



Memorandum Development Services – Memo No. PZ21-005

Date: January 6, 2021

To: Planning and Zoning Commission

Thru: Kevin Mayo, Planning Administrator ~~KM~~
David De La Torre, Planning Manager ~~DDT~~

From: Susan Fiala, AICP, Senior Planner ~~SF~~

Subject: PLH20-0066/PLH20-0028/PLT20-0032 Hudson Crossings

Request: Area Plan Amendment to the Chandler Airpark Area Plan from High-Density Residential to Low-Medium Density Residential

Rezoning from Planned Area Development (PAD) for multi-family residential to PAD for single-family residential

Preliminary Development Plan for subdivision layout and building architecture

Preliminary Plat

Location: East of the northeast corner of McQueen Road and the Santan 202 Freeway

Applicant: Brennan Ray, Burch & Cracchiolo, P.A.

Background

- Site is approximately 6.39 net acres
- Site was zoned in 2007 as Planned Area Development (PAD) for multi-family (MF-3 standards) along with Area Plan Amendment on two acres of the 6.39 acre site, from Special Use Commercial to High Density Residential
- 2007 approval included a stipulation requiring Preliminary Development Plan approval that was never submitted

Surrounding Land Use Data

| | | | |
|-------|---|-------|--|
| North | Willis Rd. then City Water Treatment Facility | South | Santan 202 Freeway |
| East | Consolidated Canal | West | Single family residential (under construction) |

General Plan and Chandler Airpark Area Plan

| | Existing | Proposed |
|-----------------------------------|--|--|
| General Plan | Neighborhoods | No change. |
| Chandler Airpark Area Plan (CAAP) | High Density Residential (12.1-18.du/ac) | Low-Medium Density Residential (3.6-8 du/ac) |

Proposed Development

| | |
|--------------------------|---|
| | Gated single family subdivision |
| # of Lots | 43 single family lots |
| Density | 6.73 dwelling units per acre |
| Building Setbacks (min.) | Front - 10 ft. to livable, 20 ft. to garage Sides - 5 ft. Rear - 20 ft. to livable, 10 ft. to patio (plans 3 and 4) |
| Lot Size | Min. 3,200 sq. ft., 40 ft. by 80 ft. |
| Lot Coverage (max.) | 55 percent |
| Building Height (max.) | 30 ft. to midpoint of peak |
| Building Architecture | Desert Contemporary, Modern Spanish, Mid-Century, Modern Prairie |
| Parking Spaces | Two car garages per home 11 Visitor parking spaces |
| Amenities | Airport themed tot lot and ramada |

Review and Recommendation

Planning staff finds the proposal is consistent with the General Plan designation of Neighborhoods and the amendment to the Chandler Airpark Area Plan. The proposed density of 6.73 du/acre is lower than the existing site's multi-family zoning which permits a density up to 18 du/acre. The proposed density is also compatible with the 35 lot single family subdivision, located to the west, which is developed at a density of 5.83 du/acre.

The subdivision is proposed as a gated community with unique site constraints including single vehicular access to an arterial road (McQueen) and located at a dead-end street

(Willis). Due to the infill nature of the site, the Residential Development Standards (RDS) for subdivision layout are not applicable. However, the RDS guidelines remain applicable to the architectural design of the homes. The proposed single family residential subdivision meets the intent of development standards and residential design guidelines.

Staff finds the proposal to be consistent with the goals of the General Plan and the CAAP, as amended, and recommends approval subject to conditions.

Traffic Analysis

A Traffic Impact Study is not required for this size of residential development, as it is expected to generate less than 100 trips in an hour. Transportation Engineering staff reviewed and confirmed that both McQueen Road and Wills Road have ample capacity to accommodate the additional traffic generated by this proposed development.

Airport Commission Conflict Evaluation

Airport Commission meeting November 18, 2020

Motion to find a conflict with existing or planned airport operations.

In Favor: 5 Opposed: 0 Absent: 2 (Siegel, Kruse)

The Airport Commission reviewed the request in accordance with the Airport Conflicts Evaluation Process. The Airport Manager has issued a conflicts evaluation report indicating that the Airport Commission determined that the proposed development does constitute a conflict with existing or planned airport uses. A copy of the report detailing the Airport Commission's findings is attached to this memo.

Public / Neighborhood Outreach

- This request was noticed in accordance with the requirements of the Chandler Zoning Code.
- A virtual neighborhood meeting was held on October 28, 2020. Two residents attended virtually and asked questions referencing construction of a sound wall and vehicular turns from Willis Rd. onto McQueen Rd. and heading west on the Santan Freeway. No opposition to request was stated.
- As of writing this memo, Planning staff is not aware of opposition to the request.

Recommended Actions

Area Plan Amendment

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Area Plan Amendment to the Chandler Airpark Area Plan from High Density Residential to Low-Medium Residential Density.

Rezoning

Planning staff recommends Planning and Zoning Commission move to recommend approval of rezoning from PAD multi-family to PAD single family, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hudson Crossings" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0028, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. Completion of the construction of all required off-site street improvements including but not limited to paving, landscaping, curb, gutter and sidewalks, median improvements and street lighting to achieve conformance with City codes, standard details, and design manuals.
3. Right-of-way dedications to achieve full half-widths, including turn lanes and deceleration lanes, per the standards of the Chandler Transportation Plan.
4. Minimum setbacks shall be as provided below and further detailed in the Development Booklet:
Building setbacks (min.)

| | |
|-------|--|
| Front | 10 ft. to livable, 20 ft. to garage |
| Sides | 5 ft. |
| Rear | 20 ft. to livable, 10 ft. to patio (plans 3 and 4) |
5. The following stipulations shall be the responsibilities of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler:
 - a) Prior to any lot reservation or purchase agreement, any and all prospective homebuyers shall be given a separate disclosure statement, for their signature, fully acknowledging that this subdivision lies within the Chandler Municipal Airport Impact Overlay District, as specified in the Chandler Zoning Code. The disclosure statement shall acknowledge the proximity of this subdivision to the Chandler Airport and that an avigational easement exists and/or is required on the property, and further, shall acknowledge that the property is subject to aircraft noise and overflight activity. This document signed by the homebuyer shall be recorded with Maricopa County Recorder's Office upon sale of the property.

