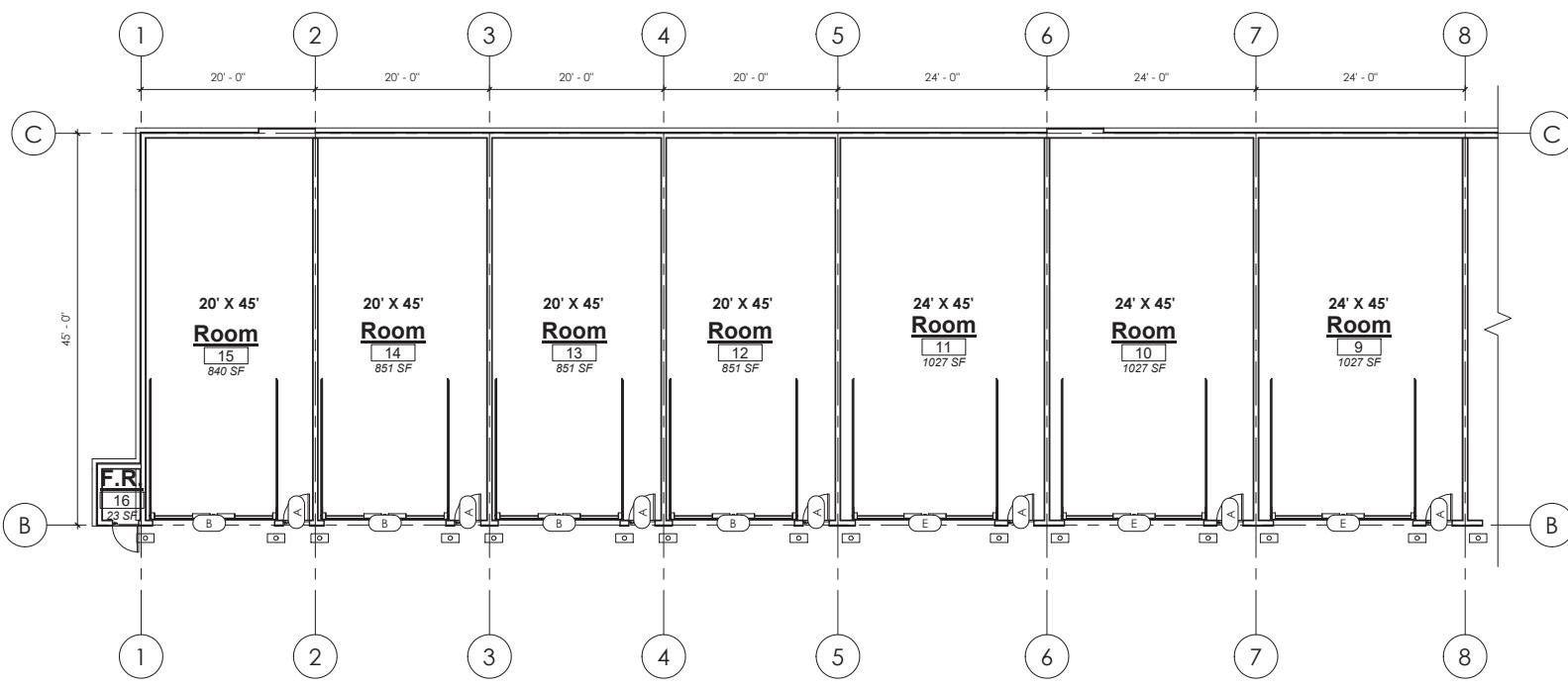
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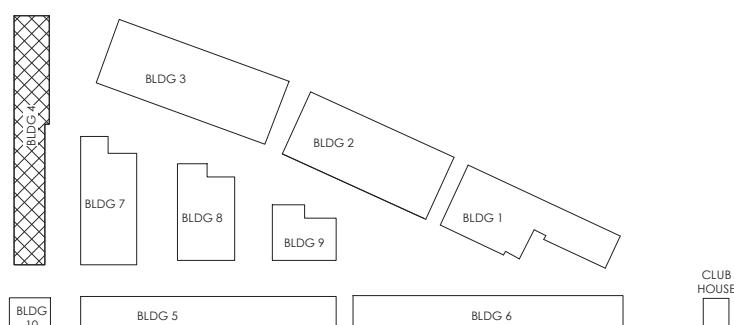
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D PLANNING REVIEW 09.08.20
C PLANNING REVIEW 08.14.20
B PLANNING REVIEW 02.06.20
A PLANNING REVIEW 10.31.19



GENERAL NOTES:

- A. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT AND DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION. GRADES ARE APPROXIMATE. VERIFY IN FIELD.
- B. ALL PLANTS, TREES AND HARDSCAPING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT FROM DAMAGE DURING CONSTRUCTION. REPLACE AS REQUIRED.
- C. PRIOR TO CERTIFICATE OF OCCUPANCY, REPLACE ANY DAMAGED EXISTING HARDSCAPING (ASPHALT, CONCRETE, CURBS, ETC.) AS REQUIRED.
- D. PROVIDE SECURE BICYCLE PARKING IN CLOSE PROXIMITY TO BUILDING ENTRANCES MEETING ADA REQUIREMENTS. THESE FACILITIES SHALL NOT OBSTRUCT PEDESTRIAN WALKWAYS, PUBLIC SIDEWALKS, OR BUILDING ENTRANCE. EACH CONSTRUCTED FACILITY SHALL SUPPORT THE BICYCLE AND ALLOW THE OWNER OF TO LOCK FRAME AND FRONT WHEEL WITH ONE LOCK.



SITE PLAN LEGEND

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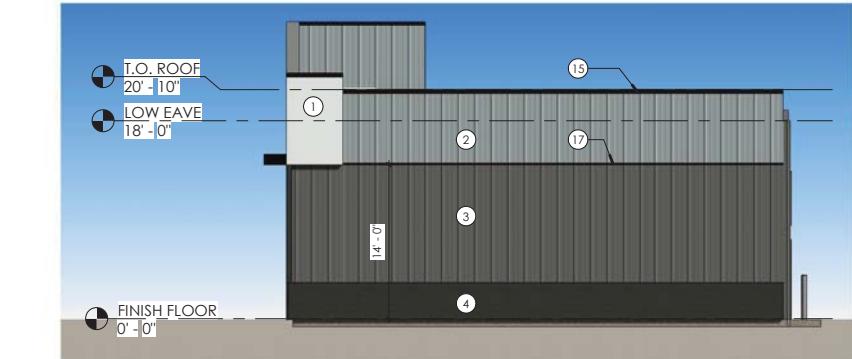
BLDG 5 ELEVATIONS

AE211



6 BLDG 5 WEST ELEVATION

1/8" = 1'-0"



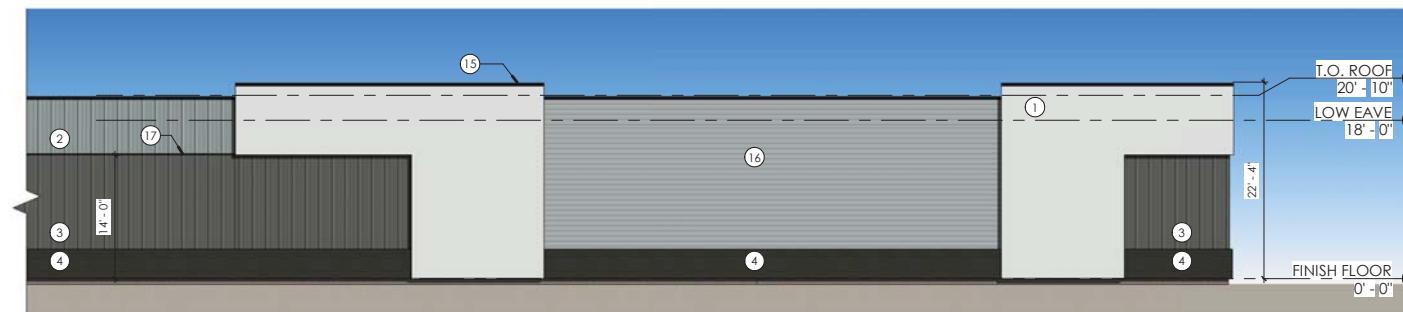
5 BLDG 5 EAST ELEVATION

1/8" = 1'-0"



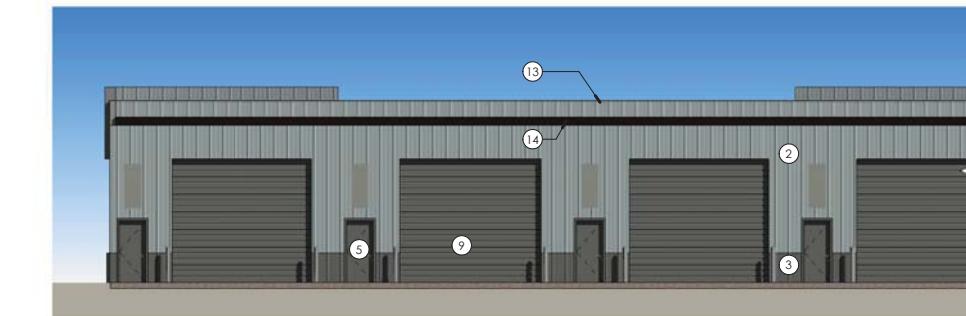
4 BLDG 5 SOUTH ELEVATION A

1" = 10'-0"



3 BLDG 5 SOUTH ELEVATION B

1" = 10'-0"



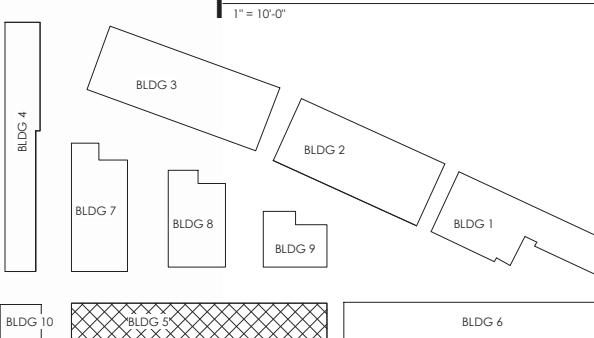
2 BLDG 5 NORTH ELEVATION A

1" = 10'-0"



1 BLDG 5 NORTH ELEVATION B

1" = 10'-0"



SITE PLAN LEGEND

GENERAL NOTES:

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ELEVATION NOTES

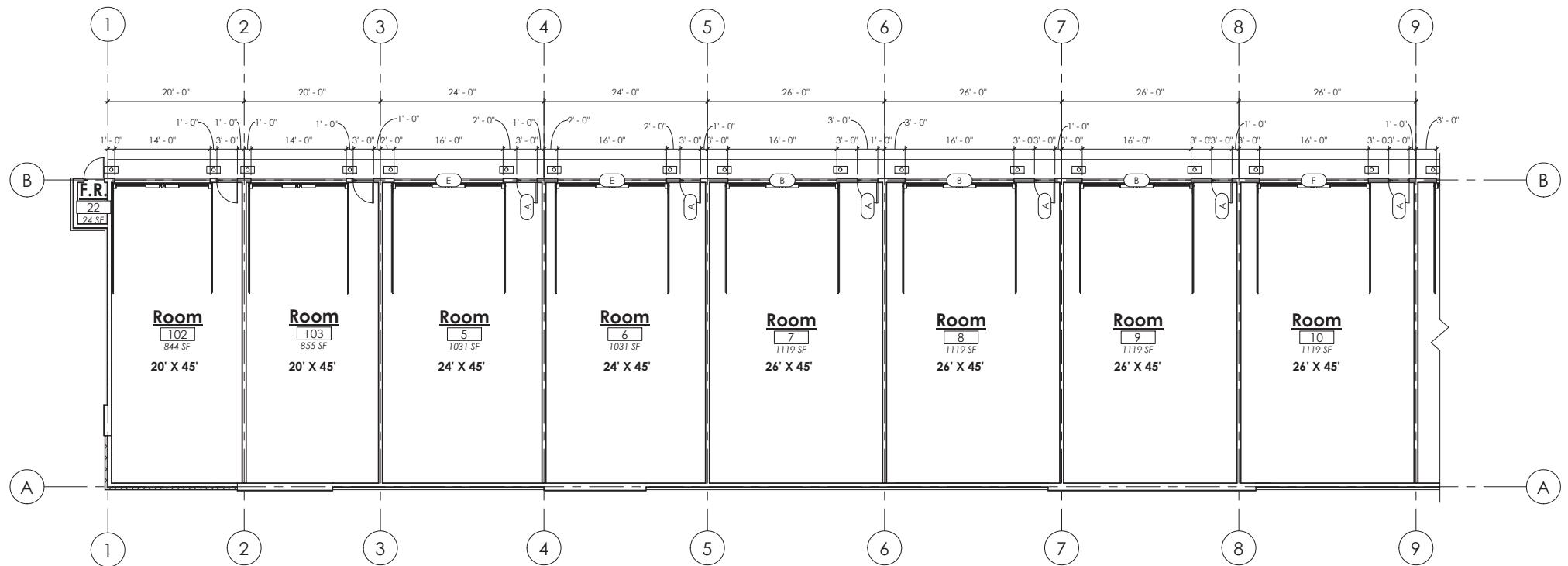
#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SQUID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
9	OVER HEAD DOOR TO MATCH
10	HORIZONTAL METAL PANEL
11	EDGE Lit LED LIGHTING
12	AWNING - DARK BRONZE
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
16	MBCI - MASTERLINE 16 - TUNDRA
17	TRANSITION BAND - DARK BRONZE

EXTERIOR FINISH LEGEND

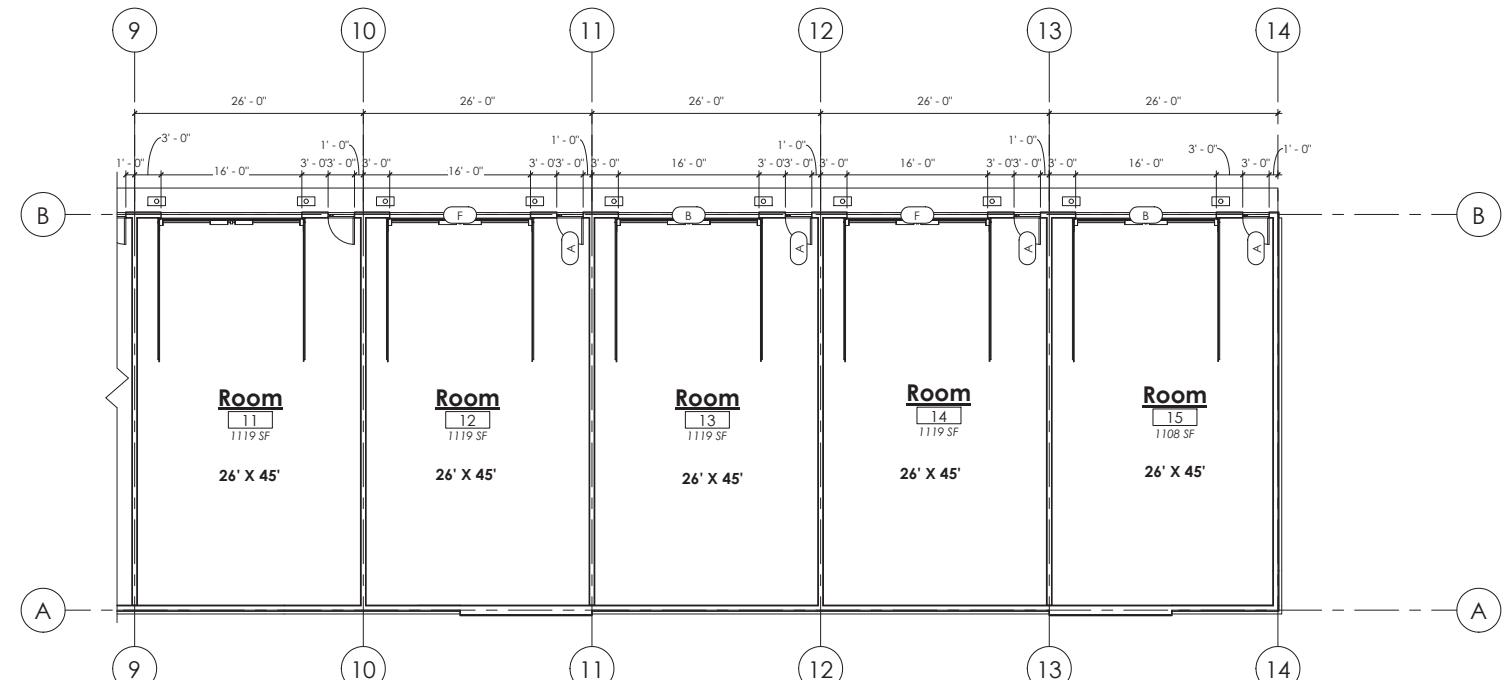
*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR NAME: TUNDRA STYLE: TEXTURECLAD™
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE	16)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: MASTERLINE 16



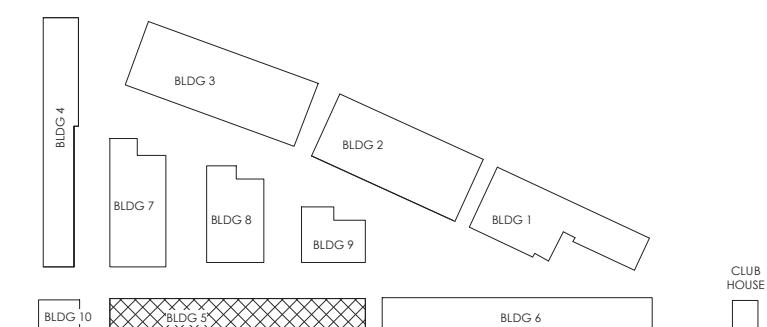
1 BLDG 5 - FLOOR PLAN A



3 BLDG 5 - FLOOR PLAN B

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SITE PLAN LEGEND

FALCON ONE, LLC
FALCON STORAGE CONDOS
100 E. ELLIS & N. ARIZONA AVE.
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	REVIEW	
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BLDG 5
FLOOR
PLAN

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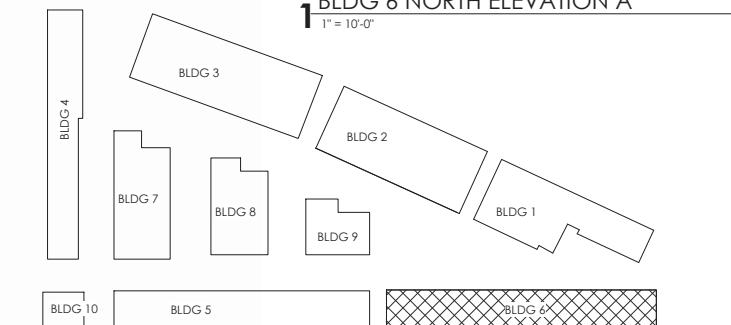
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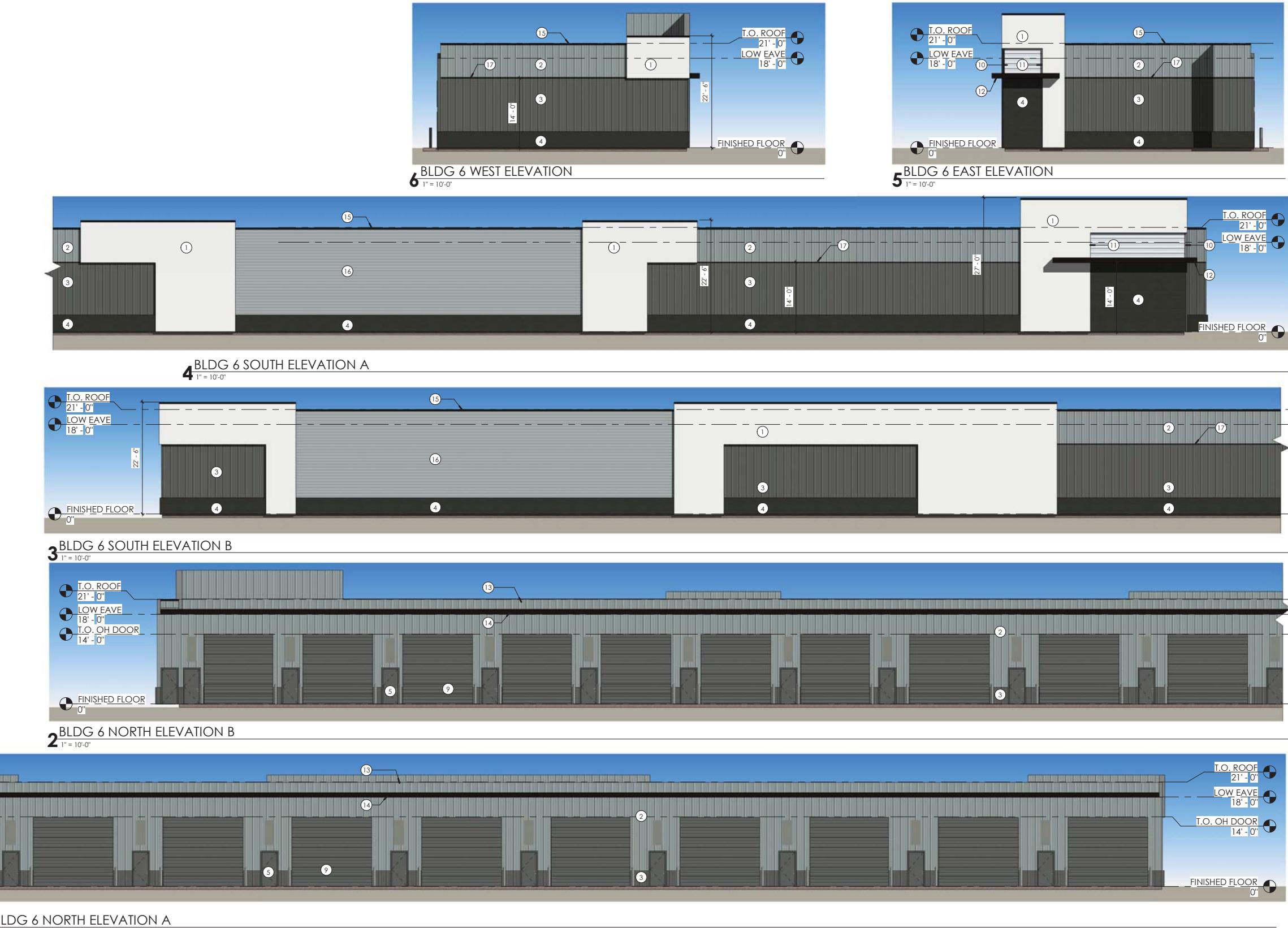
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BLDG 6 EXTERIOR ELEVATIONS