- b) The subdivider/homebuilder/developer shall also display, in a conspicuous place within the sales office, a map illustrating the location of the subdivision within the Airport Impact Overlay District, as well as the noise contours and overflight patterns, as identified and depicted in the document entitled *Chandler Municipal Airport, F. A. R. Part 150, Noise Compatibility Study, Noise Compatibility Program, Exhibit 6A (Potential Airport Influence Area)*, as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98). Such map shall be a minimum size of 24" x 36".
- c) Compliance with this condition shall be demonstrated by the subdivider/homebuilder/developer by submittal of a signed affidavit and photograph that acknowledges this disclosure and map display prior to beginning any sales activity. Failure to comply with this condition will result in revocation of the Administrative Use Permit for the temporary sales office. All requirements as set forth in this condition are the obligation of the subdivider/homebuilder/developer and shall not be construed as a guarantee of disclosure by the City of Chandler.
- d) The above referenced information shall also be included within the Subdivision Public Report to be filed with the State of Arizona Department of Real Estate, as required by Arizona Revised Statute 28-8486 and Arizona Revised Statute 28-8464.
- e) The subdivider/homebuilder/developer shall provide the City with an avigational easement over the subject property in accordance with Section 3004 of the City of Chandler Zoning Code.
- f) All homes and buildings shall be designed and built to achieve an interior noise level not to exceed 45 decibels (Ldn) from aircraft noise. A professional acoustical consultant, architect or engineer shall certify that the project's construction plans are in conformance with this condition.
- g) The Final Plat shall contain the following statement on the cover sheet in a prominent location and in large text:

"This property is located within the Chandler Municipal Airport Impact Overlay District and is subject to aircraft noise and overflight activity, and is encumbered by an avigational easement to the City of Chandler."

6. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a heliport at the Chandler Municipal Airport that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a heliport, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the subdivider/homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
7. The development shall provide sound attenuation measures in accordance with ADOT standard details and requirements excepting any decibel reductions or sound attenuation credits for the use of a rubberized asphalt paving surface. Any noise mitigation, if required, is the responsibility of the development.
8. Prior to the time of making any lot reservations or subsequent sales agreements, the subdivider/homebuilder/lot developer shall provide a written disclosure statement, for the signature of each buyer, acknowledging that the subdivision is located adjacent to or nearby a City of Chandler wastewater treatment facility that may cause adverse noise, odors, and other externalities. The "Public Subdivision Report", "Purchase Contracts", CC&R's, and the individual lot property deeds shall include a disclosure statement outlining that the site is adjacent to or nearby a wastewater treatment facility, and the disclosure shall state that such uses are legal and should be expected to continue indefinitely. The disclosure shall be presented to prospective homebuyers on a separate, single form for them to read and sign prior to or simultaneously with executing a purchase agreement. This responsibility for notice rests with the homebuilder/lot developer and shall not be construed as an absolute guarantee by the City of Chandler for receiving such notice.
9. Homebuilder will advise all prospective homebuyers of the information on future City facilities contained in the City Facilities map found at www.chandleraz.gov/infomap, or available from the City's Communication and Public Affairs Department. The homebuilder shall post a copy of the City Facilities map in the sales office showing the location of future and existing City facilities.

Preliminary Development Plan

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Development Plan, subject to the following conditions:

1. Development shall be in substantial conformance with the Development Booklet, entitled "Hudson Crossings" and kept on file in the City of Chandler Planning Division, in File No. PLH20-0028, modified by such conditions included at the time the Booklet was approved by the Chandler City Council and/or as thereafter amended, modified or supplemented by the Chandler City Council.
2. The site shall be maintained in a clean and orderly manner.
3. The landscaping in all open-spaces shall be maintained by the property owner or property owners' association, and shall be maintained at a level consistent with or better than at the time of planting.
4. The landscaping in all rights-of-way shall be maintained by the adjacent property owner or property owners' association.
5. Landscaping plans (including for open spaces, rights-of-way, and street medians) and perimeter walls shall be approved by the Planning Administrator.
6. The covenants, conditions and restrictions (CC & R's) to be filed and recorded with the subdivision shall mandate the installation of front yard landscaping within 180 days from the date of occupancy with the homeowners' association responsible for monitoring and enforcement of this requirement.
7. The same elevation style and color scheme combination shall not be built adjacent to or directly across the street from one another.
8. Sign packages, including free-standing signs as well as wall-mounted signs, shall be designed in coordination with landscape plans, planting materials, storm water retention requirements, and utility pedestals, so as not to create problems with sign visibility or prompt the removal of required landscape materials.
9. Preliminary Development Plan approval does not constitute Final Development Plan approval; compliance with the details required by all applicable codes and conditions of the City of Chandler and this Preliminary Development Plan shall apply.
10. At least one roadway-style sign shall be installed in a prominent location identifying the presence of low flying aircraft.
11. The roadway easement located north of Lots 34-43 shall be improved with a decomposed granite drive, a paved sidewalk and landscaping.

Preliminary Plat

Planning staff recommends Planning and Zoning Commission move to recommend approval of the Preliminary Plat, subject to the following condition:

1. Approval by the City Engineer and Planning Administrator with regard to the details of all submittals required by code or condition.

Proposed Motions

Area Plan Amendment

Move Planning and Zoning Commission recommend approval of PLH20-0066 Hudson Crossings amending the Chandler Airpark Area Plan from High Density Residential to Low-Medium Residential Density as recommended by Planning staff.

Rezoning

Move Planning and Zoning Commission recommend approval of PLH20-0028 HUDSON CROSSINGS rezoning from PAD multi-family to PAD single family, subject to conditions as recommended by Planning staff.

Preliminary Development Plan

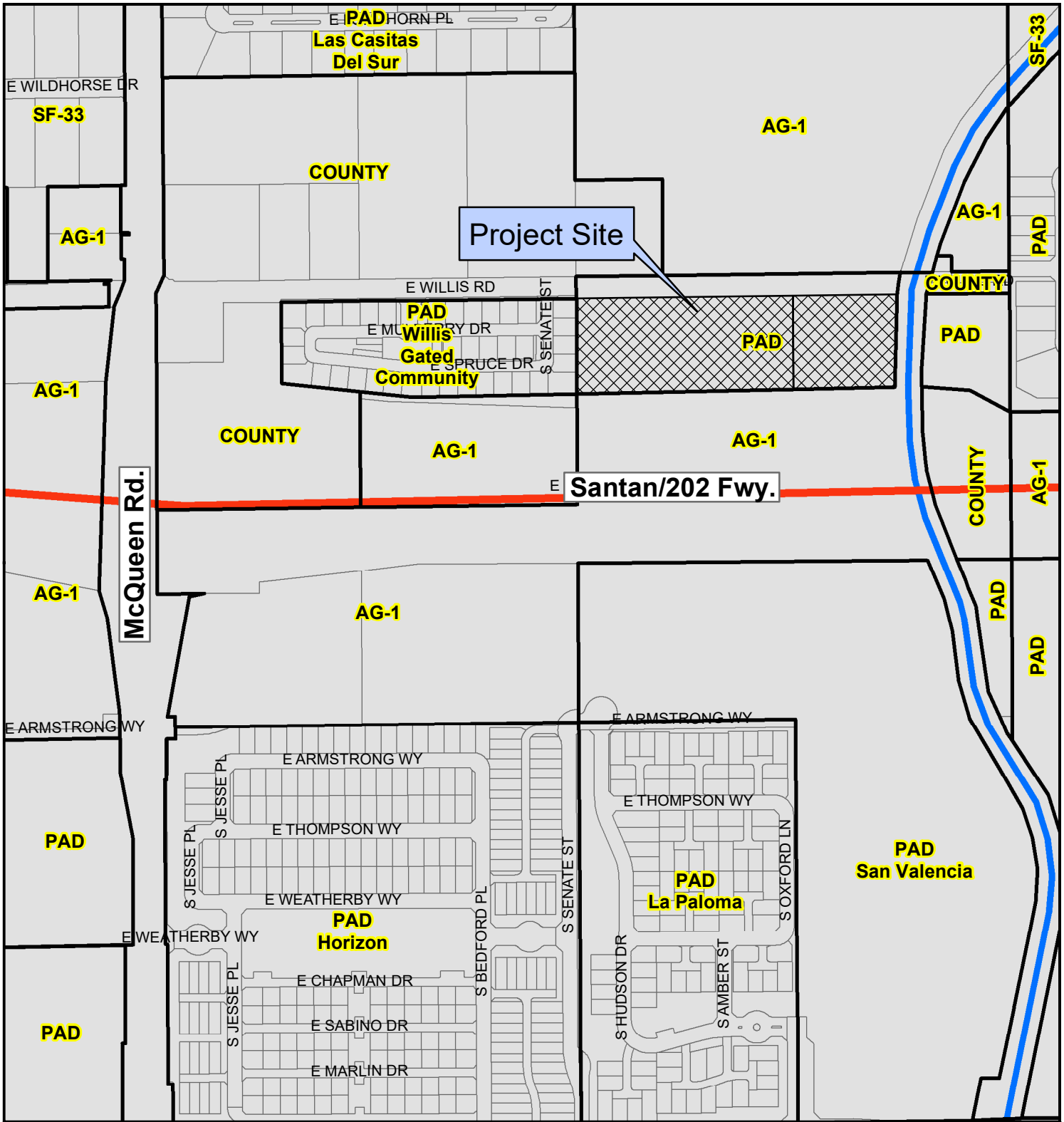
Move Planning and Zoning Commission recommend approval of Preliminary Development Plan, PLH20-0028 HUDSON CROSSINGS, subject to conditions as recommended by Planning staff.



Preliminary Plat

Move Planning and Zoning Commission recommend approval of Preliminary Plat, PLT20-0032 HUDSON CROSSINGS, as recommended by Planning staff.

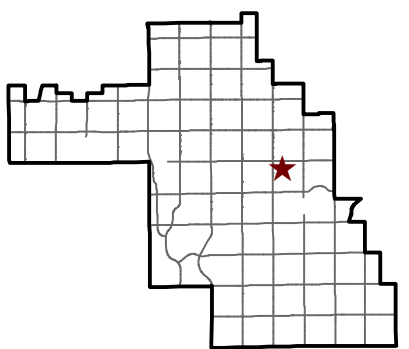
Attachments:

1. Vicinity Maps
2. Airport Conflict Evaluation Report
3. Development Booklet, Attachment A



 **PLH20-0066/PLH20-0028/PLT20-0032 Hudson Crossings** 

Proposed Project Details
 Area Plan Amendment/Rezone/PDP/Pre-Plat
 6.39 Acres
 43 Lots
 Single Family Subdivision



City of Chandler Planning Division
chandleraz.gov/planning
 For more information visit:
<https://gis.chandleraz.gov/planning>



MEMORANDUM

Airport - Memo No. 21-023

DATE: November 19, 2020

TO: Kevin Mayo, Planning Administrator

FROM: Chris Andres, Airport Planning Administrator *CA*

SUBJECT: Airport Conflict Evaluation
PLH20-0028 Hudson Crossings
East of the Southeast corner of McQueen and Willis Roads

At their November 18, 2020 meeting, the Chandler Airport Commission ("Commission") discussed the Hudson Crossings single family residential project located east of the Southeast corner of McQueen and Willis Roads.

Finding: The Commission determined the proposed development **constitutes a conflict** with existing or planned airport uses.

Conflict(s) Cited: The proposed development contains 43 single-family residential units and the site will experience aviation noise and vibration impact from aircraft in the normal traffic pattern and arrival and departure routes. Approximately 105 residents would be expected to be exposed to aircraft noise at this location.

Conflict Resolution(s): If the development is approved, physical and administrative corrective actions should be employed including, without limitation:

Physical corrective actions: (1) construction of all units built with noise attenuation construction materials and techniques to reduce the ambient interior noise levels to less than 45 decibels; (2) installation of at least one roadway-style sign in a prominent location identifying the presence of low flying aircraft;

Administrative corrective actions: (1) all prospective purchasers of property in the subdivision should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport (including the heliport), and (ii) the potential for impact from aviation noise and vibrations; (2) all prospective purchasers of property should be required to sign the disclosure statements before

a purchase contract is signed and again at the transaction closing; (3) dedication of an avigational easement to the City; (4) display of a large size map in the onsite sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (5) submittal of a signed affidavit and photograph of the prior referenced map display to the Zoning Administrator; (6) inclusion of an affirmative disclosure statement on the final plat; (7) inclusion of the physical and administrative corrective actions in the Subdivision Public Report that is submitted to the Arizona Department of Real Estate.

Commission Members in Attendance: Chairman Dave Sperling, Vice Chair Chris Hawley, Sherri Koshiol, Robert Bozelli and Sky McCorkle were in attendance. This attendance represented a quorum.

The Commission voted 5-0 to forward a report to the Planning Administrator indicating the finding noted above.

cc: David De La Torre, Planning Manager
Susan Fiala, City Planner

Attachment: Airport Conflict Evaluation



MEMORANDUM

Airport - Memo No. 21-022

Date: November 18, 2020

To: Chandler Airport Commission

Through: Joshua Wright, Assistant City Manager

From: Chris Andres, Airport Planning Administrator *CA*

Subject: Agenda Item 4.a – Airport Conflict Evaluation
PLH20-0028 Hudson Crossings
East of the Southeast corner of McQueen and Willis Roads

Recommendation

Staff recommends the Airport Commission ("Commission") present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "conflict with airport uses" for the proposed Hudson Crossings single family residential development.

Background

The approximately 6.4 acre site near the southeast corner of McQueen and Willis roads (*Exhibit A - Vicinity Map, Exhibit B - Property Location*) and is zoned Planned Area Development (PAD) for multifamily residential. Adjacent land uses include a City of Chandler water treatment facility to the north; the Consolidated Canal to the east; the Loop 202 freeway to the south; and a single family subdivision to the west.

The site is approximately 0.57 miles to the north of the Airport property line and is not located within any noise contours (*Exhibit A- Vicinity Map*).

The proposed project is an approximately 43 unit single family residential development with 6.56 dwelling units per acre (du/ac) (*Exhibit C - Site Plan*). The Applicant's request is to:

- Amend the Chandler Airpark Area Plan from High Density Residential to Low-Medium Density residential;

- Replace the existing Planned Area Development (PAD) zoning allowing for multifamily residential to Planned Area Development with Preliminary Development Plans for single family residential, site layout, and building architecture.