AF211

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SITE PLAN LEGEND



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ELEVATION NOTES

#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
9	OVER HEAD DOOR TO MATCH
10	HORIZONTAL METAL PANEL
11	EDGE LIT LED LIGHTING
12	AWNING - DARK BRONZE
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
16	HORIZONTAL METAL SIDING - MBCI MASTER LINE - TUNDRA
17	TRANSITION BAND - DARK BRONZE

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR NAME: TUNDRA	16)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: MASTER LINE 16
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM		
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE				

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ADO



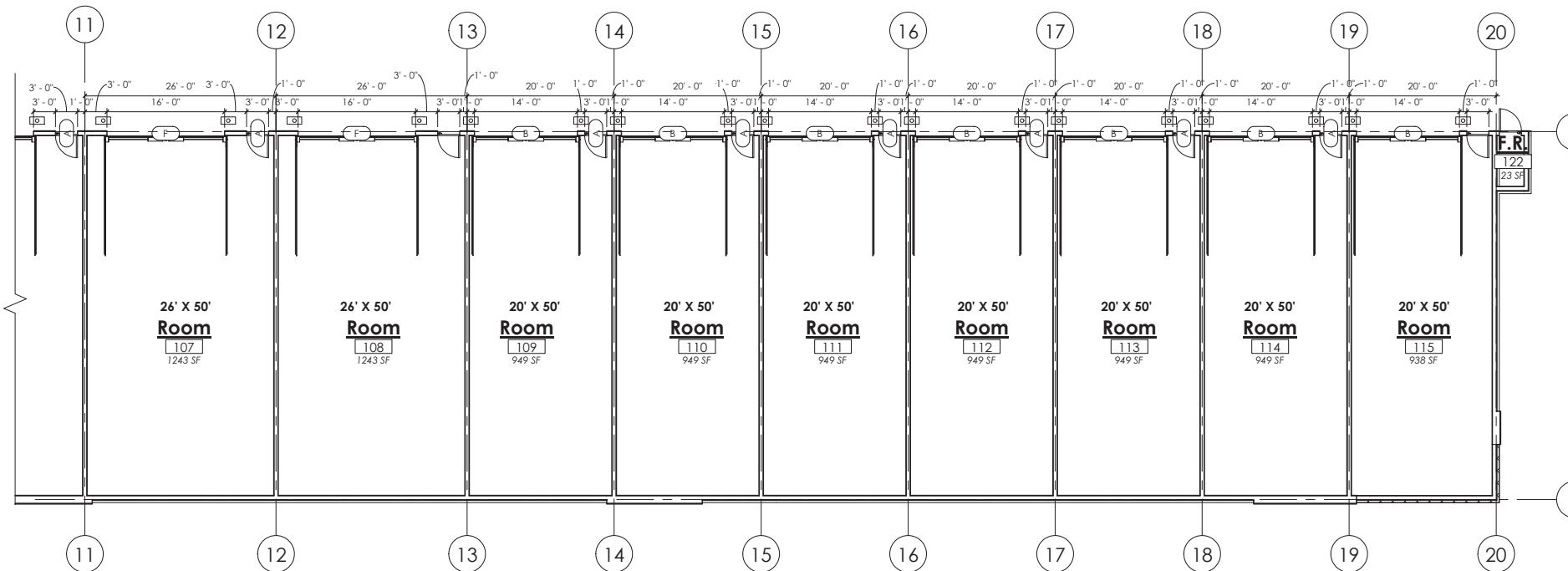
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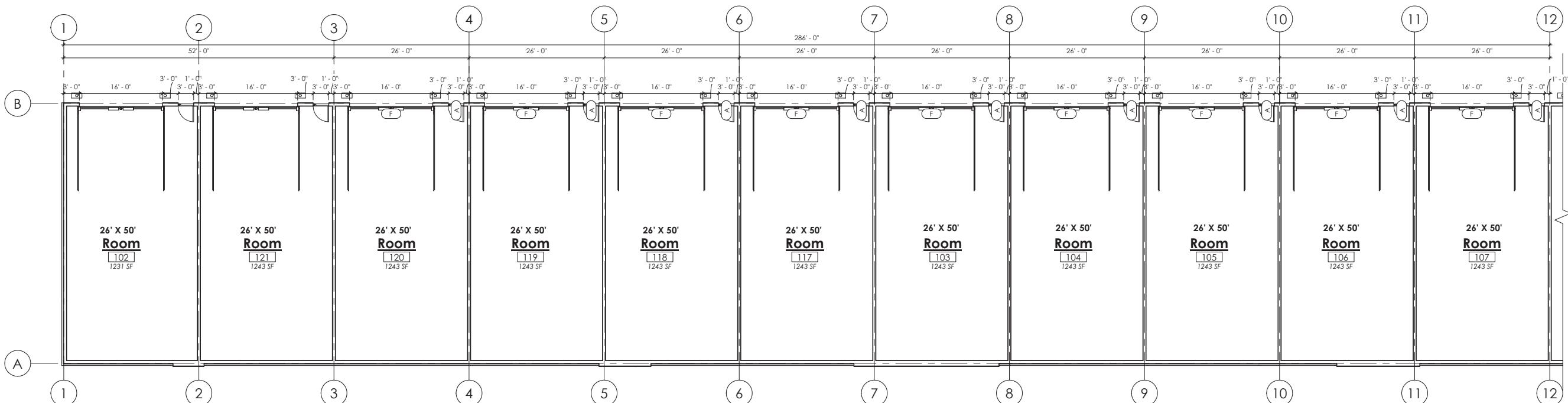
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1 BLDG 6 - FLOOR PLAN A

1" = 1



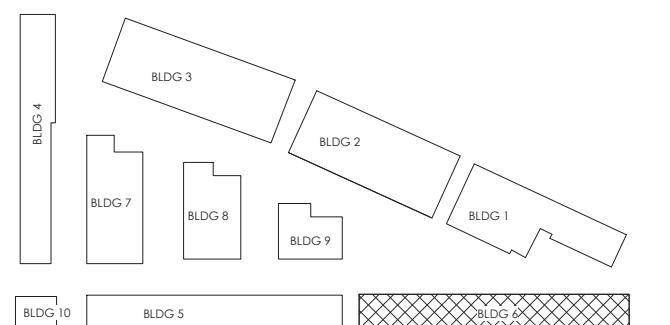
2 BLDG 6 - FLOOR PLAN B

2 1" = 10'-0"

GENERAL NOTES:

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- B. TYPICAL DIMENSION LOCATIONS ARE TO F.O. CONCRETE OR GRID LINES OR LEFT/TOP SIDE OF F.O. STUD, U.N.O. (TO F.O. STRUCTURAL MEMBERS, NOT TO F.O. FINISH MATERIALS)
- C. PROVIDE SOLID BLOCKING IN WALLS FOR ITEMS SUCH AS GRAB BARS, TOILET PARTITIONS, PAPER DISPENSERS, WALL-HUNG TOILETS, AND ETC.
- D. ALL STUD FRAMED INTERIOR PARTITIONS WALLS SHALL BE BRACED TO THE UNDERSIDE OF DECK/STRUCTURE ABOVE.
- E. ALL CEILING WATERSHEDS SHALL BE FILLED WITH SOUND BATT INSULATION
- F. CONTRACTOR/LODGE SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS FOR IBC AND SPECIFIC CODES
- G. DO NOT SCALE DRAWINGS
- H. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS U.N.O.
- I. ALL EXPOSED GWD EDGES TO HAVE METAL EDGE TRIM, TYP.
- J. HICHRUN LINES/XYRICAL LINES INDICATE OWNER SUBMISSIONS U.N.O.



BLDG 6
FLOOR
PLAN

SITE PLAN LEGEND

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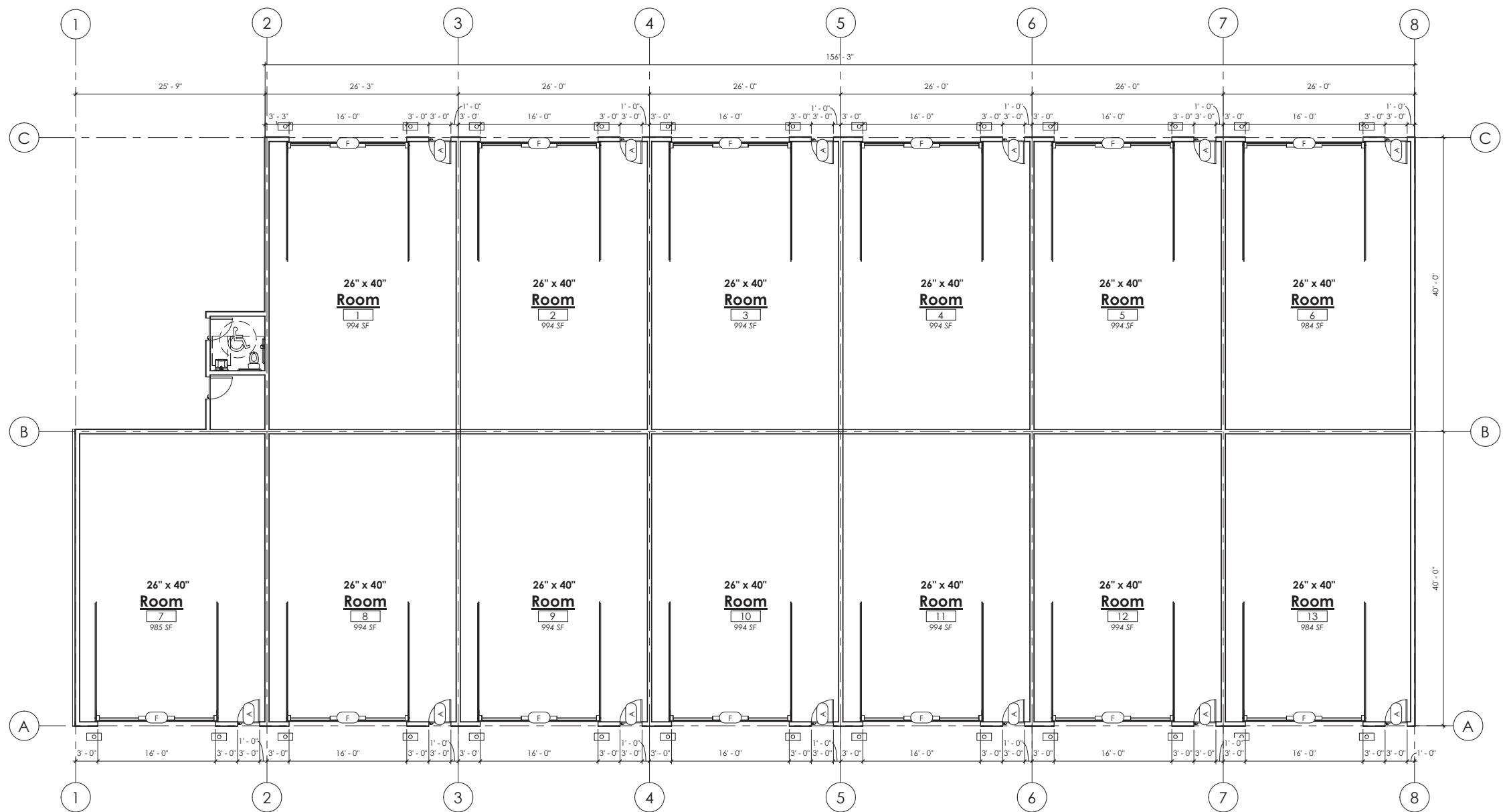
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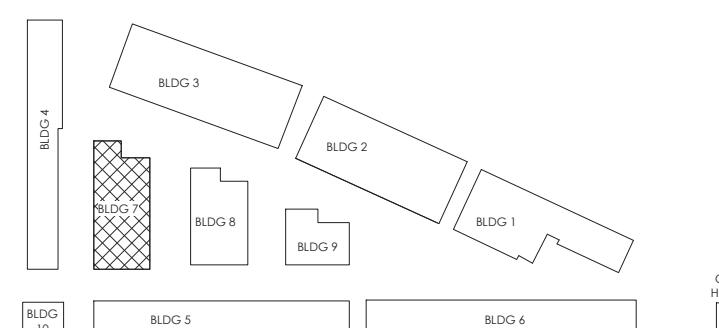
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- I. ALL EXPOSED G.W.B EDGES TO HAVE METAL EDGE TRIM, TYP.
- J. LIGHTER LINES TYPICALLY INDICATE OWNER SUPPLIED ITEMS U.N.O.



2 SITE PLAN LEGEND
1" = 10'-0"

BLDG 7
FLOOR
PLAN

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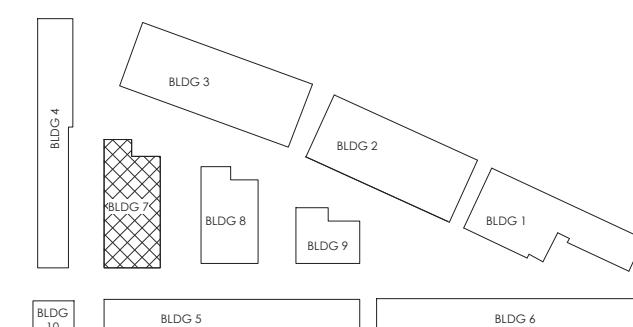
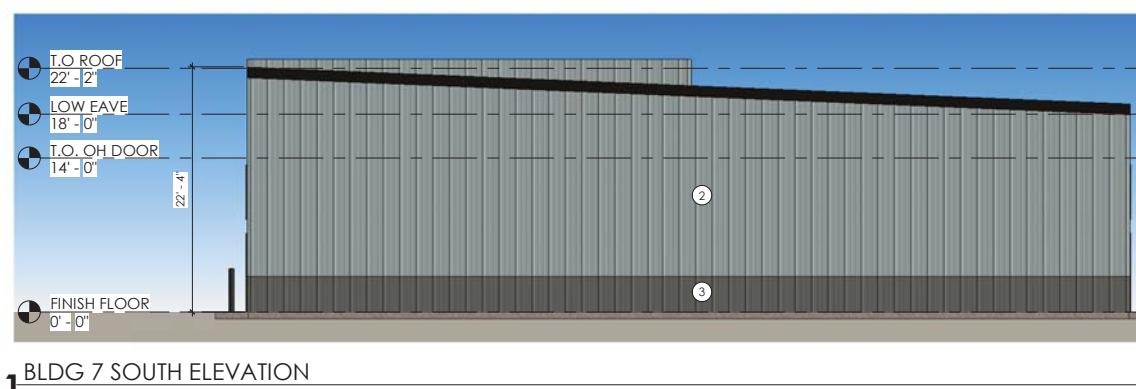
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REVIEW



SITE PLAN LEGEND

ELEVATION NOTES

#	NOTE
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
9	OVER HEAD DOOR TO MATCH
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
16	ROOF ACCENT TRIM COLOR - DARK BRONZE