The City of Chandler General Plan designates the property for Neighborhoods and the Chandler Airpark Area Plan designates the property as High Density Residential (*Exhibit D – Chandler Airpark Area Plan Land Use Plan*). Goal 5.0 of the Land Use Element of the Chandler Airpark Area Plan is “to protect the Airport from incompatible land uses” and Policy 5.1 states that “the City shall consider flight tracks, noise patterns, and Airport safety zones when determining the appropriateness of proposed developments.”

Analysis

The proposed single family residential land use would reduce the number of residents exposed to aircraft noise. The land is currently undeveloped and the project would add 43 dwelling units under the flight traffic pattern, thereby increasing the number of residents exposed to aircraft noise. Per the Chandler Airpark Area Plan (page 2-9), the planned population per dwelling unit for Low-Medium Density Residential is 2.5. Based on the development intensity, approximately 105 residents would be expected to experience aircraft noise at this location.

The property is not located within an airport noise contour and will experience daily overflights from aircraft in the normal traffic pattern.

The proposed development will experience daily overflights from aircraft in the normal airport traffic pattern (Exhibit E – Flight Tracks). Flight operations are typically between sunrise and sunset and, at this location, the flight traffic pattern altitude is approximately 800 feet above ground level. Outdoor activities are especially susceptible to overflight noise, depending on the nature of the activity. Residences under or near the flight traffic pattern are a significant source of noise complaints for the Airport.

Based on the maximum allowable building heights, the proposed development does not appear to pose a hazard to flight safety or be an airspace obstruction.

Due to the site’s proximity to the Airport, the developer will need to file a Notice of Proposed Construction (FAA Form 7460-1) with the Federal Aviation Administration for the final structure heights, including all rooftop antennas, parapets, and other objects and light poles and temporary construction equipment. The form can be submitted online at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

Airport Conflict Evaluation Process

In January 2002, the City Council adopted an Airport Conflicts Evaluation (ACE) Process policy requiring any zoning changes within the nine-square mile Chandler Airpark Area to be reviewed by the Commission to determine if the use and/or development will be a conflict with current and future airport operations. The ACE policy outlines the Commission's tasks as they relate to this review:

1. The Commission's determination as to whether conflicts exist between the proposed development and airport uses;
2. If conflicts exist, the specific areas of conflict;
3. If conflicts exist, a statement of corrective actions which can be taken, if there are any;
4. The Commission Members voting in support of the Commission's determination and those members voting in opposition to the Commission's determination.

Airport staff provides the Commission with information and a recommendation regarding the proposed project and the conflict evaluation process. Staff will compile and forward an ACE report that summarizes the Commission's discussion and findings to the Zoning Administrator. Planning staff will report the Commission's findings regarding potential for airport conflicts to Planning and Zoning Commission and to City Council.

Findings

1. The Airport Commission's determination as to whether conflicts exist between the proposed development and airport uses. **A conflict exists between the proposed development and proposed airport uses.**
2. If conflicts exist, the specific areas of conflict. **The proposed development contains 43 single family residential units and the site will experience aviation noise and vibration impact from aircraft in the normal traffic pattern and arrival and departure routes. Approximately 105 residents would be expected to be exposed to aircraft noise at this location.**
3. If conflicts exist, a statement of corrective actions which can be taken, if there are any. **If the development is approved, physical and administrative corrective actions should be employed including, without limitation:**

Physical corrective actions: (1) construction of all units built with noise attenuation construction materials and techniques to reduce the ambient interior noise levels to less than 45 decibels; (2) installation of at least one

roadway-style sign in a prominent location identifying the presence of low flying aircraft;

Administrative corrective actions: (1) all prospective purchasers of property in the subdivision should be required to sign separate disclosure statements, acknowledging (i) the proximity to the Chandler Airport (including the heliport), and (ii) the potential for impact from aviation noise and vibrations; (2) all prospective purchasers of property should be required to sign the disclosure statements before a purchase contract is signed and again at the transaction closing; (3) dedication of an avigational easement to the City; (4) display of a large size map in the onsite sales office identifying the Airport Impact Overlay District, the noise contours and overflight patterns as depicted in Exhibit 6A in the FAR Part 150 Noise Compatibility Study document as adopted by the Chandler City Council (Resolution No. 2950, 11-5-98), and the noise contours as identified in the Chandler Airpark Area Plan; (5) submittal of a signed affidavit and photograph of the prior referenced map display to the Zoning Administrator; (6) inclusion of an affirmative disclosure statement on the final plat; (7) inclusion of the physical and administrative corrective actions in the Subdivision Public Report that is submitted to the Arizona Department of Real Estate.

4. *The Airport Commission Members voting in support of the Airport Commission's determination and those members voting in opposition to the Airport Commission's determination.* **This information will be determined through Commission discussion and action.**

Public Meetings

One online neighborhood meeting was held on Tuesday, October 27, 2020. No airport issues were identified by the attendees.

Proposed Motion

Move to present an Airport Conflict Evaluation (ACE) report to the Zoning Administrator and City Council with a finding of "conflict with airport uses" for the proposed Hudson Crossing single family residential development.

Attachments

- A. Vicinity Map
- B. Property Location
- C. Site Plan
- D. Chandler Airpark Area Plan Land Use Plan
- E. Flight Tracks