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		

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BLDG 7
EXTERIOR
ELEVATIONS

AG211



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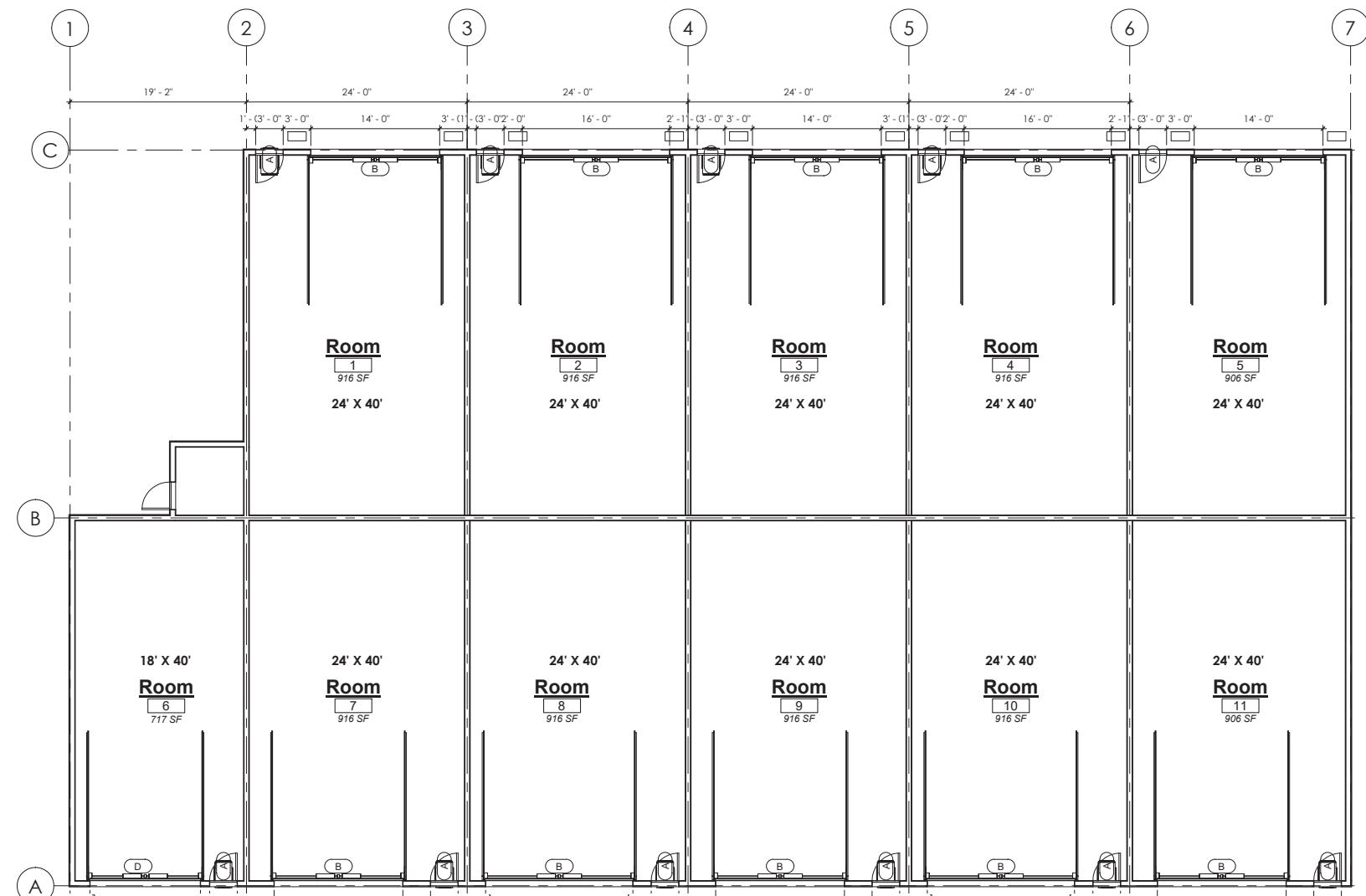
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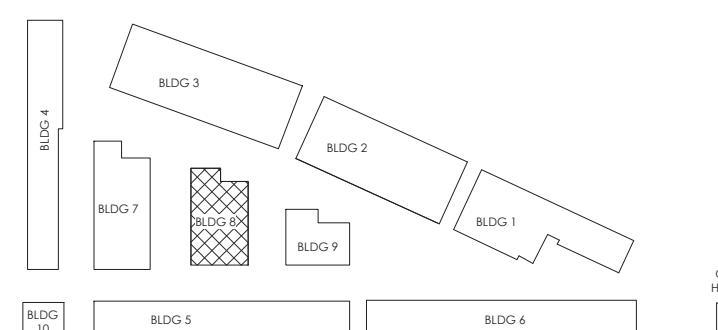
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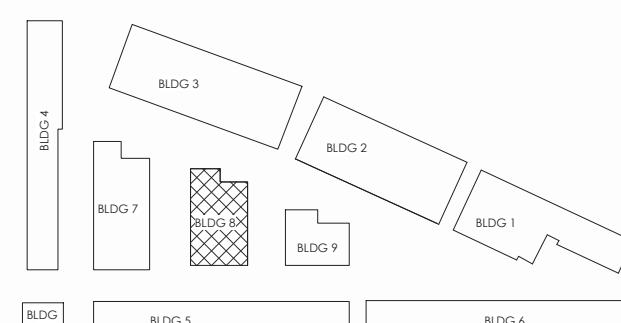
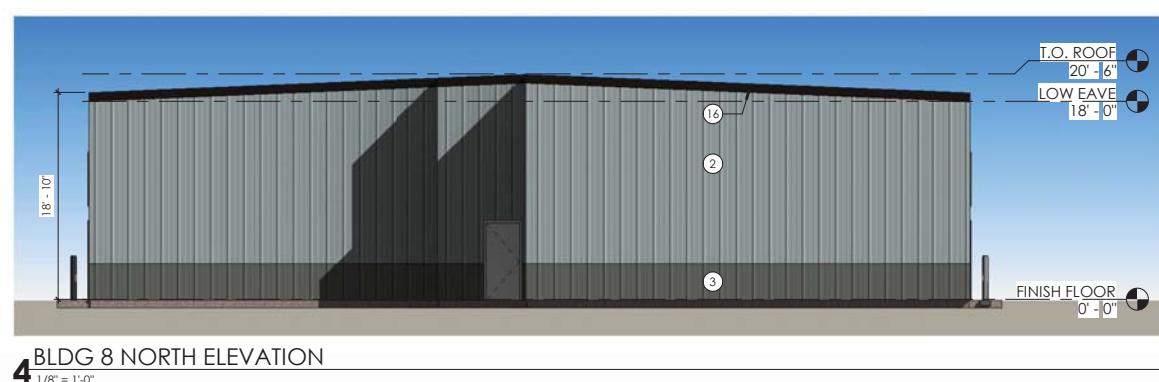
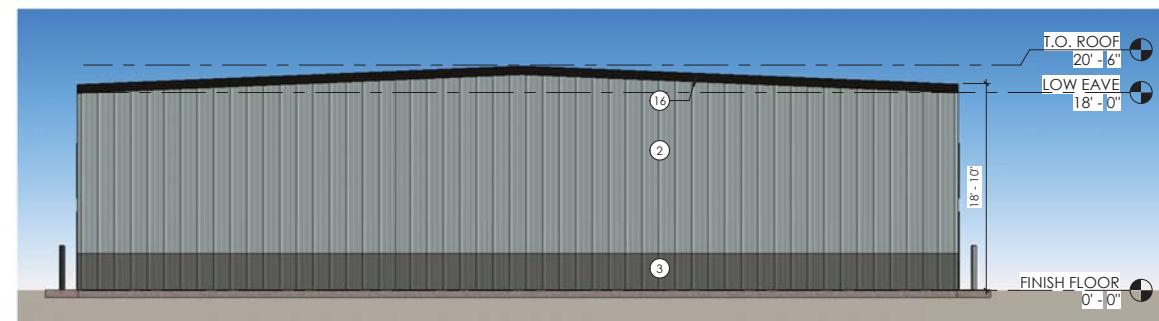
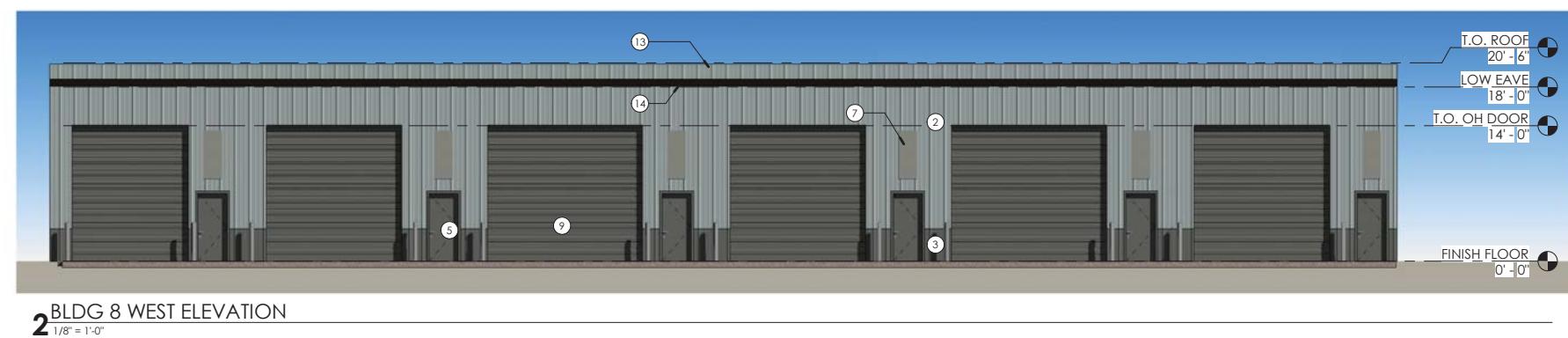
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REVIEW

BLDG 8
ELEVATIONS

AH211

JOB NUMBER
DRAWN BY

ADO



SITE PLAN LEGEND

ELEVATION NOTES

#	NOTE
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
9	OVER HEAD DOOR TO MATCH
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
16	ROOF ACCENT TRIM COLOR - DARK BRONZE

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EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR: CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		

JOB NUMBER
DRAWN BY

ADO

19183



neUdesign

ARCHITECTURE

7225 E 2nd St

Meridian, ID 83642

208.884.2824

CONSULTANT

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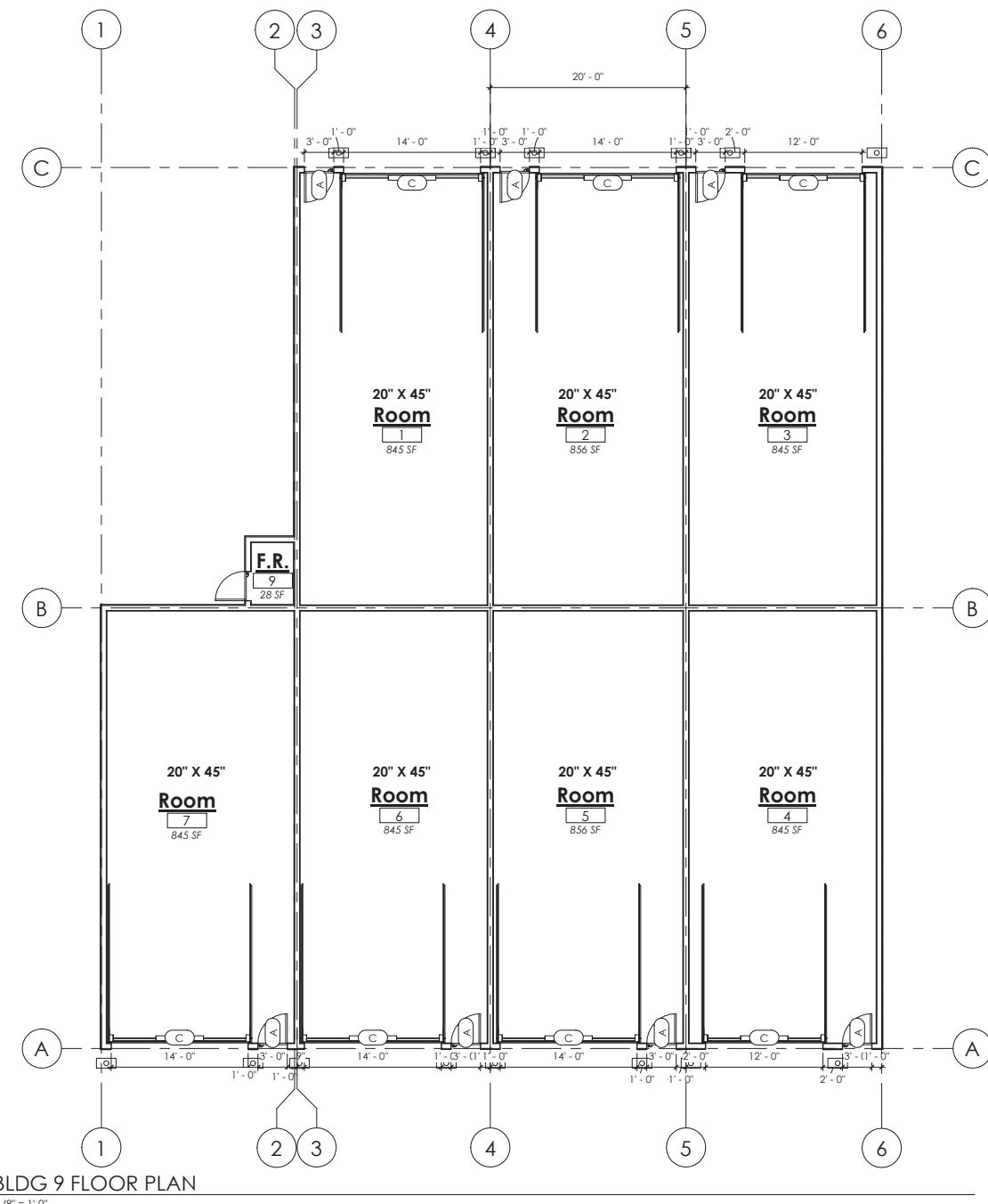
© NEUDESIGN ARCHITECTURE LLC

CLIENT: FALCON ONE, LLC
FALCON STORAGE CONDOS
E. WILLIS RD & N. ARIZONA AVE.
CHANDLER, AZ 85286

PROFESSIONAL SEAL

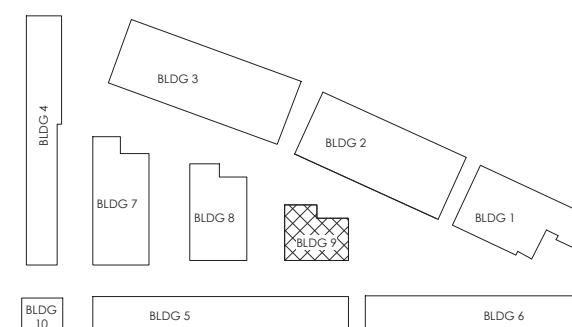
NOT FOR PERMIT

NO. DESCRIPTION DATE
D PLANNING 09.08.20
C PLANNING 08.04.20
B PLANNING 02.06.20
A PLANNING 10.31.19



GENERAL NOTES:

- A. VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO FABRICATION OR INSTALLATION
- B. TYPICAL DIMENSION LOCATIONS ARE TO F.O. CONCRETE OR GRID LINES OR LEFT/TOP SIDE OF F.O. STUD, U.N.O. (TO F.O. STRUCTURAL MEMBERS, NOT TO F.O. FINISH MATERIALS)
- C. PROVIDE SOLID BLOCKING IN WALLS FOR ITEMS SUCH AS GRAB BARS, TOILET PARTITIONS, PAPER DISPENSERS, WALL-HUNG TOILETS, AND ETC.
- D. ALL STUD FRAMED INTERIOR PARTITIONS WALLS SHALL BE BRACED TO THE UNDERSIDE OF DECK/STRUCTURE ABOVE
- E. ALL INTERIOR WALLS SHALL BE FILLED WITH SOUND BATT INSULATION
- F. CONTRACTORS SHALL ADHERE TO ALL CODES, RULES AND REGULATIONS FOR IBC AND SPECIFIC TRADE CODES
- G. DO NOT SCALE DRAWINGS
- H. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS U.N.O.
- I. ALL EXPOSED GWB EDGES TO HAVE METAL EDGE TRIM, TYP.
- J. LIGHTER LINES TYPICALLY INDICATE OWNER SUPPLIED ITEMS U.N.O.



CLUB
HOUSE

BLDG 9
FLOOR
PLAN

SITE PLAN LEGEND

AJ111



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725 E 2nd St
Meridian, ID 83642
208.884.2824

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CHANDLER, AZ 85286

CLIENT:
FALCON ONE, LLC
E. WILLIS RD & N. ARIZONA AVE.
CHANDLER, AZ 85286

PROFESSIONAL SEAL

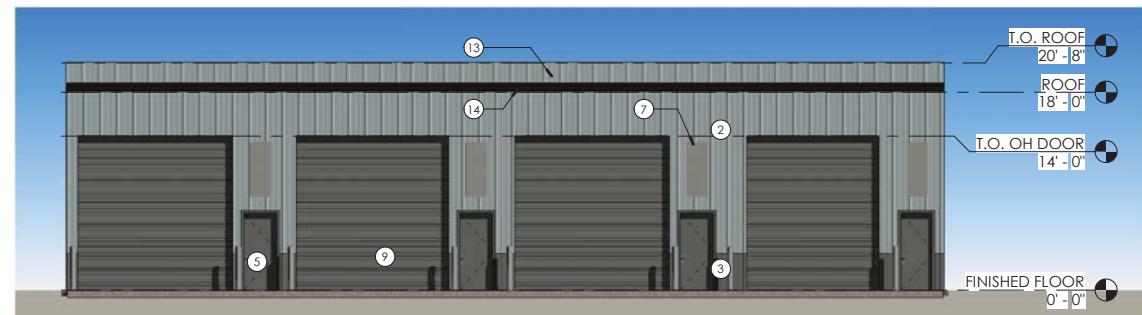
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C PLANNING 08.04.20
B PLANNING 02.06.20
A PLANNING 10.31.19

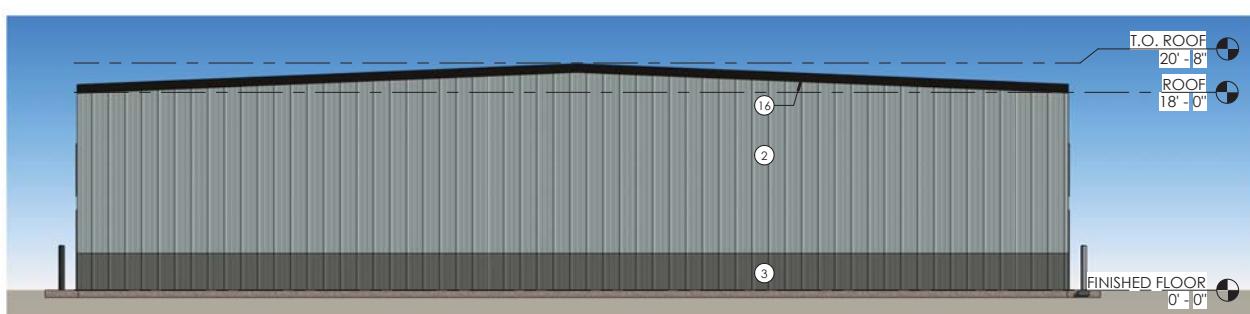
BLDG 9
ELEVATIONS



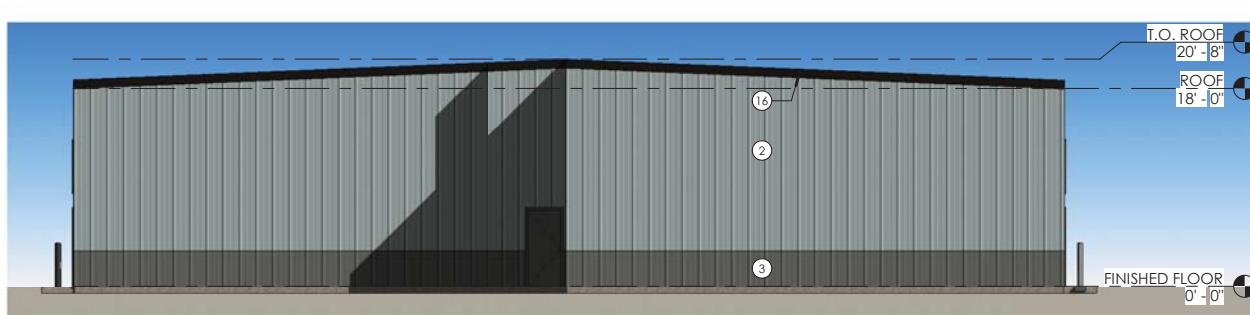
1 BLDG 9 EAST ELEVATION
1/8" = 1'-0"



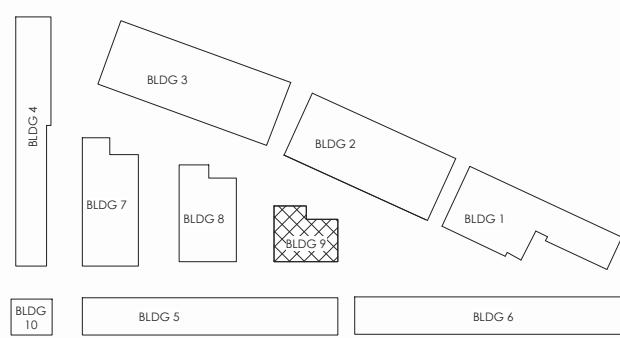
2 BLDG 9 WEST ELEVATION
1/8" = 1'-0"



3 BLDG 9 SOUTH ELEVATION
1/8" = 1'-0"



4 BLDG 9 NORTH ELEVATION
1/8" = 1'-0"



SITE PLAN LEGEND

ELEVATION NOTES

#	NOTE
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
9	OVER HEAD DOOR TO MATCH
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
16	ROOF ACCENT TRIM COLOR - DARK BRONZE

GENERAL NOTES:

- A. ALL ELEVATIONS ARE CONSIDERED TO BE "PER INTENT OF THE DRAWINGS" AND MAY NOT REFLECT EXACT CONSTRUCTED ITEMS
- B. VERIFY FINISHES OF ALL EXPOSED SURFACES WITH OWNER TYP
- C. ALL PLUMBING FIXTURES TO BE VERIFIED w/ OWNER
- D. ALL GRADES ARE SHOWN AS ESTIMATES - VERIFY ACTUAL STRUCTURAL ITEMS WITH STRUCTURAL DRAWINGS
- E. NOTES ARE TYP. PER EACH ITEM SHOWN ON THIS SHEET (MAY ONLY BE LABELED ONCE ON ONE ELEVATION/DETAIL/SECTION)

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALTE CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		

AJ211



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CHANDLER, AZ 85286

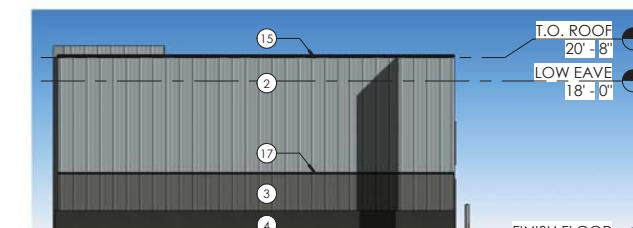
PROFESSIONAL SEAL

NOT FOR PERMIT

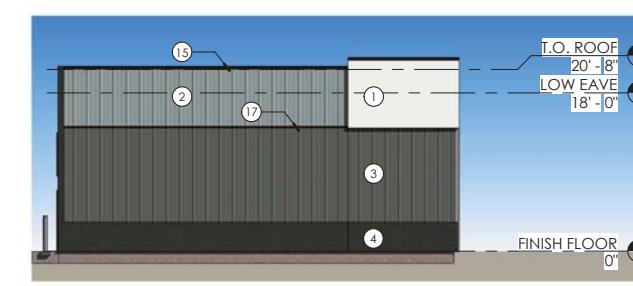
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D	PLANNING	08.27.20
C	PLANNING	08.04.20
B	PLANNING REVIEW	02.06.20
A	PLANNING REVIEW	10.31.19