Exhibit A: Vicinity Map

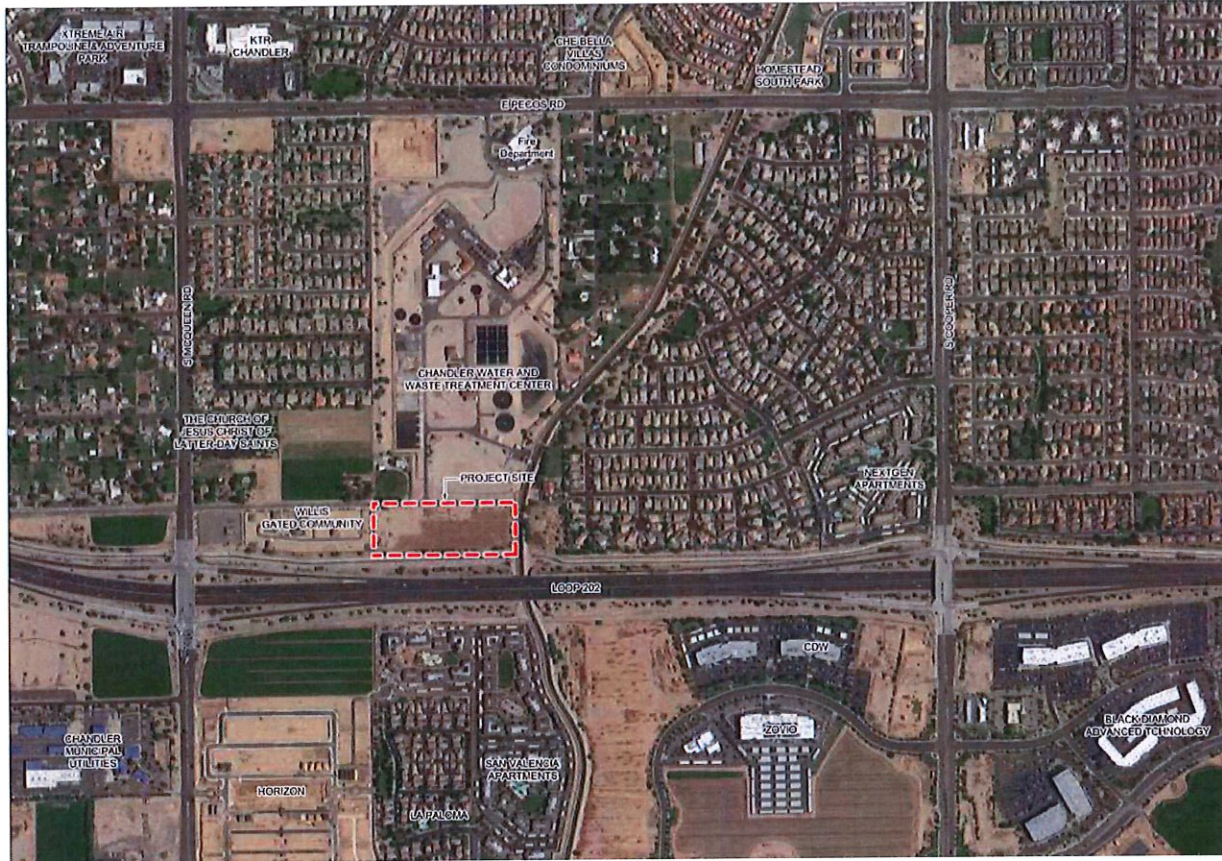


Exhibit B: Property Location

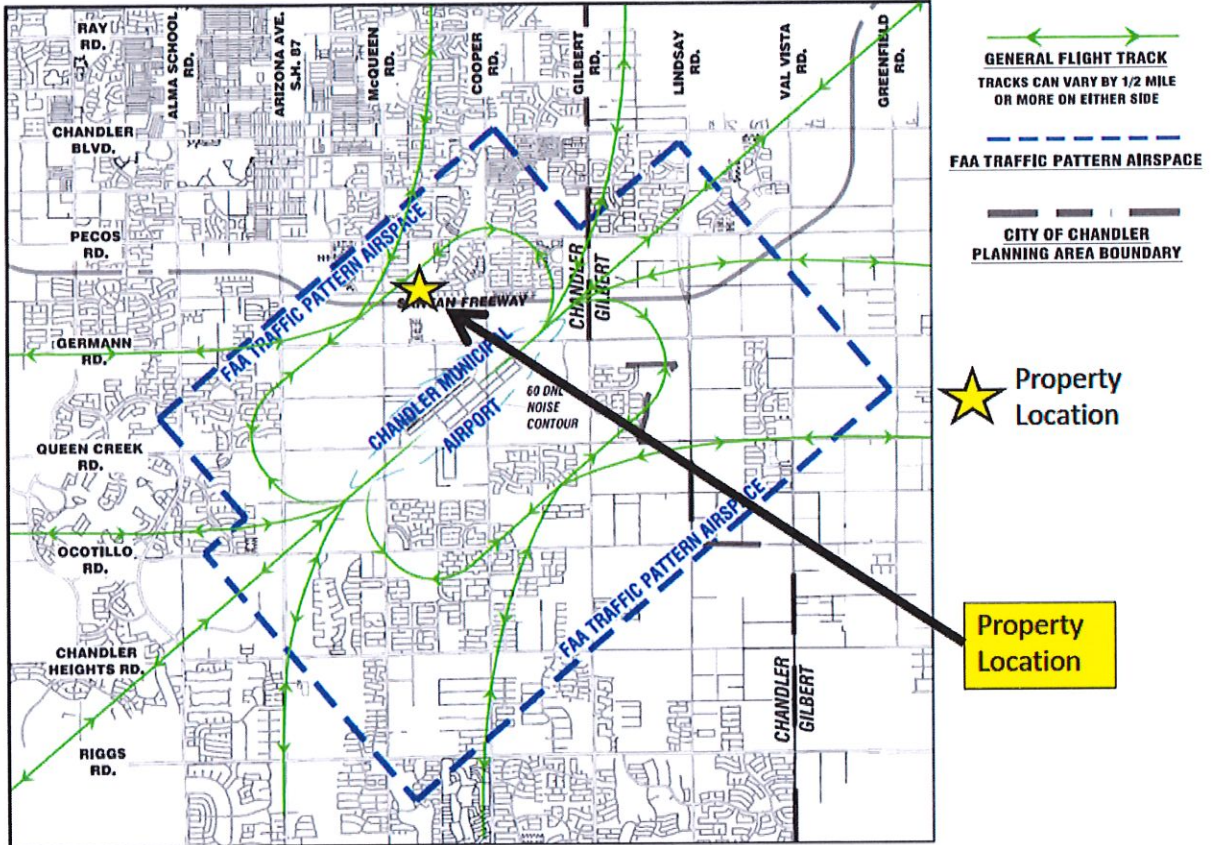


Exhibit C: Site Plan