BLDG 10
FLOOR
PLAN &
ELEVATIONS

AK111



6 BLDG 10 EAST ELEVATION



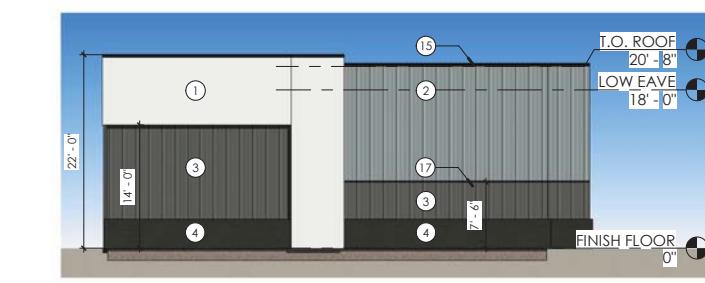
5 BLDG 10 WEST ELEVATION

ELEVATION NOTES

#	NOTE
1	STUCCO WALL PANEL - VARCO PRUDEN PLATINUM
2	VERTICAL METAL SIDING - MBCI TUNDRA
3	VERTICAL METAL SIDING - MBCI SLATE GRAY
4	SPLIT FACE CMU - BASALITE DARK GRAY
5	36 X 84 SOLID METAL DOOR - PAINTED SW 7644 GATEWAY GRAY
7	VERTICAL PTAC UNIT - SW 7060 ATTITUDE GRAY
9	OVER HEAD DOOR TO MATCH
13	ROOF MBCI - TUNDRA
14	GUTTER AND ACCENT COLOR - DARK BRONZE
15	PARAPET CAP - DARK BRONZE
17	TRANSITION BAND - DARK BRONZE



4 BLDG 10 NORTH ELEVATION



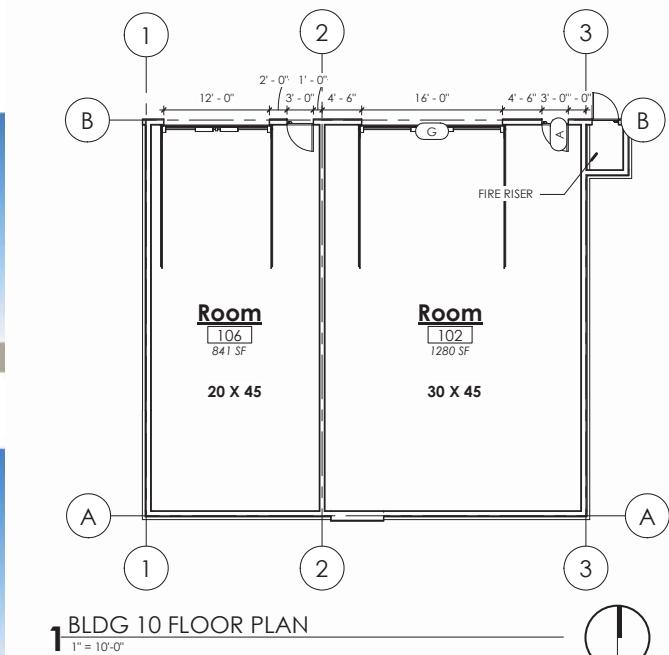
3 BLDG 10 SOUTH ELEVATION

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

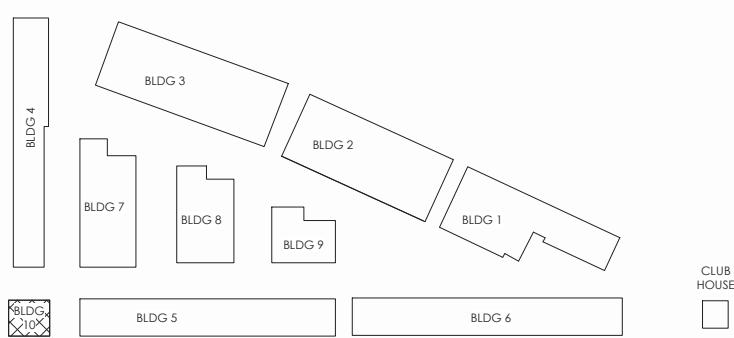
FINISHES

1)	STUCCO WALL PANEL MFR: VARCO PRUDEN COLOR NAME: PLATINUM STYLE: TEXTURECLAD™	4)	SPLITFACE CMU MFR: BASALITE COLOR NAME: CHARCOAL GRAY
2)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: TUNDRA STYLE: PBR VERTICAL TEXTURE	10)	HORIZONTAL METAL PANEL MFR: MBCI COLOR NAME: SOLAR WHITE STYLE: STANDING SEAM
3)	VERTICAL METAL PANEL MFR: MBCI COLOR NAME: SLATE GRAY STYLE: PBR VERTICAL TEXTURE		



1 BLDG 10 FLOOR PLAN

1" = 10'-0"



2 SITE PLAN LEGEND

1" = 10'-0"

Tab 5



PLAN VIEW

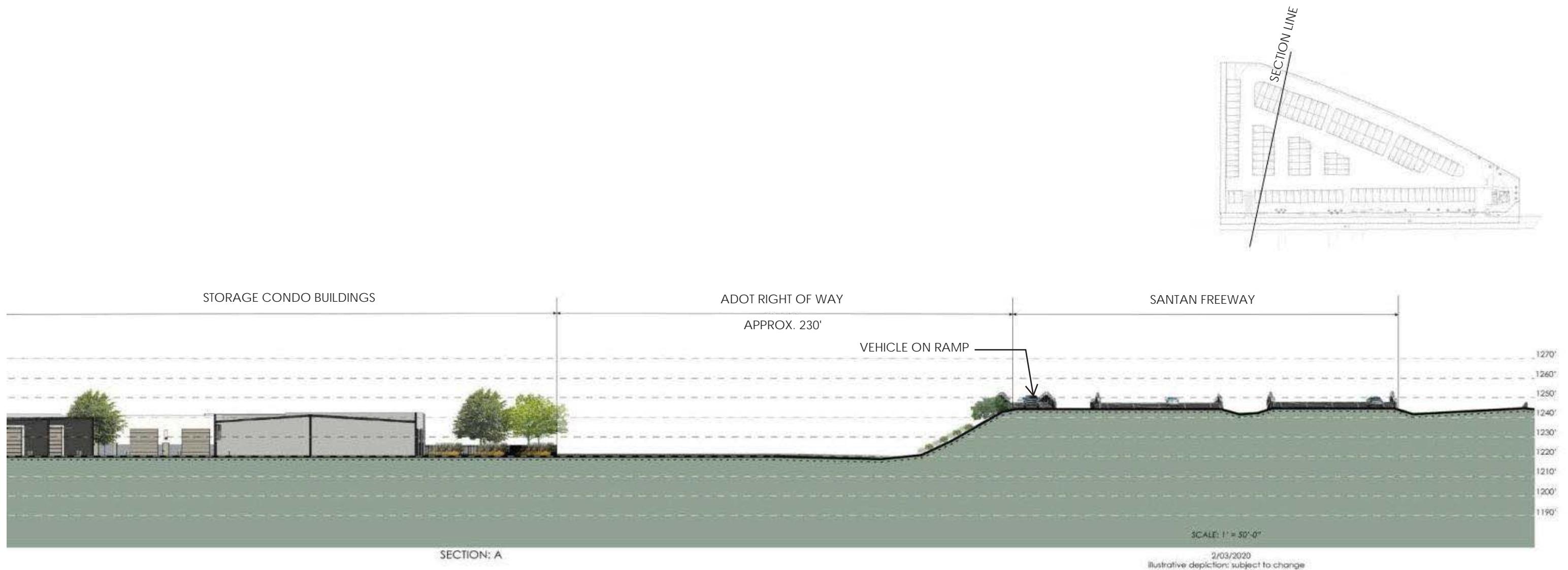
THE IMAGE NUMBERS ON THE FOLLOWING PAGES CORRESPOND
WITH THE LOCATIONS ON THIS PLAN VIEW



E WILLIS RD
LOOKING NORTHWEST

 neUdesign
ARCHITECTURE

VIEW 01



PROJECT SECTION

THE SANTAN FREEWAY (202) IS APPROXIMATELY AT THE HEIGHTS OF THE STORAGE CONDOS BUILDINGS. DRIVERS ON THE ON RAMP COULD LOOK TO THE SOUTH AND WOULD LOOK OVER THE STORAGE CONDOS PROJECT.

THE ADOT RIGHT OF WAY ALSO HAS MATURE PLANTINGS ALONG THE ON RAMP THAT OBSCURE A FULL VIEW OF THE PROJECT.





202 ON RAMP LOOKING SOUTHEAST

THE WEST END OF THE PROPERTY IS OBSCURED BY PLANTINGS IN THE ADOT RIGHT OF WAY AND THE ENHANCED LANDSCAPE ON THE PROPOSED PROPERTY. THE HEIGHT OF THE ON RAMP AT THIS LOCATION IS APPROXIMATELY THE SAME HEIGHT OF THE PROJECT'S BUILDINGS. PERSONS WOULD BE LOOKING OVER THIS PROJECT AT THE HORIZON BEYOND.



202 ON RAMP LOOKING SOUTHEAST

THE MID POINT OF THE PROPERTY THE ON RAMP STARTS TO DECEND. PERSONS WOULD VIEW THE ENHANCED LANDSCAPE WHICH OBSCURES THE DOORS. THE NUMBER OF DOORS VISIBLE AT THIS LOCATION IS SIMILAR TO THE DOORS APPROVED IN THE PREVIOUS PDP.

THE STORAGE CONDO PROJECT PARAPET UNDULATION IS VERY SIMILAR TO THE ADJACENT PROJECT FORMING A COHESIVE VISUAL STYLE.



VIEW 03



202 ON RAMP LOOKING SOUTHEAST

THE EAST END OF THE PROPERTY THE ON RAMP IS CLOSER TO THE FINISH FLOOR LEVEL OF THE PROJECT. PERSONS WOULD VIEW THE EXISTING PLANTINGS IN THE ADOT RIGHT OF WAY AND ENHANCED LANDSCAPE WHICH OBSCURES THE DOORS. THE NUMBER OF DOORS VISIBLE AT THIS LOCATION IS SIMILAR TO THE DOORS APPROVED IN THE PREVIOUS PDP.

THE STORAGE CONDO PROJECT PARAPET UNDULATION IS VERY SIMILAR TO THE ADJACENT PROJECT FORMING A COHESIVE VISUAL STYLE.



VIEW 04



INTERIOR BUILDINGS

THE BUILDINGS ON THE INTERIOR OF THE PROJECT ARE OBSCURED FROM VIEW BY THE PERIMETER STRUCTURES AND ARCHITECTURAL DESIGN.



VIEW 05



E WILLIS RD
LOOKING NORTHEAST

 neUdesign
ARCHITECTURE

VIEW 06



CLUBHOUSE
LOOKING NORTHEAST



BUILDING 1 TOWER ELEMENT AT SUNSET

EDGE LIT HORIZONTAL METAL TO USE
EXTERIOR STRIP LED LIGHT FIXTURE SEE
SK003 FOR DETAIL AND EXAMPLE OF
FIXTURE TYPE.

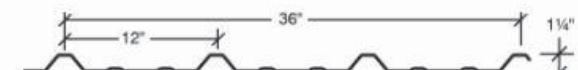


Tab 6

EXTERIOR FINISH LEGEND

*NOTE: FINISHES LISTED BELOW ARE TO ESTABLISH A BUDGET AND ARE NOT THE FINAL SELECTIONS

FINISHES



NOT FOR PERMIT

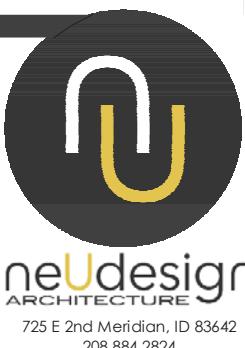
FALCON ONE, LLC
E. ELLIS & N. ARIZONA AVE.
CHANDLER, AZ 85286

MATERIALS

SK-002

DATE
JOB #
DRAWN BY

09.08.20
19183
JNP





neudesign

ARCHITECTURE

725 E 2nd St
Meridian, ID 83642
208.884.2824

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FALCON STORAGE CONDOS

E. WILLIS RD. AND N. ARIZONA BLVD.
CHANDLER, AZ 85286

CLIENT: FALCON ONE, LLC

PROFESSIONAL SEAL

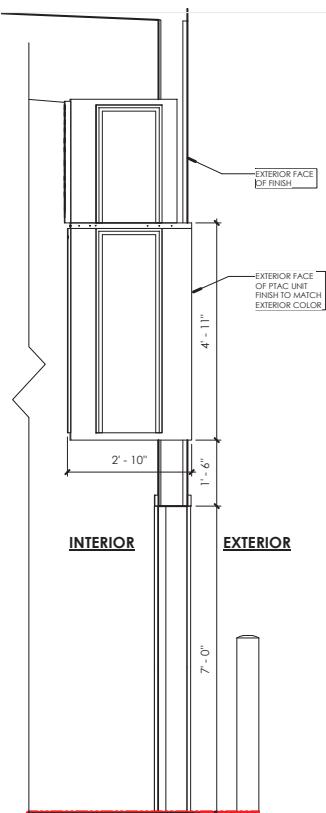
NOT FOR PERMIT

NO. DESCRIPTION DATE
D PLANNING 09.08.20
C PLANNING 08.04.20
B PLANNING 02.06.20
A PLANNING 10.31.19
REVIEW

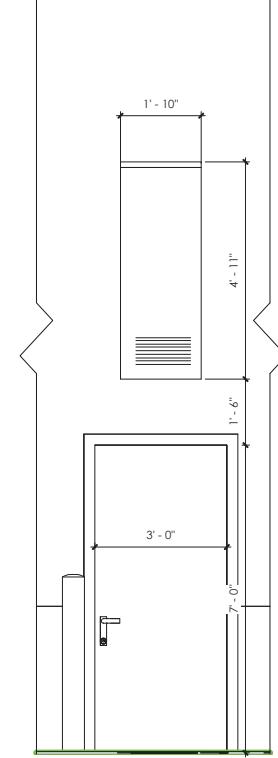
SITE DETAILS

A-501

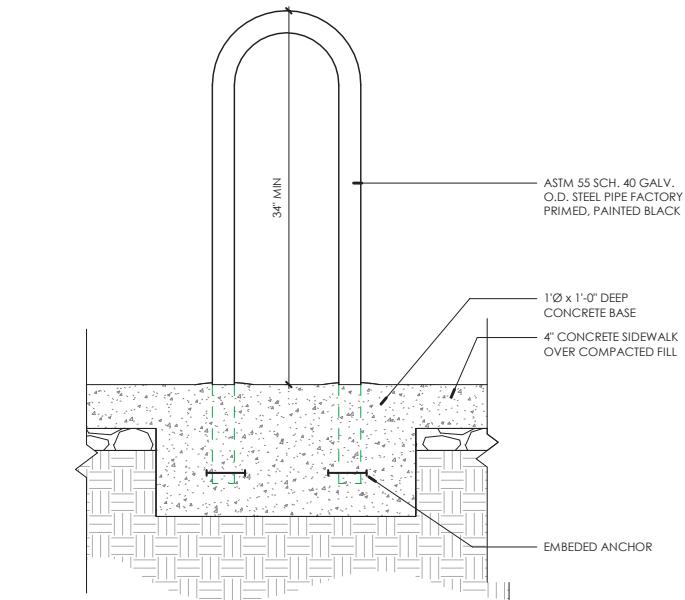
JOB NUMBER
DRAWN BY
19183
MRM



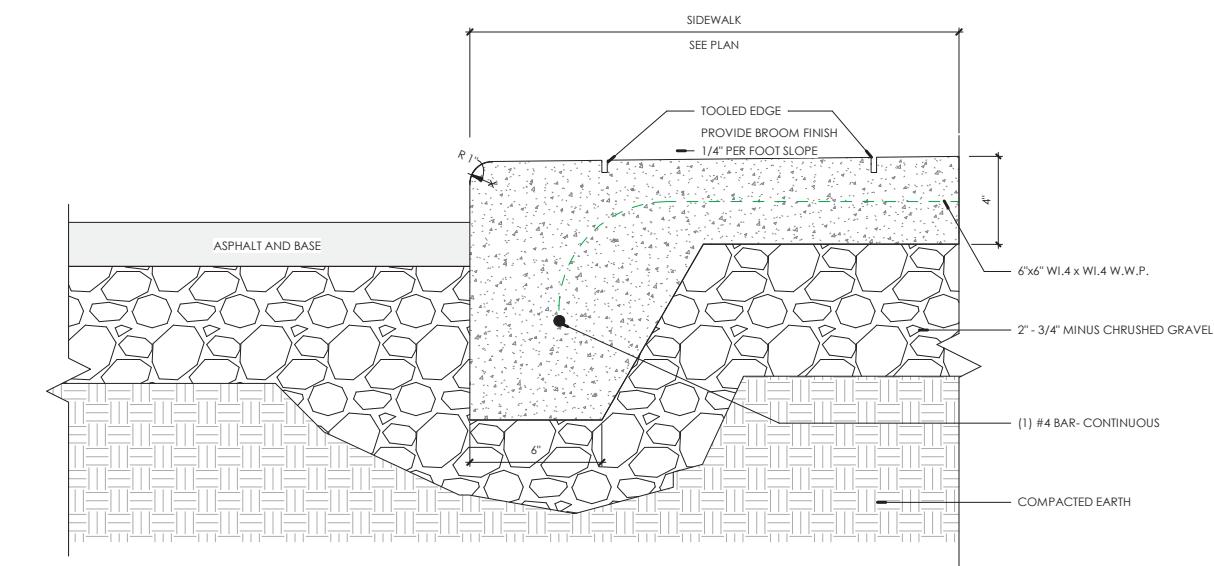
6 MANDOOR & PTAC UNIT SECTION
1/2" = 1'-0"



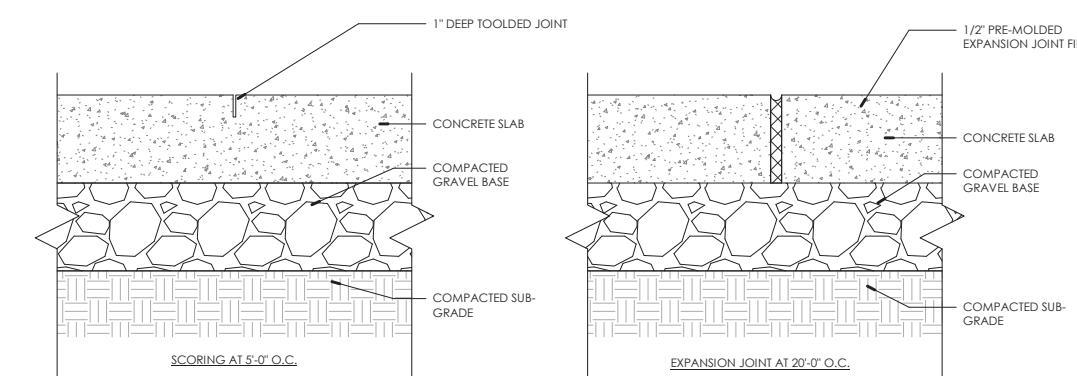
5 MANDOOR & PTAC UNIT ELEVATION
1/2" = 1'-0"



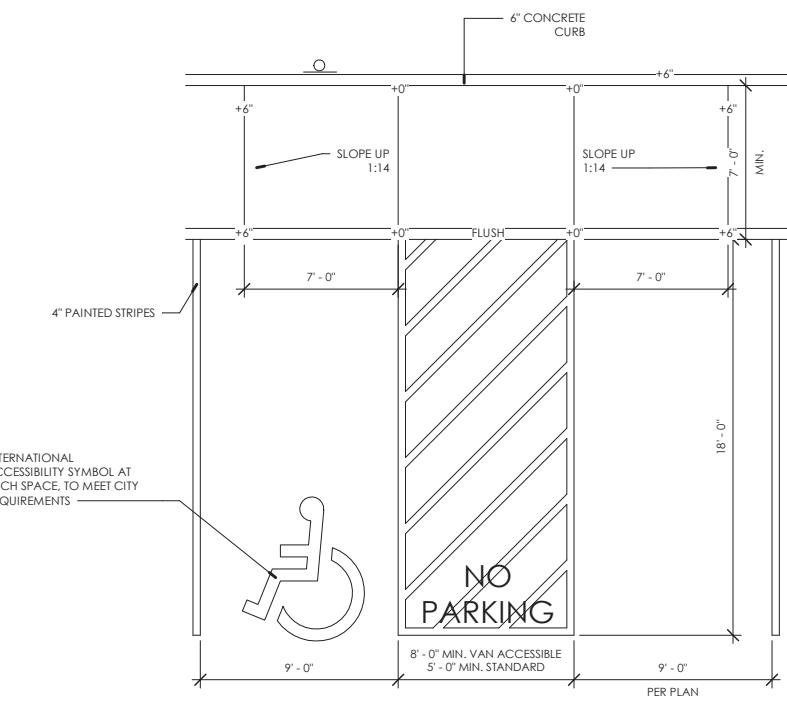
3 BICYCLE RACK DETAIL
1 1/2" = 1'-0"



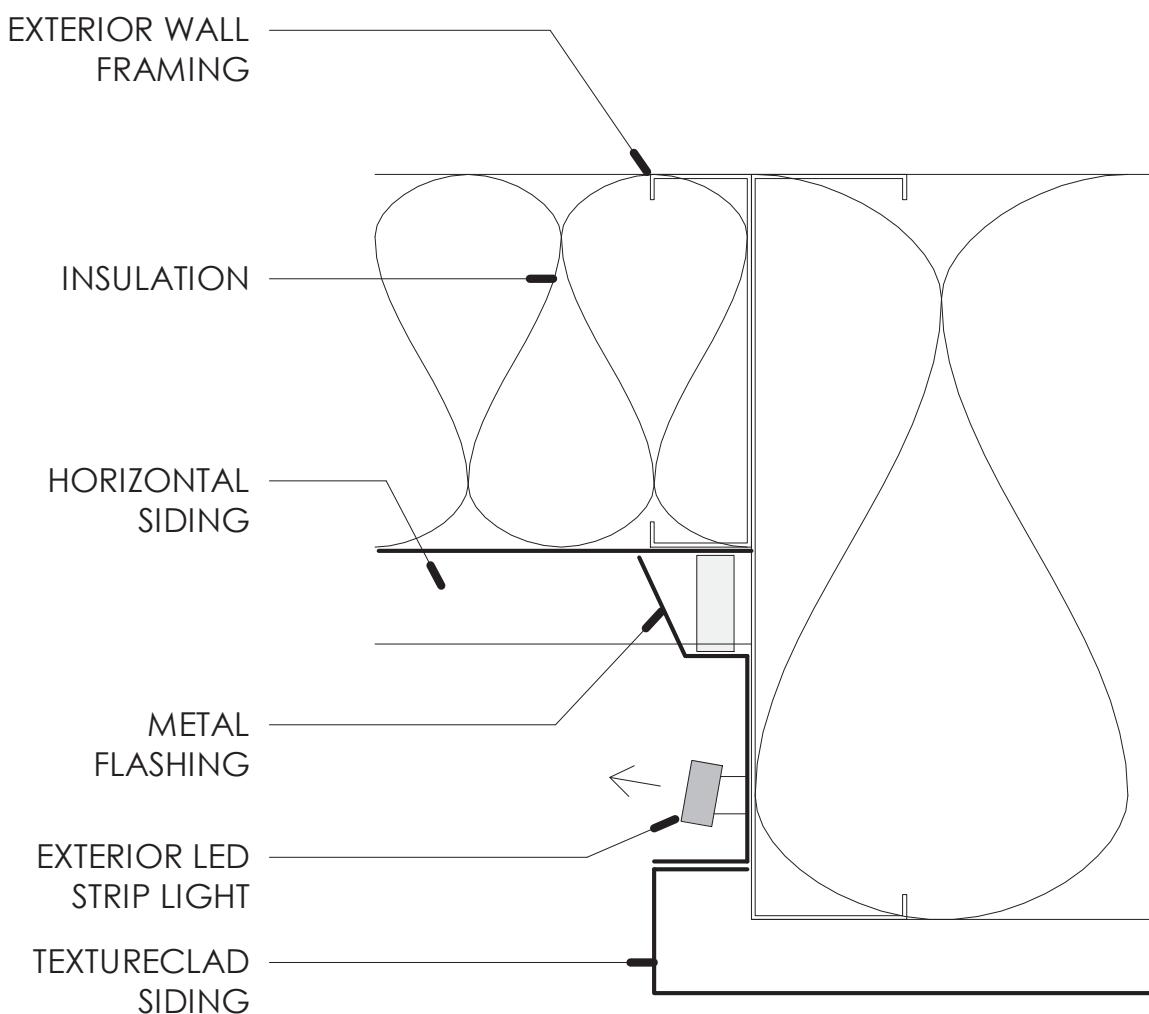
2 FLUSH SIDEWALK
3" = 1'-0"



1 CONCRETE PAVEMENT JOINTS
3" = 1'-0"



4 ACCESSIBLE PARKING PLAN
1/4" = 1'-0"



EXAMPLE OF AN
EXTERIOR LED STRIP
LIGHT



1 LED ACCENT LIGHT

3" = 1'-0"

NOT FOR PERMIT

FALCON ONE, LLC
E. ELLIS & N. ARIZONA AVE.
CHANDLER, AZ 85286

LED ACCENT LIGHT

SK-003

DATE
JOB #
DRAWN BY

**09.08.20
19183
JNP**



725 E 2nd Meridian, ID 83642
208.884.2824

Tab 7



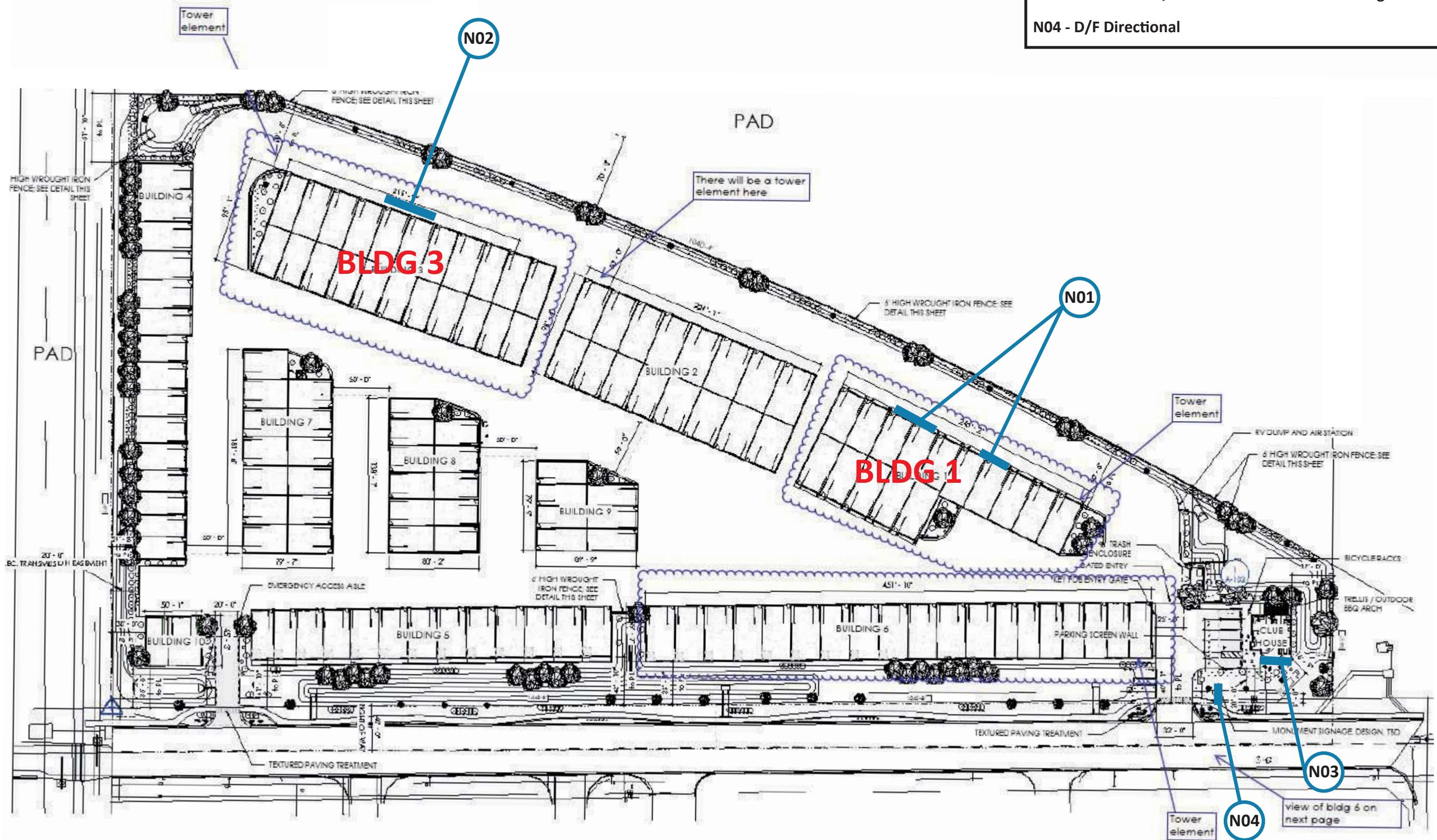
CLIENT:	Chandler, AZ
ADDRESS:	1 Arizona Ave Chandler, AZ 85286
DATE:	Aug 04, 2020
REVISION:	Sep 01, 2020 - R5 rva
DESIGNER:	R Andree

CONTACTS
SALES: Aaron Mann
PHONE: 208-724-7509
TOLL FREE: 1-866-635-1110 #4263
EMAIL: amann@pattisonsign.com

SCOPE OF WORK

- N01 - 7' OAH Logo & Letterset with Tagline Letterset
- N02 - 7' OAH Logo & Letterset
- N03 - 3'-0" x 6'-5 1/8" Stacked FCO Letterset & Logo
- N04 - D/F Directional

Locations Approximate Pending Construction



Project ID

AM8-34600

Date: 08-04-2020
Scale: nts
Sales: A Mann
Designer: R Andree

Rev. #:

Date:

Revision Note:

Conceptual

Information Required:

Master

Electrical

120V 347V
 Other _____

Customer Approval

Signature _____

MM/DD/YYYY

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Falcon Storage Condos
1 Arizona Ave
Chandler, AZ
85286

Sign Item

Siteplan

Project ID

AM8-34600 R4

Date: 08-04-2020
Scale: as noted
Sales: A Mann
Designer: R Andree

Rev. #: R4 rva
Date: 08-19-2020

Revision Note:
Reposition Letters
R2: update w/vector art.
R3: add condos.
R4: add night view.

Conceptual

Information Required:

Master
 Electrical
 120V 347V
 Other _____

Customer Approval

Signature _____

MM/DD/YYYY

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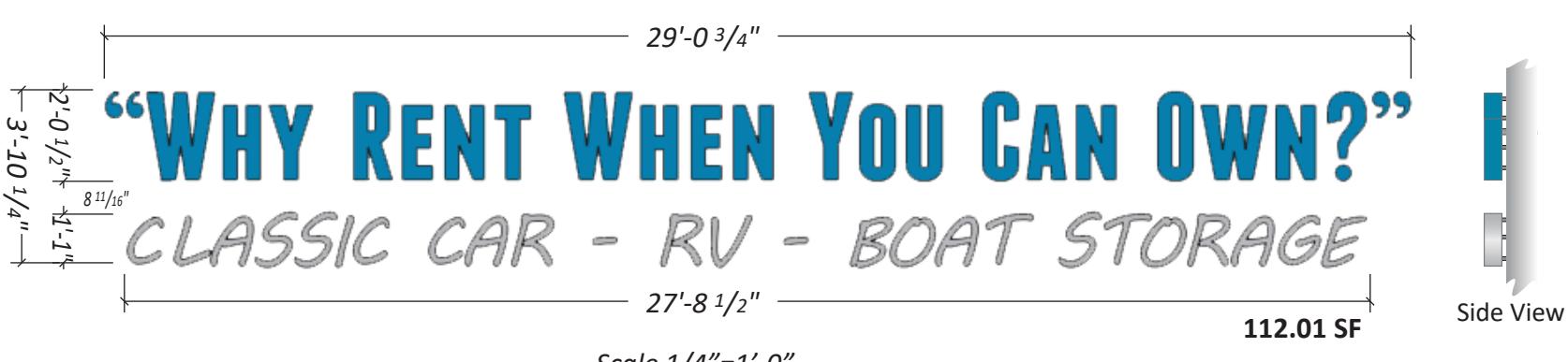
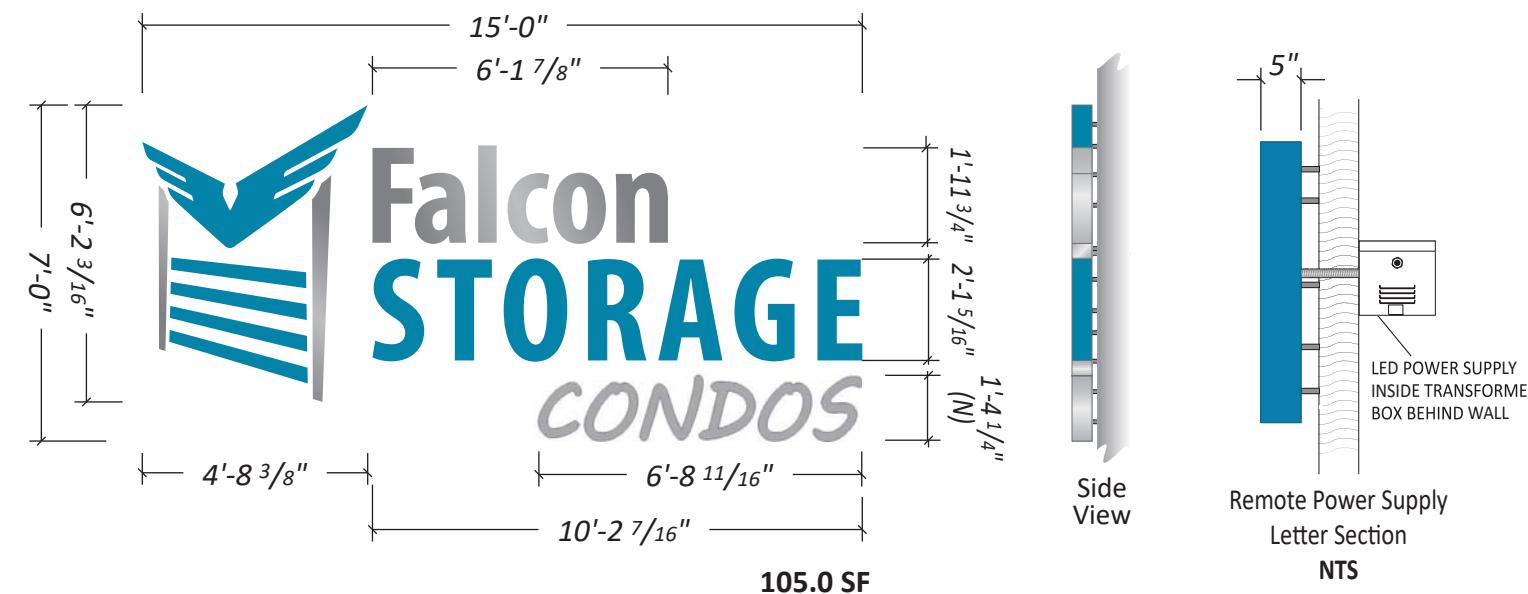
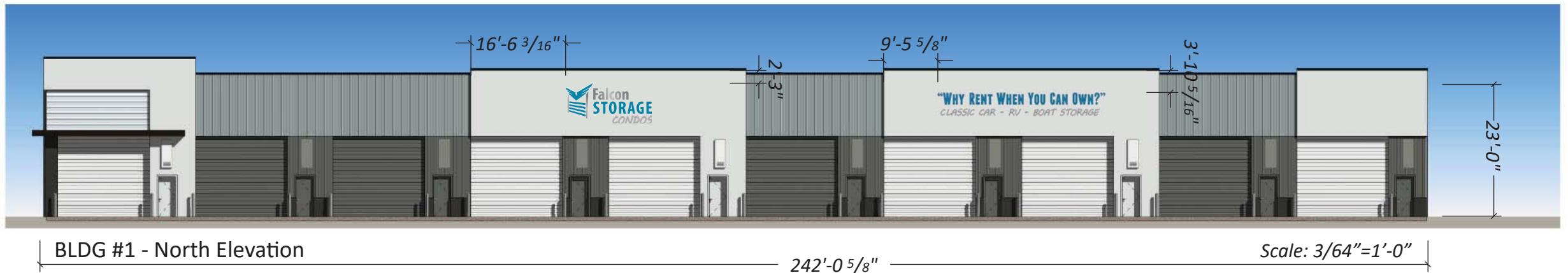
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Chandler, AZ
85286

Sign Item

N01

N01 7'-0" x 15'-0" Stacked Logo & Letterset - LED Halo Lit with 24 1/2" Halo Lit & 13" non-illuminated Tagline



Specifications

Aluminum Channel Letters
Aluminum Face & Returns
1 1/2" Standoffs
Clear Acrylic Back
LED Illumination - White

**"Classic Car - RV - Boat" non-illuminated

Colors

To Match 3M 3630-147 Light European Blue Vinyl
 To Match 3M 3630-51 Silver Gray Vinyl



Project ID

AM8-34600 R4

Date: 08-04-2020
Scale: as noted
Sales: A Mann
Designer: R Andree

Rev. #: R4 rva
Date: 08-19-2020

Revision Note:
Reposition Letters
R2: update w/vector art.
R3: add condos.
R4: add night view.

Conceptual

Information Required:

Master
 Electrical
 120V 347V
 Other _____

Customer Approval
Signature _____
MM/DD/YYYY _____

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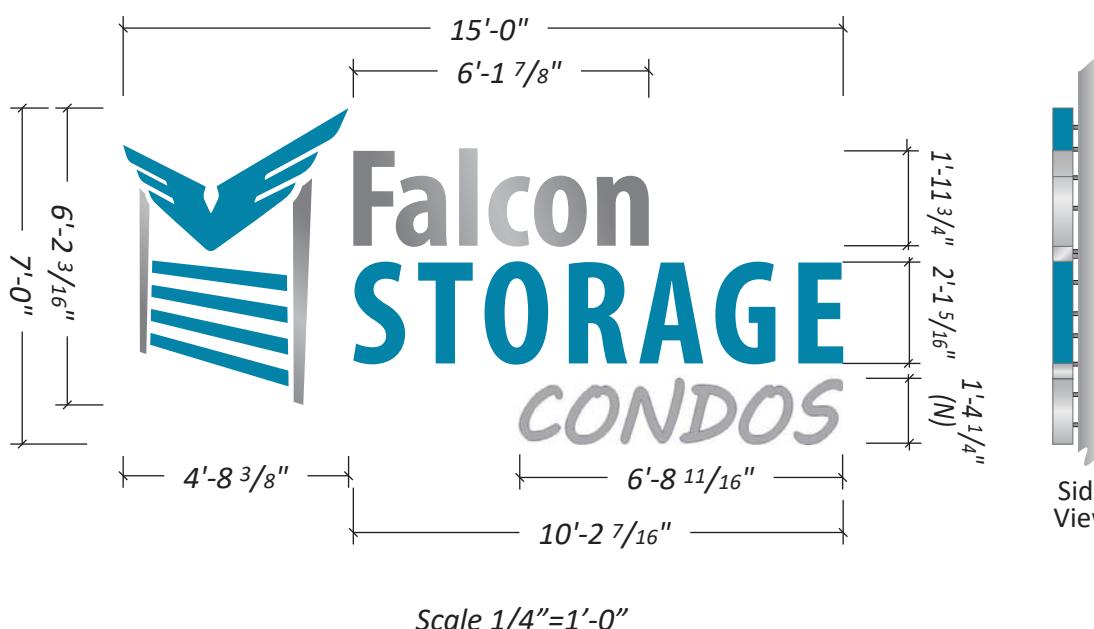
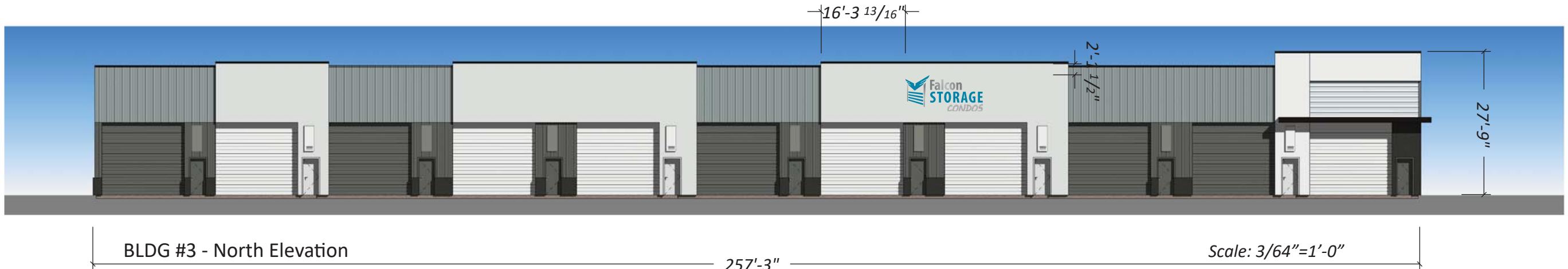
Falcon Storage Condos
1 Arizona Ave
Chandler, AZ
85286

Sign Item

N02

N02

7'-0" x 15'-0" Stacked Logo & Letterset - LED Halo Lit
105.0 SF

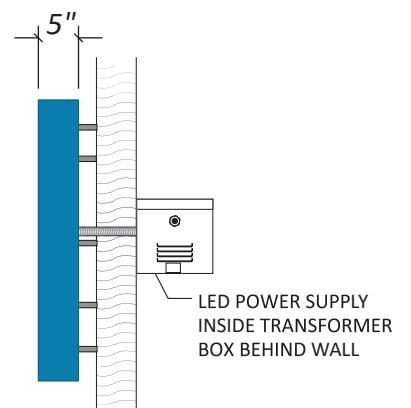


Specifications

Aluminum Channel Letters
Aluminum Face & Returns
1 1/2" Standoffs
Clear Acrylic Back
LED Illumination - White

Colors

To Match 3M 3630-147 Light European Blue Vinyl
 To Match 3M 3630-51 Silver Gray Vinyl



Remote Power Supply
Letter Section
NTS



Project ID

AM8-34600 R5

Date: 08-04-2020
Scale: as noted
Sales: A Mann
Designer: R Andree

Rev. #: R5 rva
Date: 09-01-2020

Revision Note:
Reposition Letters
R2: update w/vector art.
R3: add condos.
R4: add night view.
R5: add new elevation; reduce LS size.