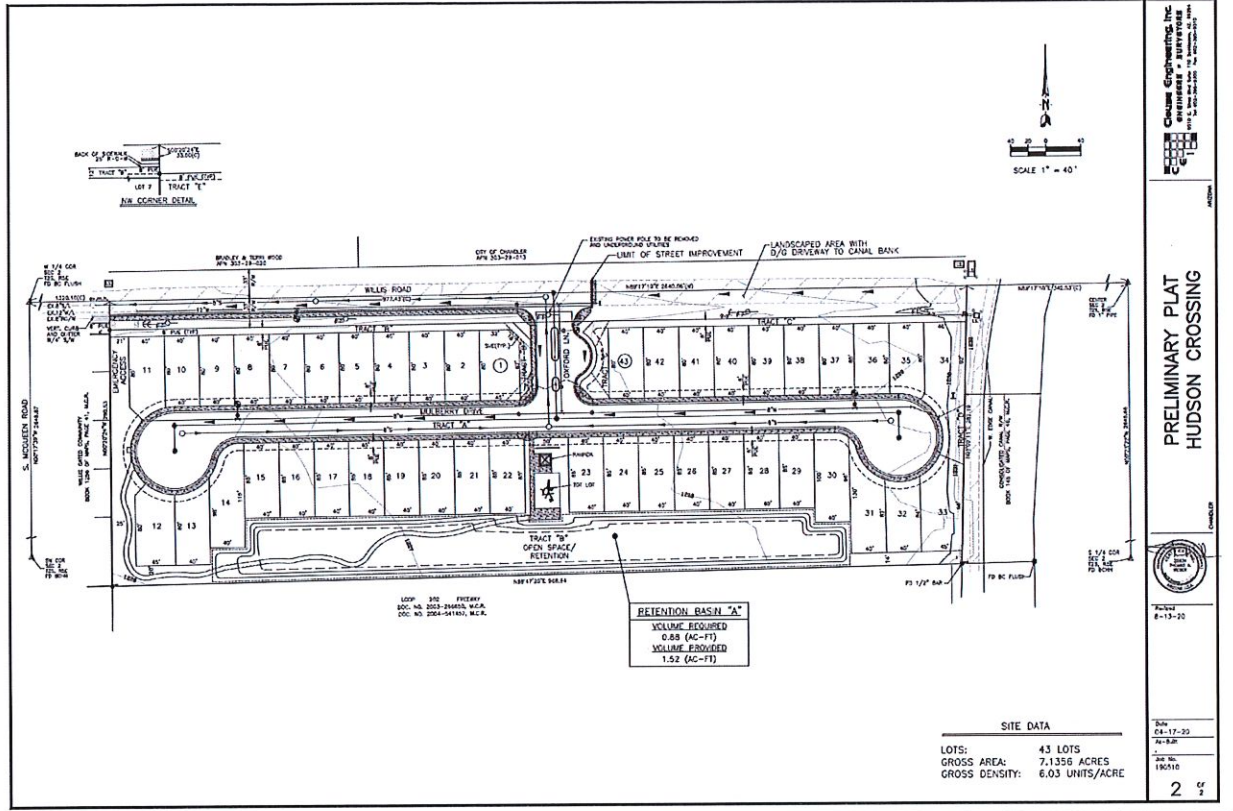


Exhibit D: Chandler Airpark Area Plan Land Use Plan

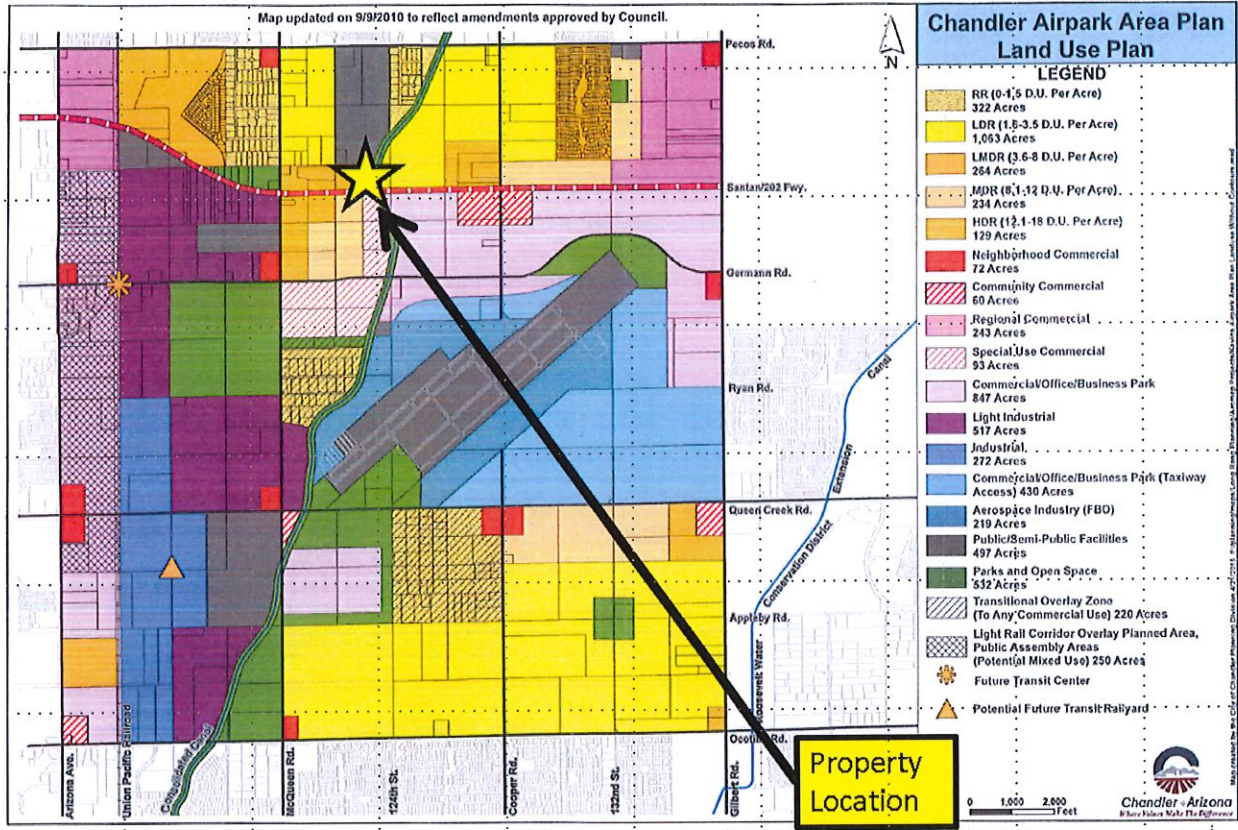
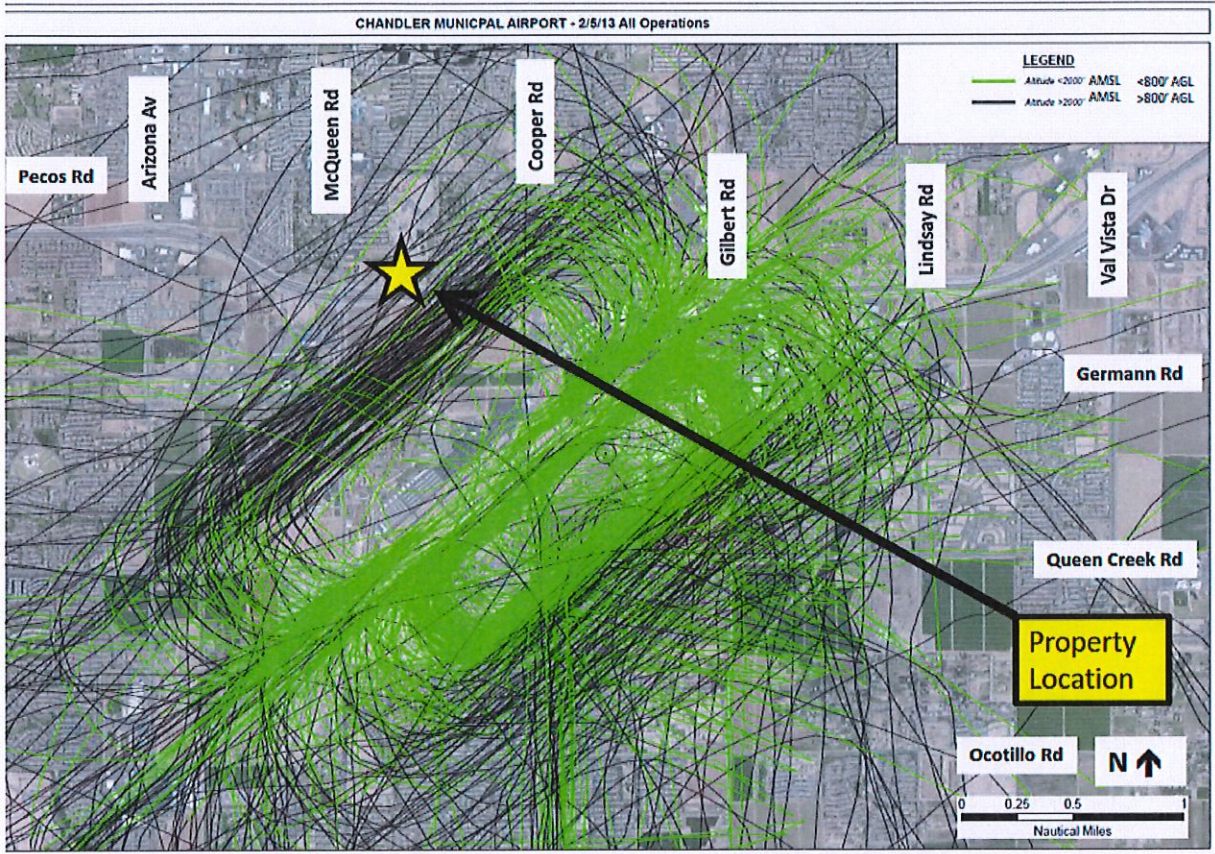