Conceptual

Information Required:

Master

Electrical

120V 347V
 Other _____

Customer Approval

Signature _____
MM/DD/YYYY

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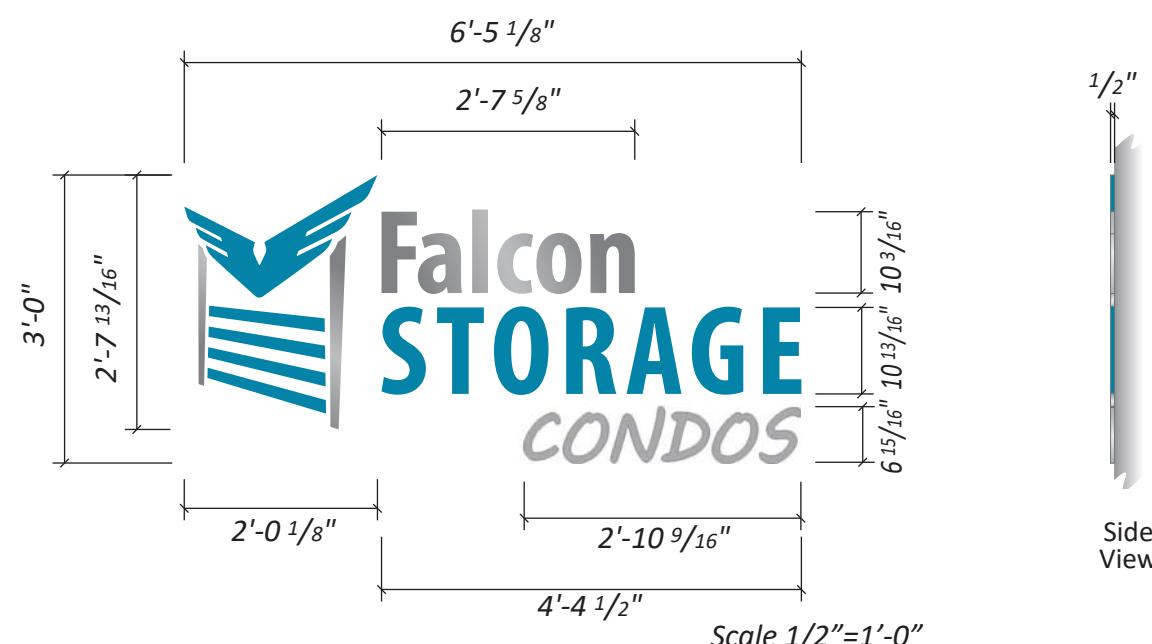
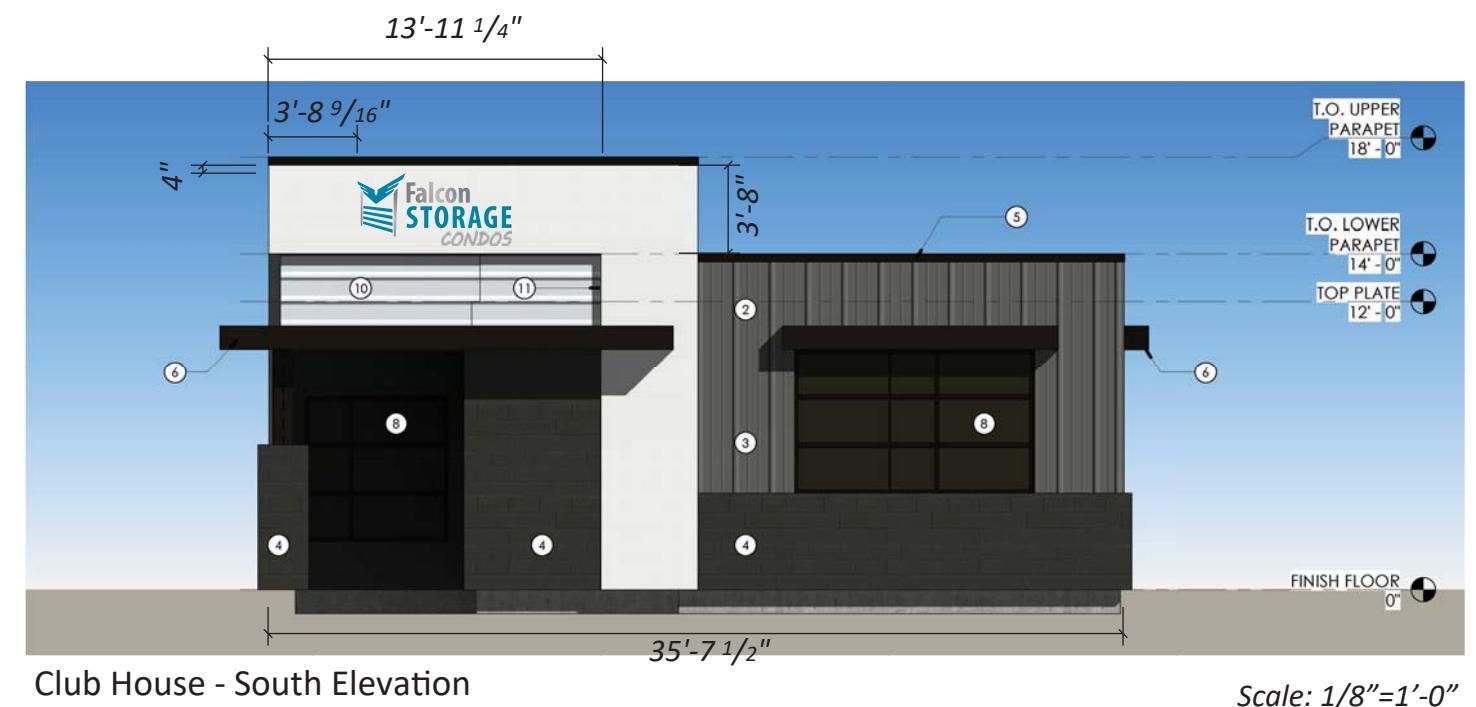
Falcon Storage Condos
1 Arizona Ave
Chandler, AZ
85286

Sign Item

N03

N03

3'-0" x 6'-5 1/8" Stacked FCO Letterset & Logo
19.28 SF



Specifications

Flat Cut Out Letters - Acrylic
Flush Mount
Non-Illuminated

Colors

To Match 3M 3630-147 Light European Blue Vinyl
 To Match 3M 3630-51 Silver Gray Vinyl

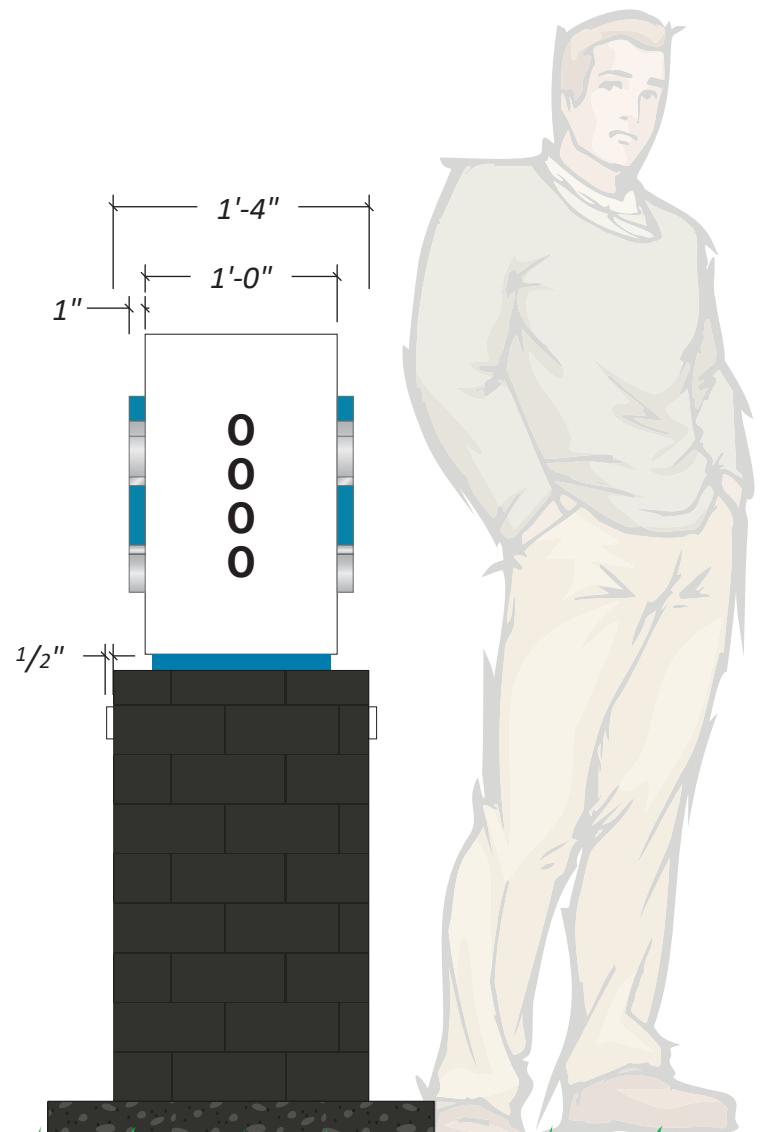
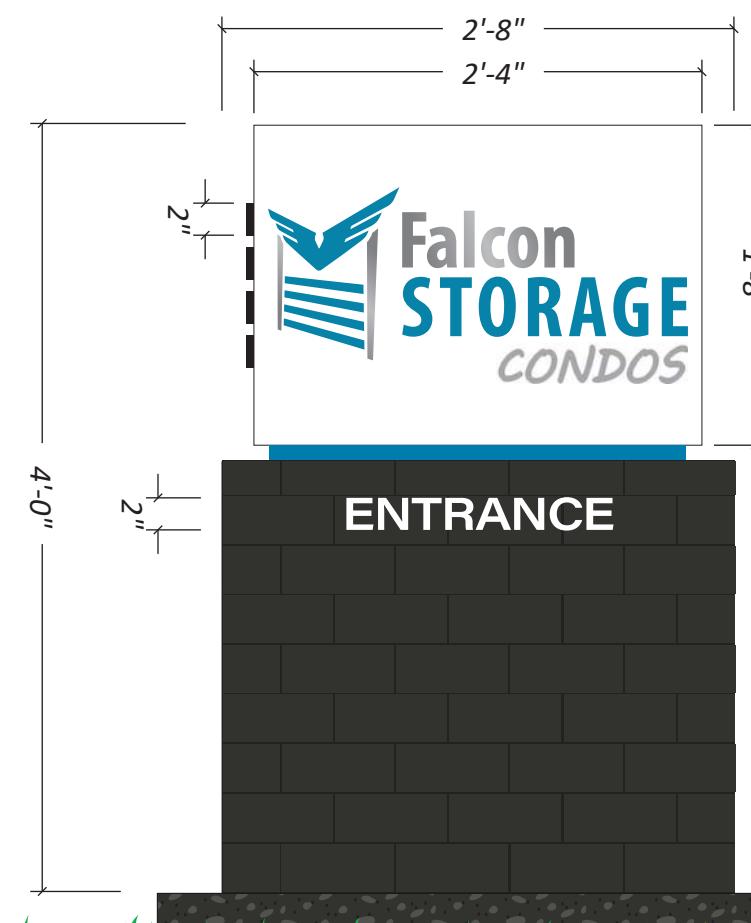
N04 D/F Directional

Specifications

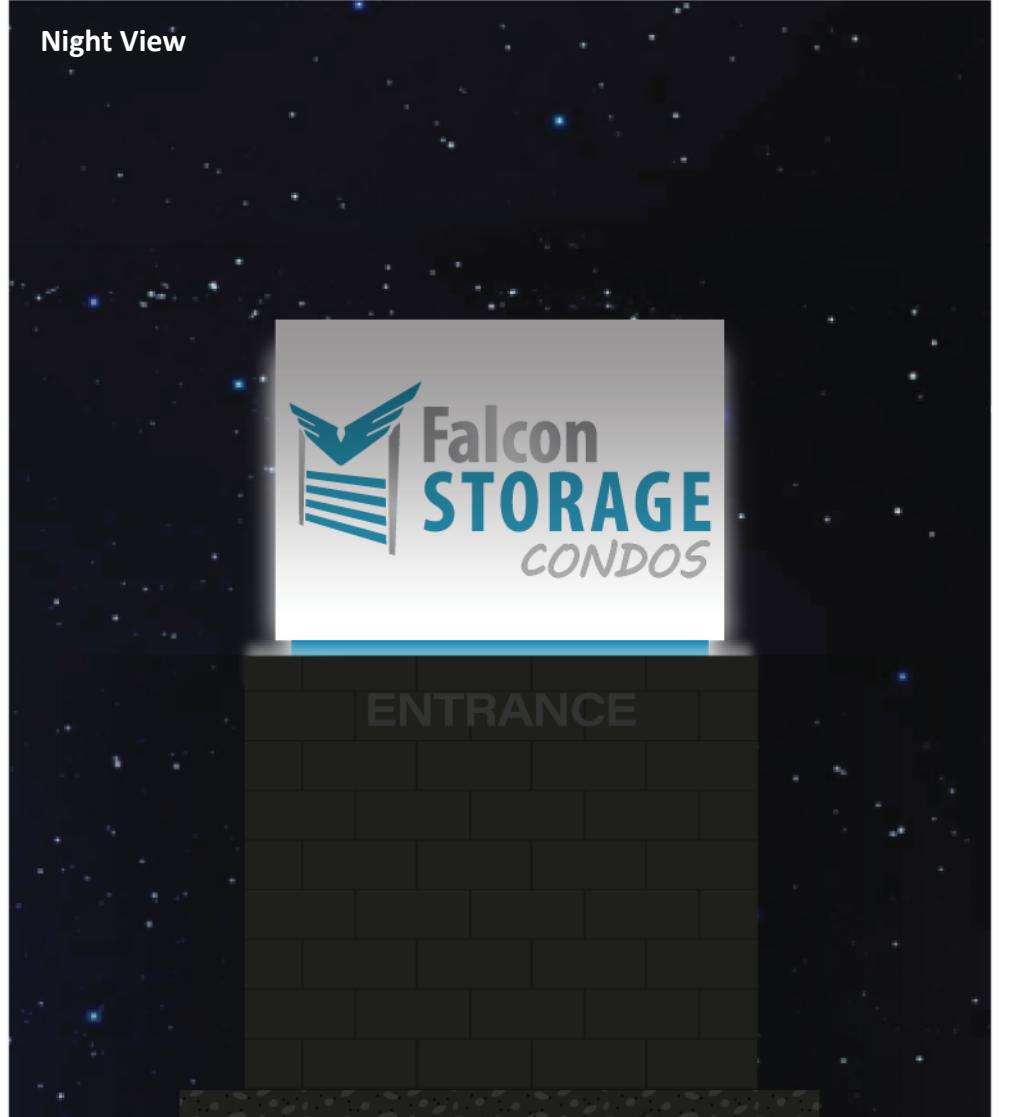
Aluminum Cabinet
 Aluminum Faces
 FCO Letters & Logo
 LED Illumination - Tube or Strip uplighting
 Masonry Base
 'Entrance' & '0000' non-illuminated

Colors

- Paint To Match 3M 3630-147 Light European Blue Vinyl
- Paint To Match 3M 3630-51 Silver Gray Vinyl
- Aluminum
- Black
- White



Night View



Scale 1"=1'-0"



Tab 8

PRELIMINARY PLAT for FALCON STORAGE CONDOMINIUMS

11540 EAST WILLIS ROAD CHANDLER, ARIZONA
A PORTION NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

PROJECT INFORMATION

PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE CONSTRUCTION OF 11 NEW SINGLE-STORY STORAGE BUILDINGS WITH ALL REQUIRED GRADING & DRAINAGE, PARKING, UTILITY AND PAVING REQUIREMENTS WITH HALF STREET IMPROVEMENTS IN WILLIS ROAD AND TWO NEW DRIVEWAYS ONTO WILLIS ROAD.

ADDRESS:
11540 EAST WILLIS ROAD
CHANDLER, ARIZONA 85286

APN: 303-28-975A
303-28-976A
303-28-977

ZONING: PAD

SITE AREA:
NET AREA: 412,601 SF (9.47 AC)
GROSS AREA: 457,380 SF (10.50)

BENCHMARK

THE BENCHMARK USED FOR THIS PLAN IS THE CITY OF CHANDLER BENCHMARK 40A, BEING MARKED BY A CITY OF CHANDLER BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF TUMBLEWEED PARK ROAD AND PIONEER PARKWAY, 1300 FEET SOUTH GERMANN ROAD AND 700 FEET WEST OF MCQUEEN ROAD, HAVING AN ELEVATION OF 1224.41 FEET, (NAVD88).

BENCHMARK NUMBER	NGVD 29 ELEVATION	DESCRIPTION	EQUATION	NAVD 88 ELEVATION
36A	1215.120		1.732	1216.85

SECTION 4, T2S, R5E, 3rd CITY OF CHANDLER BRASS CAP IN CONCRETE, 150' SOUTH, 75' WEST OF INTERSECTION OF ARIZONA AVE AND PECOS RD; 4' WEST OF BACK OF SIDEWALK.

LEGAL DESCRIPTION

ORDER NUMBER 68190792-068-BR-SW
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3; THENCE N 88°54'46" E (AN ASSUMED BEARING), ALONG THE EAST-WEST MID-SECTION LINE OF SAID SECTION 3, A DISTANCE OF 1,456.14 FEET TO THE EAST LINE OF THE RIGHT OF WAY OF THE ARIZONA EASTERN RAILROAD COMPANY; THENCE N 00°26'59" W, ALONG SAID EAST LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 00°26'59" W, ALONG SAID EAST LINE, A DISTANCE OF 683.9 FEET TO A POINT ON THE SOUTH LINE OF A RIGHT OF WAY TAKING DESCRIBED ON A WARRANTY DEED PREPARED FOR ADOT PROJECT NO. 600-7-701, PARCEL 78511, RECORDED IN RECORDING NO. 990184785, RECORDS OF MARICOPA COUNTY, ARIZONA; THENCE S 72°29'28" E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 335.68 FEET; THENCE S 67°41'17" E, ALONG SAID RIGHT OF WAY, A DISTANCE OF 106.90 FEET TO A POINT ON A LINE PARALLEL WITH SAID EAST LINE OF THE RIGHT OF WAY OF THE ARIZONA EASTERN RAILROAD COMPANY; THENCE S 00°26'59" E, ALONG SAID PARALLEL LINE, A DISTANCE OF 534.08 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 40.00 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 3; THENCE S 88°54'46" W, ALONG SAID NORTH LINE, A DISTANCE OF 417.93 FEET TO THE POINT OF BEGINNING, EXCEPT ANY PORTION THEREOF LYING NORTH OF THE FOLLOWING DESCRIBED LINE; COMMENCING AT A CITY OF CHANDLER (C.O.C.) BRASS CAP IN A HANDHOLE MARKING THE WEST QUARTER CORNER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, WHICH BEARS S 00°22'08" E, 2,788.00 FEET FROM A C.O.C. BRASS CAP IN HANDHOLE MARKING THE NORTHWEST QUARTER CORNER OF SAID SECTION 3; THENCE N 88°54'31" E, 32.71 FEET TO THE SURVEY CENTERLINE OF ARIZONA AVENUE; THENCE ALONG SAID SURVEY CENTERLINE OF ARIZONA AVENUE, N 00°23'51" W, 243.92 FEET; THENCE N 89°36'09" E, 74.85 FEET TO THE POINT OF BEGINNING; THENCE N 00°23'51" W, 223.50 FEET; THENCE N 00°24'09" E, 140.38 FEET; THENCE N 03°59'51" E, 252.82 FEET; THENCE N 25°12'04" E, 43.85 FEET; THENCE S 81°50'35" E, 298.21 FEET; THENCE S 79°05'35" E, 463.87 FEET; THENCE S 80°12'13" E, 142.82 FEET; THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 4,605.00 FEET, A LENGTH OF 351.13 FEET TO THE EXISTING WEST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD COMPANY; THENCE ALONG SAID EXISTING WEST RAILROAD RIGHT OF WAY LINE N 00°26'09" W, 193.24 FEET; THENCE S 76°32'46" E, 61.81 FEET TO THE EXISTING EAST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD COMPANY; THENCE ALONG SAID EXISTING EAST RAILROAD RIGHT OF WAY LINE S 00°26'09" E, 234.44 FEET; THENCE N 88°23'51" E, 137.12 FEET; THENCE FROM A LOCAL TANGENT BEARING OF S 73°17'05" E, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 4,605.00 FEET, A LENGTH OF 978.09 FEET; THENCE S 61°06'57" E, 65.23 FEET; THENCE S 61°09'35" E, 113.38 FEET TO THE POINT OF ENDING ON THE NORTH-SOUTH MID SECTION LINE OF SAID SECTION 3, WHICH POINT BEARS N 00°24'10" W, 102.97 FEET FROM A 5/8 INCH REBAR MARKING THE CENTER OF SAID SECTION 3. APN: 303-28-975A



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.

LEGAL DESCRIPTION

ORDER NUMBER 68190792-068-BR-SW
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1: (APN NO. 303-28-976)

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SECTION 3, A DISTANCE OF 1456.14 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH HALF OF SAID SECTION 3, SAID POINT BEING ON THE EAST LINE OF THE LAND AND RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION AND THE TRUE POINT OF BEGINNING;
THENCE NORTH ALONG THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 831.54 FEET; THENCE EAST AND PARALLEL TO THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 1091.06 FEET TO A POINT;
THENCE SOUTH ALONG A LINE PARALLEL TO AND 1091.06 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF SAID ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 169.69 FEET;
THENCE WEST ALONG A LINE PARALLEL TO THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 409.15 FEET;
THENCE SOUTH ALONG A LINE PARALLEL TO AND 681.91 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF SAID ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 661.85 FEET TO THE POINT OF INTERSECTION WITH THE EAST/WEST MIDSECTION LINE;
THENCE WEST ALONG THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 681.91 FEET TO THE TRUE POINT OF BEGINNING;
EXCEPT THE SOUTH 40 FEET;
EXCEPT THE WEST 417.93 FEET; AND
EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA IN DOCUMENT RECORDED IN RECORDING NO. 1999-184785, RECORDS OF MARICOPA COUNTY, ARIZONA AND THAT PORTION SET FORTH IN FINAL ORDER OF CONDEMNATION CASE NO. CV2002-016392 AND SHOWN IN RECORDING NO. 2003-266647, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2: (APN NO. 303-28-977)

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SECTION 3, A DISTANCE OF 2547.20 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH HALF OF SAID SECTION 3, SAID POINT BEING 1091.06 FEET EAST OF THE EAST LINE OF THE LAND AND RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, AND THE POINT OF BEGINNING;
THENCE NORTH AND PARALLEL TO THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, 661.85 FEET;
THENCE WEST AND PARALLEL TO THE EAST-WEST MID-SECTION LINE, A DISTANCE OF 1091.06 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION;
THENCE SOUTH AND ALONG THE EAST LINE OF THE RIGHT-OF-WAY OF SAID RAILROAD TO THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION 3;
THENCE EAST ALONG SAID SOUTH 1091.06 FEET TO THE POINT OF BEGINNING;
EXCEPT THE SOUTH 40 FEET; AND
EXCEPT THE WEST 681.91 FEET; AND
EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA IN DOCUMENT RECORDED IN RECORDING NO. 1999-184785, RECORDS OF MARICOPA COUNTY, ARIZONA AND THAT PORTION SET FORTH IN FINAL ORDER OF CONDEMNATION CASE NO. CV2002-016392 AND SHOWN IN RECORDING NO. 2003-266647, RECORDS OF MARICOPA COUNTY, ARIZONA.

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
SUPERIOR SURVEYING SERVICES, INC.
2122 WEST LONE CACTUS DRIVE, SUITE 11
PHOENIX, ARIZONA 85027
PH: 623-869-0223
CONTACT: DAVID S. KLEIN, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS MONUMENT LINE OF WILLIS ROAD, ALSO BEING THE SOUTH LINE OF THE NORTHWEST QUARTER SECTION 3, USING A BEARING OF NORTH 88°54'46" EAST, PER SPECIAL WARRANTY DEED RECORDED IN RECORDING NO. 1091616, RECORDS OF MARICOPA COUNTY, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE CITY OF CHANDLER BENCHMARK 40A, BEING MARKED BY A CITY OF CHANDLER BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF TUMBLEWEED PARK ROAD AND PIONEER PARKWAY, 1300 FEET SOUTH GERMANN ROAD AND 700 FEET WEST OF MCQUEEN ROAD, HAVING AN ELEVATION OF 1224.41 FEET, (NAVD88).

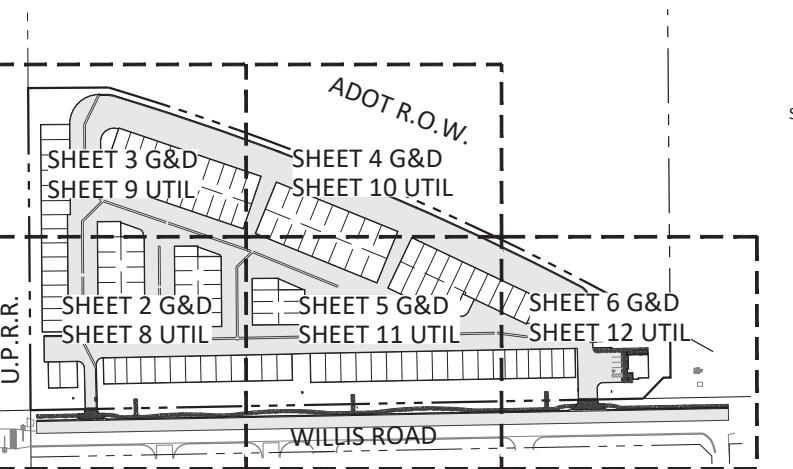
CITY OF CHANDLER NOTES

THIS SUBDIVISION IS WITHIN CHANDLER AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION OR AVIATION EASEMENT SHALL BE PROVIDED AT THE TIME OF FINAL PLANNING.

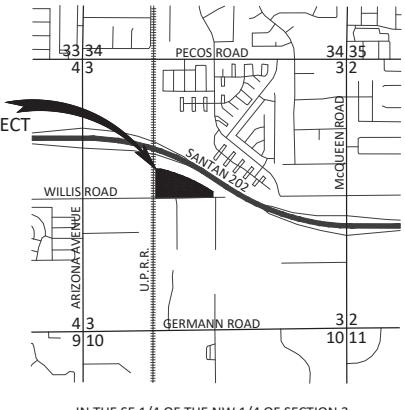
THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.



PROJECT OVERVIEW

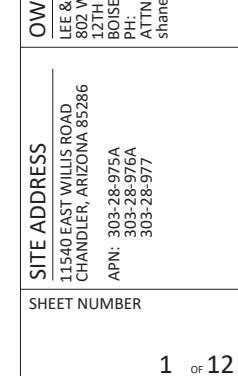
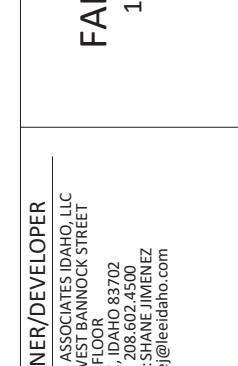


IN THE SE 1/4 OF THE NW 1/4 OF SECTION 3,
T. 2 S., R. 5 E., G.&S.R.M.,
CITY OF CHANDLER, MARICOPA COUNTY, ARIZONA

LOCATION MAP



NO.	DATE	REVISION



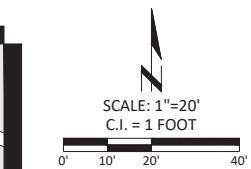


NO. DATE REVISION

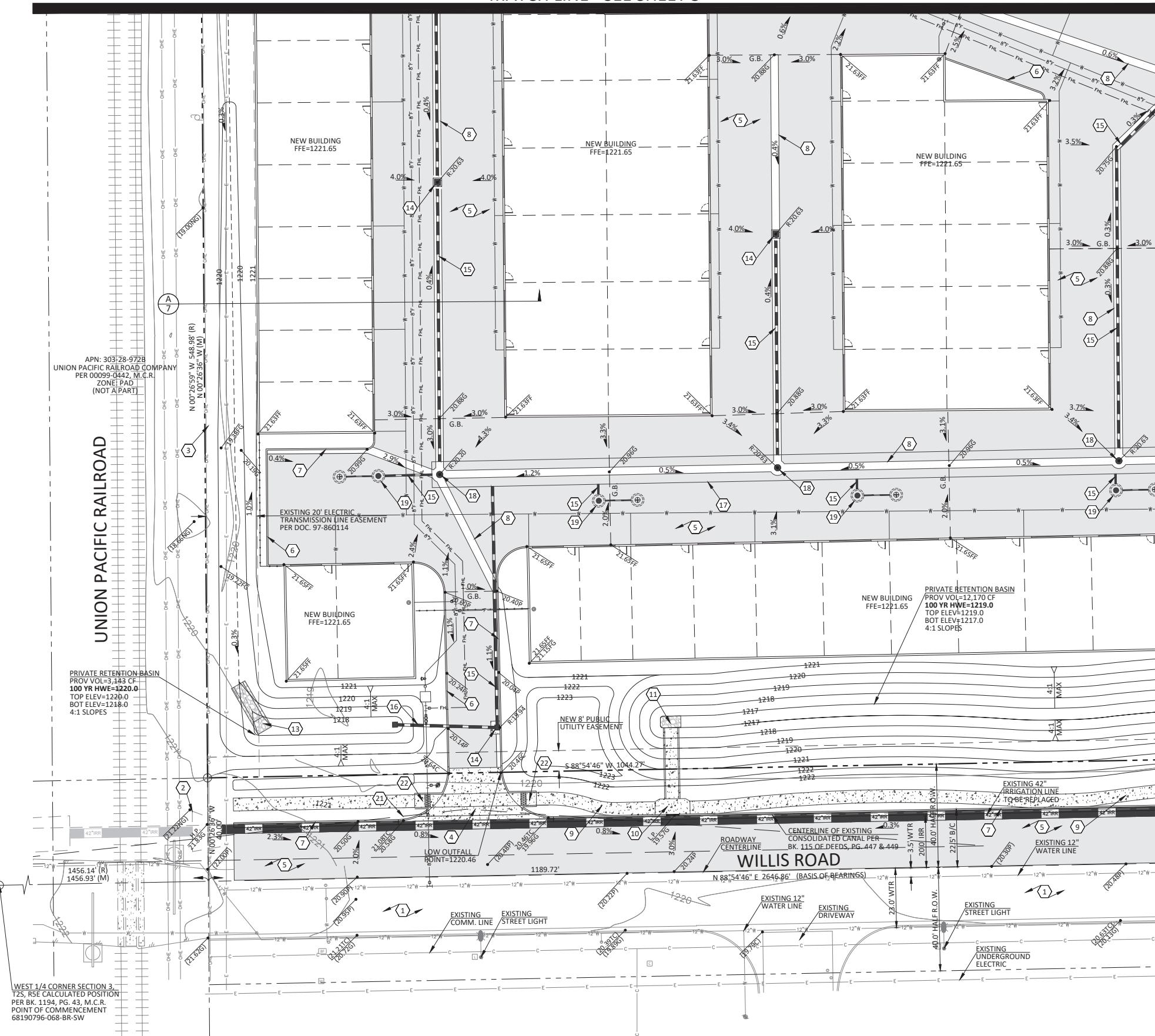
KEYNOTES

- EXISTING ASPHALT TO REMAIN.
- EXISTING IRRIGATION STRUCTURE TO REMAIN.
- NEW FENCING.
- NEW CONCRETE DRIVEWAY.
- NEW ASPHALT PAVEMENT.
- NEW CONCRETE VERTICAL CURB.
- NEW CONCRETE VERTICAL CURB AND GUTTER.
- NEW VALLEY GUTTER.
- NEW CONCRETE SIDEWALK.
- NEW CONCRETE SCUPPER AND SPILLWAY.
- NEW RIP RAP PAD.
- NEW CURB OPENING.
- NEW RIP RAP SPILLWAY.
- NEW STORM DRAIN INLET.
- NEW STORM DRAIN PIPE.
- NEW STORM DRAIN HEADWALL.
- NEW 120" DIAMETER CMP UNDERGROUND STORMWATER RETENTION CHAMBER. LENGTH=653LINEAR FEET VOLUME=51,286 CUBIC FEET
- NEW CMP ACCESS RISER AND COVER.
- NEW DUAL-CHAMBER DRYWELL.
- NEW TRASH ENCLOSURE.
- NEW SITE VISIBILITY EASEMENT PER CITY OF CHANDLER DETAIL C-247.
- NEW ACCESSIBLE ACCESS RAMP.

SCALE: 1"=20'
C.I. = 1 FOOT



MATCH LINE - SEE SHEET 5



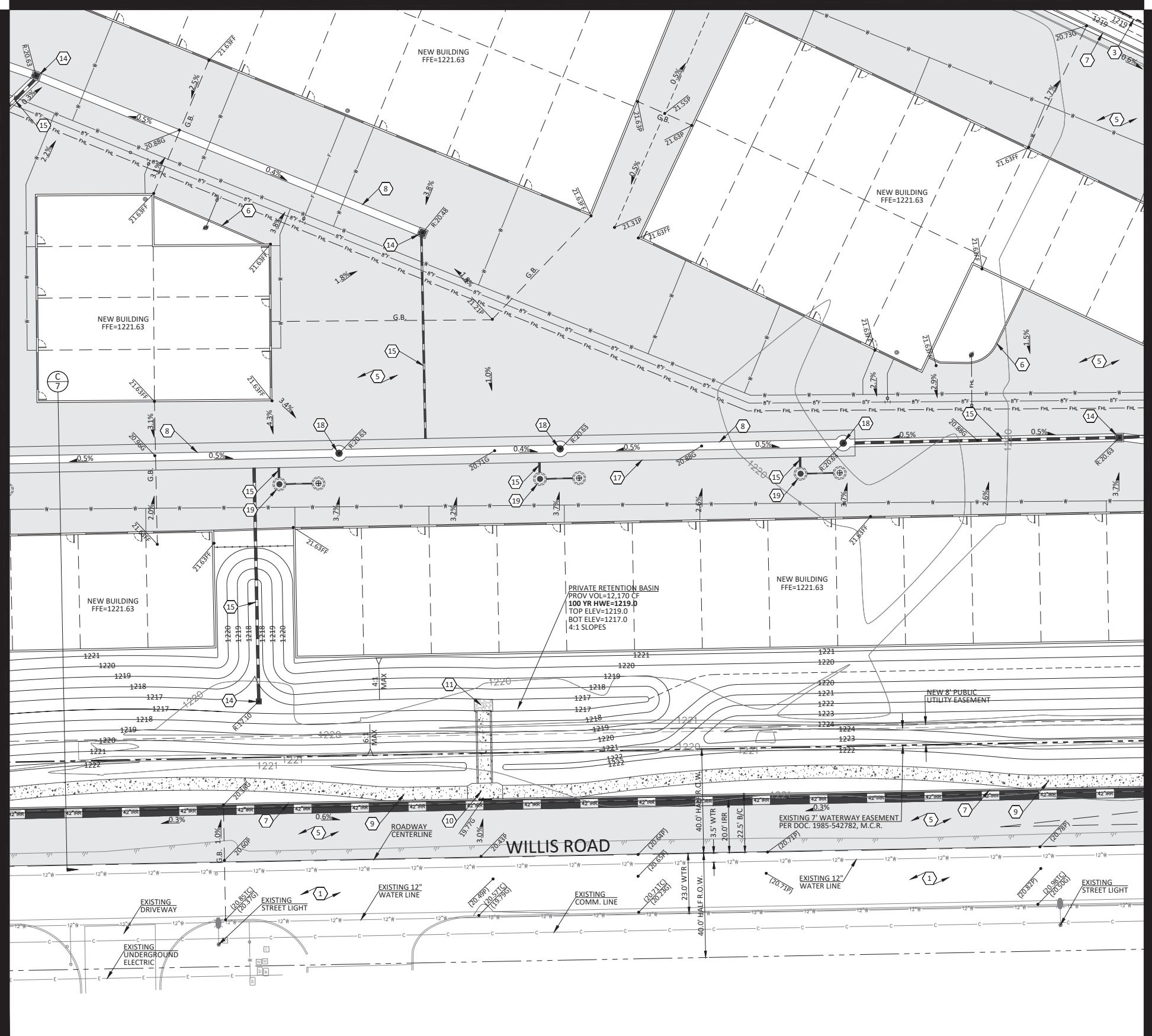
**PRELIMINARY PLAT for
FALCON STORAGE CONDOMINIUMS
11540 EAST WILLIS ROAD CHANDLER, ARIZONA**

LEE & ASSOCIATES IDAHO, LLC
802 WEST BANNOCK STREET
12TH FLOOR
BOISE, IDAHO 83702
PH: 208.602.4500
ATTN: SHANE IMENEZ
shane@leeidaho.com

SITE ADDRESS	OWNER/DEVELOPER
11540 EAST WILLIS ROAD CHANDLER, ARIZONA 85286 APN: 303-28-975A 303-28-976A 303-28-977	LEE & ASSOCIATES IDAHO, LLC 802 WEST BANNOCK STREET 12TH FLOOR BOISE, IDAHO 83702 PH: 208.602.4500 ATTN: SHANE IMENEZ shane@leeidaho.com
SHEET NUMBER	PLT20-0004

MATCH LINE - SEE SHEET 4

MATCH LINE - SEE SHEET 2



MATCH LINE - SEE SHEET 6

SCALE: 1"=20'
C.I. = 1 FOOT

KEYNOTES

- ① EXISTING ASPHALT TO REMAIN.
- ② EXISTING IRRIGATION STRUCTURE TO REMAIN.
- ③ NEW FENCING.
- ④ NEW CONCRETE DRIVEWAY.
- ⑤ NEW ASPHALT PAVEMENT.
- ⑥ NEW CONCRETE VERTICAL CURB.
- ⑦ NEW CONCRETE VERTICAL CURB AND GUTTER.
- ⑧ NEW VALLEY GUTTER.
- ⑨ NEW CONCRETE SIDEWALK.
- ⑩ NEW CONCRETE SCUPPER AND SPILLWAY.
- ⑪ NEW RIP RAP PAD.
- ⑫ NEW CURB OPENING.
- ⑬ NEW RIP RAP SPILLWAY
- ⑭ NEW STORM DRAIN INLET.
- ⑮ NEW STORM DRAIN PIPE.
- ⑯ NEW STORM DRAIN HEADWALL.
- ⑰ NEW 120" DIAMETER CMP UNDERGROUND STORMWATER RETENTION CHAMBER. LENGTH=605 LINEAR FEET VOLUME=47,516 CUBIC FEET
- ⑱ NEW CMP ACCESS RISER AND STORM DRAIN INLET.
- ⑲ NEW DUAL-CHAMBER DRYWELL.
- ⑳ NEW TRASH ENCLOSURE.
- ㉑ NEW SITE VISIBILITY EASEMENT PER CITY OF CHANDLER DETAIL C-247.
- ㉒ NEW ACCESSIBLE ACCESS RAMP.