Exhibit E: Flight Tracks

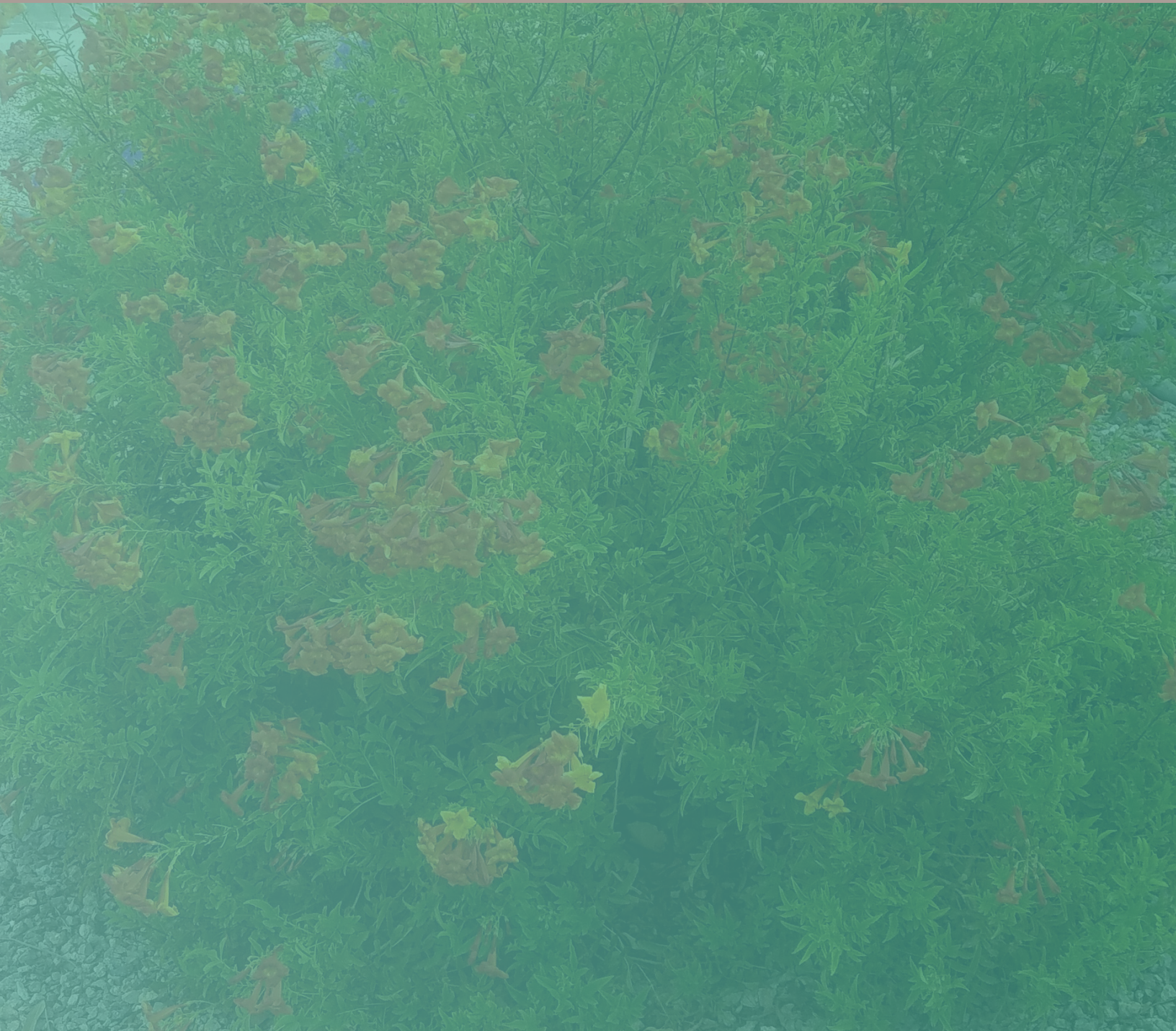


HUDSON CROSSINGS

A RESIDENTIAL PURSUITS INVESTMENT

Area Plan Amendment,
Rezoning with Preliminary Development Plan, Preliminary Plat

DECEMBER 2020



DEVELOPER:

RPI Residential Pursuits
Investments, LLC

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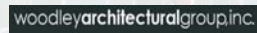
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PROJECT INFORMATION:

Project Location: Chandler, Arizona 85286
Request: Approval of Area Plan Amenmdment, Rezoning Preliminary Development Plan (PDP) & Preliminary Plat (PPT)

Planned Area Development (PAD) Vacant

Gross Area 7.13 Ac.
Net Area: 6.39 Ac.
Maximum Proposed Dwelling Units: 43 Lots.
Maximum Proposed Density: 6.73 Du./Ac.
Open Space: 2.36 Ac.

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Introduction

Residential Pursuits Investments, LLC (RPI) is excited to bring Hudson Crossings, a new single-family residential development located east of the southeast corner of McQueen Road and Willis Road (the "Site"). The Site is approximately 7.13 gross (6.39± net) acres. Hudson Crossings is a gated community that offers future residents a sense of community and opportunities to interact together as families and as a neighborhood. Hudson Crossings will contain 43 lots at a density of approximately 6.73 du/net acre. As is discussed in greater detail below, RPI is requesting:

- An amendment to the Airpark Area Plan changing the designation from High-Density Residential (12.1-18 du/ac) to Low-Medium Density Residential (3.6-8 du/ac);
- The Site be rezoned to Planned Area Development (PAD) for Single-Family Residential;
- Preliminary Development Plan (PDP) approval; and
- Preliminary Plat approval.

Hudson Crossings makes good land use on this challenging, infill Site adjacent to the Loop 202 Freeway and the City's water treatment facility. The proposed development will be compatible with neighboring developments and will provide an attractive presence in the area.

Background

Under the City of Chandler's General Plan, the Site is designated as Neighborhoods and is zoned PAD Single-Family Residential. Additionally, the Site is designated under the City's Airpark Area Plan as High Density Residential (12.1-18 du/ac). The HDR designation has existed on the Site since the Airpark Area Plan was adopted in 1998. Hudson Crossings meets the objectives of the City's General Plan and demonstrates compatibility between new development and existing neighborhoods by incorporating a compatible lot size and product type.

Area Plan Amendment

As previously discussed, RPI requests an amendment to the Airpark Area Plan to reduce the density permitted on the Site, from HDR to LMDR. Much of the immediate area is established also with a variety of single-family residential densities. Hudson Crossings incorporates a different product type of a similar but varied density to the surrounding area, which creates a diverse housing market. The proposed amendment is in keeping with the residential developments in the area and along Willis Road.



Planned Area Development and Preliminary Development Plan

RPI's proposed PAD and PDP is for a quality single-family subdivision that is compatible with the City's General Plan, proposed Area Plan Amendment, and the surrounding area. Hudson Crossings will contain 43 lots that are a minimum of 40 ft. x 80 ft. (3,200 square feet). (See **Exhibit D: Development Plan** and **Exhibit E: Landscape Plans**). The sole point of access to the Site is from Willis Road. Willis Road is proposed to terminate at the entrance; however RPI is providing a 5-foot sidewalk from where Willis Road ends to the Paseo Trail for residents and passers-by to access the trail system. Emergency fire access is provided along the Site's western boundary. Hudson Crossings also provides a minimum 30-foot open space buffer along the south edge of the Site.

The development will contain approximately 2.36 acres of open space, which is approximately 36.93%. (See **Exhibit F: Open Space Plan**). The open space has been dispersed throughout the Site to provide efficient retention as well as visual relief across the development. A 1.09 acre amenity area is centrally located. (See **Exhibit G: Amenity Plan**). This amenity area will be easily accessible to all of the residents, supporting recreational activity and social interaction. As a major component of the community's identity, the amenity area will complement the architectural style of the homes, and the landscape accents will incorporate desert material and natural colors. The amenity area will feature open space turf, play features, and a shaded seating area. The five-foot attached sidewalks throughout the community to encourage pedestrian connectivity. (See **Exhibit H: Pedestrian Circulation Plan**).

The interior and exterior landscape theming of Hudson Crossings will feature Modern and Contemporary design elements and motifs that continue to establish the community's theming (See **Exhibit E: Landscape Plans**). The design of the perimeter walls reflects the quality and character of the community. Also, the community mailbox cluster matching the specific theme wall design will be located for convenient access to all residents near the amenity area. (See **Exhibit I: Wall Plan** and **Exhibit J: Wall Details**). The entrance will include an entry monument sign with wrought iron pin steel lettering. (See **Exhibit J: Details**).



Residential Development Standards

The City's Residential Development Standards (RDS) are not applicable to the Site given its in-fill character. Because of the nature of the Site, the RDS allows the City Council to depart from the guidelines of the RDS if a Site is an in-fill proposal involving a small or irregularly shaped parcel, located within a developed residential neighborhood and immediately contiguous to existing land uses and physical barriers such as streets, canals, etc. The Site meets this consideration. Notwithstanding the inapplicability of the RDS, Hudson Crossings has been developed to meet the spirit and intent of the RDS.

Subdivision Diversity Elements:

Sense of neighborhood arrival - Monument entry with development name & enhanced landscape

Distinctive project themes - Specialized fencing & accent wall details

Irregularly shaped retention areas - Single rectangular basin not used & maximum 4:1 slopes

Retention areas useable & accessible - Easy access to ramada & tot-lot amenity area

Landscaped parkway - 8'-0" landscaped tract along Willis Road

Staggers or other visual breaks - Walls include columns & pilasters that relieve linear perimeters

Cul-de-Sacs with a diversity feature - Includes access to common open space

Architectural Diversity Elements:

Four-sided architecture - Continued materials on all sides of the building visible from the arterial streets

Variety of roofing - Concrete slate or "S" roof tiling included with 12 color schemes

Durable exterior materials and finishes - Brick, masonry, stone, and stucco facades are used

"Box-on-box" (two story) Includes single story element - Rear elevations, second story plane changes, and multiple roofs with different ridge orientations (such as patios)

Standard covered rear patios - All floor plans

Minimum of three significant architectural style differences - Desert Contemporary, Modern Spanish, Mid-Century Modern, and Modern Prairie

Prohibits the same front elevations - Adjoining homes or across the street are to be alternate elevations

Standard feature access facade material - Stone or brick veneers and wood tiles are included on at least one elevation for all floor plans

Distinctive architectural details - Such as covered front porches, entry doors with glass panels, stucco trim, metal awnings, and low wall and gate feature for side patio entry

Defined front yard outdoor living spaces - Front porches on at least one elevation for each floor plan

Break up of main ridgeline on roof slopes - Elevations include a variety of ridgelines, and dimensions of roof slopes

Variety of front yard landscape packages - 24" Box or 15gal accent trees, upright or foundation shrubs (1 and 5 gal.), and groundcovers are included within the front yard packages

Housing Product

The architecture and character of Hudson Crossings will provide diversity throughout the community and the surrounding area. The architectural character is influenced with modern-contemporary characteristics through the use of contrasting gray and brown color tones, vertical sidings, and building accents. The proposed elevations include differing architectural styles found across the Southwest from Texas to Southern California and fuses them together with a Southwest twist. This genre involves a composite of Desert Contemporary, Modern Spanish, Mid-Century, and Modern Prairie themes. Identifiable elements and characteristics of the different styles include the following:

- Gabled roofing that accentuates concrete 'S' and horizontal roof tiling
- Various shading effects through second story dimension changes, and patio overhangs
- Building accents such as brick, decorative tile and stone
- Refined modern forms and geometry
- Emphasis on balanced vertical and horizontal lines
- Asymmetry
- Incorporation of indoor/outdoor spaces
- An eclectic application of natural materials such as metal, stone and concrete

The proposed homes emphasize sustainability and create a pedestrian-friendly street scene. The available floor plans offer two-story homes with two-car parking driveways and two-car garages. The front elevations offer a combination of front-loaded garages, front livable architecture, porches, recessed entries, and side entries which all assist in providing desirable building articulation between the front setbacks and living spaces. Some key product features include:

- Functional and open floor plans
- Covered patios create outdoor living area
- Two-car garages provide ample parking and storage
- Modern Desert architectural style reflecting the theme of the community
- Flexible living spaces provide alternative living arrangements for different buyer profile

Proposed Development Standards

The following development standards are proposed for Hudson Crossings:

| Single Family