PRELIMINARY PLAT for
FALCON STORAGE CONDOMINIUMS
11540 EAST WILLIS ROAD CHANDLER, ARIZONA
grading and drainage plan

OWNER/DEVELOPER
LEE & ASSOCIATES IDAHO, LLC
802 WEST BANNOCK STREET
12TH FLOOR
BOISE, IDAHO 83702
PH: 208.602.4500
ATTN: SHANE LIMENEZ
shane.limenez@leelidaho.com

SITE ADDRESS
11540 EAST WILLIS ROAD
CHANDLER, ARIZONA 85286
APN: 303-28-975A
303-28-976A
303-28-977

SHEET NUMBER
PLT20-0004



4450 north 12th street, #228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

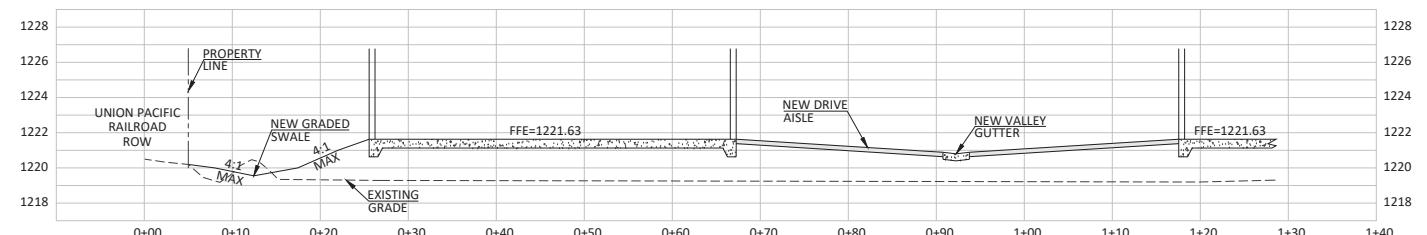
CYPRESS PROJECT NO: 19.100



NO. DATE REVISION

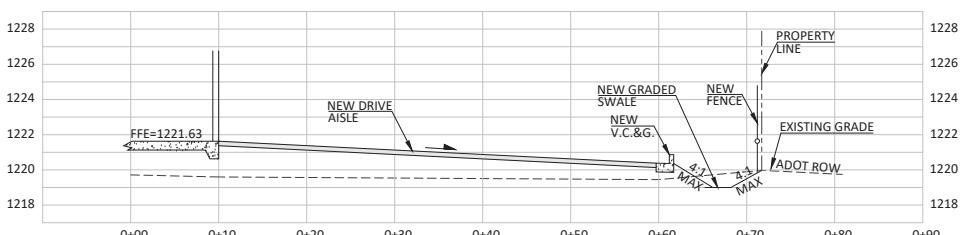
**PRELIMINARY PLAT for
FALCON STORAGE CONDOMINIUMS
11540 EAST WILLIS ROAD CHANDLER, ARIZONA**

cross sections



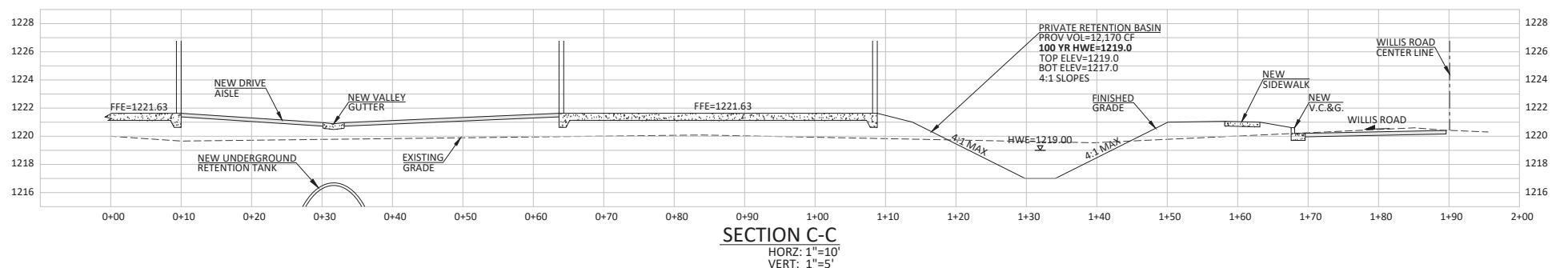
SECTION A-A

HORZ: 1"=10'
VERT: 1"=5'



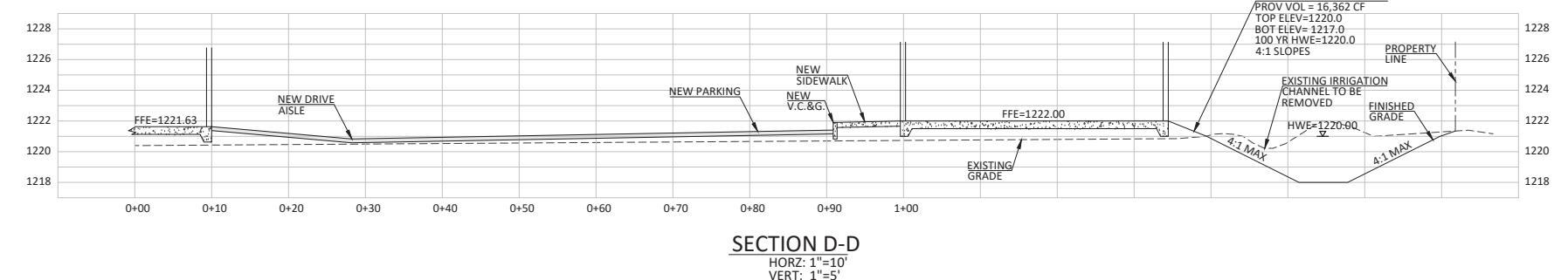
SECTION B-B

HORZ: 1"=10'
VERT: 1"=5'



SECTION C-C

HORZ: 1"=10'
VERT: 1"=5'



SECTION D-D

HORZ: 1"=10'
VERT: 1"=5'

SITE ADDRESS	OWNER/DEVELOPER
11540 EAST WILLIS ROAD CHANDLER, ARIZONA 85286 APN: 303-28-975A 303-28-976A 303-28-977	LEE & ASSOCIATES IDAHO, LLC 802 WEST BANNOCK STREET 12TH FLOOR PH: 208.602.4500 ATTN: SHANE LIMENEZ shane@leeidaho.com
Sheet Number	PLT20-0004



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING.

Tab 9

FALCON STORAGE CONDOMINIUMS

A PRELIMINARY PLAT

OF
A PORTION OF THE NORTHWEST QUARTER
OF SECTION 3, T2S, R5E
GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA

RECORD DESCRIPTION

ORDER NUMBER 68190796-068-BR-SW

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 3;

THENCE NORTH 88 DEGREES 54 MINUTES 46 SECONDS EAST (AN ASSUMED BEARING), ALONG THE EAST-WEST MID-SECTION LINE OF SAID SECTION 3, A DISTANCE OF 1,456.14 FEET TO THE EAST LINE OF THE RIGHT OF WAY OF THE ARIZONA EASTERN RAILROAD COMPANY;

THENCE NORTH 00 DEGREES 26 MINUTES 59 SECONDS WEST, ALONG SAID EAST LINE, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 26 MINUTES 59 SECONDS WEST, ALONG SAID EAST LINE, A DISTANCE OF 683.59 FEET TO A POINT ON THE SOUTH LINE OF A RIGHT OF WAY TAKING DESCRIBED ON A WARRANTY DEED PREPARED FOR ADOT PROJECT NO. 600-7-701, PARCEL 7-8511, RECORDED IN RECORDING NO. 990184785, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 72 DEGREES 29 MINUTES 28 SECONDS EAST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 335.68 FEET;

THENCE SOUTH 67 DEGREES 41 MINUTES 17 SECONDS EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 106.90 FEET TO A POINT ON A LINE PARALLEL WITH SAID EAST LINE OF THE RIGHT OF WAY OF THE ARIZONA EASTERN RAILROAD COMPANY;

THENCE SOUTH 00 DEGREES 26 MINUTES 59, SECONDS EAST, ALONG SAID PARALLEL LINE, A DISTANCE OF 534.08 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 40.00 FEET OF THE NORTHWEST QUARTER OF SAID SECTION 3;

THENCE SOUTH 88 DEGREES 54 MINUTES 46 SECONDS WEST, ALONG SAID NORTH LINE, A DISTANCE OF 417.93 FEET TO THE POINT OF BEGINNING;

EXCEPT ANY PORTION THEREOF LYING NORTH OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT A CITY OF CHANDLER (C.O.C.) BRASS CAP IN A HANHOLE MARKING THE WEST QUARTER CORNER OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, WHICH BEARS SOUTH 00 DEGREES 22 MINUTES 08 SECONDS EAST 2,788.00 FEET FROM A C.O.C. BRASS CAP IN HANHOLE MARKING THE NORTHWEST CORNER OF SAID SECTION 3;

THENCE NORTH 88 DEGREES 54 MINUTES 31 SECONDS EAST 32.71 FEET TO THE SURVEY CENTERLINE OF ARIZONA AVENUE;
THENCE ALONG SAID SURVEY CENTERLINE OF ARIZONA AVENUE, NORTH 00 DEGREES 23 MINUTES 51 SECONDS WEST 243.92 FEET;

THENCE NORTH 89 DEGREES 36 MINUTES 09 SECONDS EAST 74.85 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 23 MINUTES 51 SECONDS WEST 223.50 FEET;

THENCE NORTH 06 DEGREES 44 MINUTES 09 SECONDS EAST 140.38 FEET;

THENCE NORTH 03 MINUTES 59 MINUTES 51. SECONDS EAST 252.89 FEET;

THENCE NORTH 25 DEGREES 12 MINUTES 04 SECONDS EAST 43.85 FEET;

THENCE SOUTH 81 DEGREES 50 MINUTES 35 SECONDS EAST 298.21 FEET;

THENCE SOUTH 79 DEGREES 05 MINUTES 50 SECONDS EAST 463.87 FEET;

THENCE SOUTH 80 DEGREES 12 MINUTES 13 SECONDS EAST 142.68 FEET;

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 4,605.00 FEET, A LENGTH OF 351.13 FEET TO THE EXISTING WEST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD COMPANY;

THENCE ALONG SAID EXISTING WEST RAILROAD RIGHT OF WAY LINE NORTH 00 DEGREES 26 MINUTES 09 SECONDS WEST 193.21 FEET;

THENCE SOUTH 76 DEGREES 32 MINUTES 46 SECONDS EAST 61.81 FEET TO THE EXISTING EAST RIGHT OF WAY LINE OF THE UNION PACIFIC RAILROAD COMPANY;

THENCE ALONG SAID EXISTING EAST RAILROAD RIGHT OF WAY LINE SOUTH 00 DEGREES 26 MINUTES 09 SECONDS EAST 234.44 FEET;

THENCE NORTH 89 DEGREES 33 MINUTES 51 SECONDS EAST 137.12 FEET;

THENCE FROM A LOCAL TANGENT BEARING OF SOUTH 73 DEGREES 17 MINUTES 05 SECONDS EAST, ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 4,605.00 FEET, A LENGTH OF 978.09 FEET;

THENCE SOUTH 61 DEGREES 06 MINUTES 57 SECONDS EAST 65.23 FEET;

THENCE SOUTH 61 DEGREES 00 MINUTES 35 SECONDS EAST 113.38 FEET TO THE POINT OF ENDING ON THE NORTH-SOUTH MID SECTION LINE OF SAID SECTION 3, WHICH POINT BEARS NORTH 00 DEGREES 24 MINUTES 10 SECONDS WEST 102.97 FEET FROM A 5/8 INCH REBAR MARKING THE CENTER OF SAID SECTION 3.

APN: 303-28-975A

RECORD DESCRIPTION

ORDER NUMBER 68190792-068-BR-SW

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1: (APN NO. 303-28-976A)

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SECTION 3, A DISTANCE OF 1456.14 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH HALF OF SAID SECTION 3, SAID POINT BEING ON THE EAST LINE OF THE LAND AND RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION AND THE TRUE POINT OF BEGINNING;

THENCE NORTH ALONG THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 831.54 FEET;

THENCE EAST AND PARALLEL TO THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 1091.06 FEET TO A POINT;

THENCE SOUTH ALONG A LINE PARALLEL TO AND 1091.06 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF SAID ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 169.69 FEET;

THENCE WEST ALONG A LINE PARALLEL TO THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 409.15 FEET;

THENCE SOUTH ALONG A LINE PARALLEL TO AND 681.91 FEET EAST OF THE EAST RIGHT-OF-WAY LINE OF SAID ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, A DISTANCE OF 661.85 FEET TO THE POINT OF INTERSECTION WITH THE EAST/WEST MIDSECTION LINE;

THENCE WEST ALONG THE EAST/WEST MIDSECTION LINE, A DISTANCE OF 681.91 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THE SOUTH 40 FEET;

EXCEPT THE WEST 417.93 FEET; AND

EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA IN DOCUMENT RECORDED IN RECORDING NO. 1999-184785, RECORDS OF MARICOPA COUNTY, ARIZONA AND THAT PORTION SET FORTH IN FINAL ORDER OF CONDEMNATION CASE NO. CV2002-016392 AND SHOWN IN RECORDING NO. 2003-266647, RECORDS OF MARICOPA COUNTY, ARIZONA.

PARCEL NO. 2: (APN NO. 303-28-977)

THAT PART OF THE NORTH HALF OF SECTION 3, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SECTION 3, A DISTANCE OF 2547.20 FEET EAST OF THE SOUTHWEST CORNER OF THE NORTH HALF OF SAID SECTION 3, SAID POINT BEING 1091.06 FEET EAST OF THE EAST LINE OF THE LAND AND RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, AND THE POINT OF BEGINNING;

THENCE NORTH AND PARALLEL TO THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION, 661.85 FEET;

THENCE WEST AND PARALLEL TO THE EAST-WEST MID-SECTION LINE, A DISTANCE OF 1091.06 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF THE RIGHT-OF-WAY OF THE ARIZONA EASTERN RAILROAD COMPANY, A CORPORATION;

THENCE NORTH AND ALONG THE EAST LINE OF THE RIGHT-OF-WAY OF SAID RAILROAD TO THE SOUTH LINE OF THE NORTH HALF OF SAID SECTION 3;

THENCE EAST ALONG SAID SOUTH 1091.06 FEET TO THE POINT OF BEGINNING;

EXCEPT THE SOUTH 40 FEET; AND

EXCEPT THE WEST 681.91 FEET; AND

EXCEPT THAT PORTION CONVEYED TO THE STATE OF ARIZONA IN DOCUMENT RECORDED IN RECORDING NO. 1999-184785, RECORDS OF MARICOPA COUNTY, ARIZONA AND THAT PORTION SET FORTH IN FINAL ORDER OF CONDEMNATION CASE NO. CV2002-016392 AND SHOWN IN RECORDING NO. 2003-266647, RECORDS OF MARICOPA COUNTY, ARIZONA.

NOTES

1. ALL TITLE INFORMATION AND THE DESCRIPTION SHOWN IS BASED ON A TWO FIRST AMENDED COMMITMENTS FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 68190796-068-BR-SW, DATED JUNE 21, 2019, AMENDMENT DATE JULY 1, 2019 AND ORDER NUMBER 68190792-068-BR-SW DATED SEPTEMBER 6, 2019, AMENDMENT DATE SEPTEMBER 17, 2019.

2. CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES, FENCES, AND DRIVEWAYS.

3. NO STRUCTURES OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF WATER THROUGH THE EASEMENTS MAY BE CONSTRUCTED, PLANTED OR ALLOWED TO GROW WITHIN DRAINAGE EASEMENTS.

4. IN EASEMENTS FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER OR BOTH, ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN THE EASEMENT AREA. NO TREES ARE ALLOWED.

5. PROPOSED LOT CORNERS TO BE SET AT THE COMPLETION OF MASS GRADING.

6. THIS SUBDIVISION IS WITHIN CHANDLER AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION OR AVIGATION EASEMENT SHALL BE PROVIDED AT THE TIME OF FINAL PLATTING.

7. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

8. THE IMPROVEMENTS SHOWN ON THE SET OF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.

9. VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

OWNER

VINTAGE FARMS, LLC
AN ARIZONA LIMITED LIABILITY COMPANY
1121 W. WARNER ROAD, SUITE 109
TEMPE, ARIZONA 85284
PHONE: (623)282-2498
CONTACT: DERICK SCHUMACHER
EMAIL: DSCHEUMACHER@CYPRESSCIVIL.COM

MOP SOUTHWEST HOLDINGS
AN ARIZONA LIMITED PARTNERSHIP
26 E OAKWOOD HILLS DR
CHANDLER, ARIZONA 85248

SURVEYOR

SUPERIOR SURVEYING SERVICES INC.
2122 W. LONE CACTUS ROAD, SUITE 11
PHOENIX, AZ 85027
PHONE: (623)869-0223
CONTACT: JAMES WILLIAMSON
EMAIL: JAMES@SUPERIORSURVEYING.COM

BASIS OF BEARING

THE BASIS OF BEARING IS THE MONUMENT LINE OF WILLIS ROAD, ALSO BEING THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 3, USING A BEARING OF NORTH 88 DEGREES 54 MINUTES 46 SECONDS EAST, PER SPECIAL WARRANTY DEED RECORDED IN 2008-1091618, RECORDS OF MARICOPA COUNTY, ARIZONA.

FLOOD PLAIN CERTIFICATION

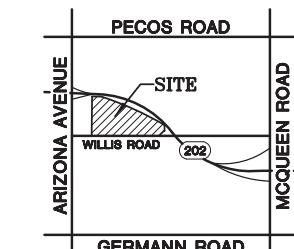
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C2737M, DATED NOVEMBER 4, 2015, THE SUBJECT PROPERTY IS LOCATED IN ZONE X (SHADeD). ZONE X (SHADeD) IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

BENCHMARK

BENCHMARK NUMBER 36A
SECTION 4, T2S, R5E, 3" BRASS CAP IN CONCRETE, 150' SOUTH, 75' WEST OF INTERSECTION OF ARIZONA AVE AND PECS RD; 4' WEST OF BACK OF SIDEWALK.
NGVD 29 ELEVATION: 1215.120 FEET
NAVD 88 ELEVATION: 1216.85 FEET

ZONING

EXISTING & PROPOSED: PAD (PLANNED AREA DEVELOPMENT)



VICINITY MAP

NOT TO SCALE

AREA TABLE

	GROSS	NET
TOTAL	457,281 SQ. FT. 10.50 ACRES	412,601 SQ. FT. 9.47 ACRES

LEGEND

—	BOUNDARY LINE
— — —	MONUMENT LINE
— — — —	RIGHT OF WAY LINE
— — — — —	EASEMENT LINE
— X —	FENCE
◎	SET 1/2" REBAR WITH ALUMINUM CAP STAMPED "KLEIN 42137"
❖	FOUND 3" ARIZONA DEPARTMENT OF TRANSPORTATION ALUMINUM CAP FLUSH STAMPED "2005 RLS 1981"
A.P.N.	ASSESSORS PARCEL NUMBER
M.C.R.	MARICOPA COUNTY RECORDS
R/W	RIGHT OF WAY
BK.	BOOK
P.G.	PAGE
(R)	RECORD PER DESCRIPTION
(M)	MEASURED

CERTIFICATION

THIS IS TO CERTIFY THAT THIS PRELIMINARY PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET

FALCON STORAGE CONDOMINIUMS
A PRELIMINARY PLAT
OF
A PORTION OF THE NORTHWEST QUARTER
OF SECTION 3, T2S, R5E
GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA

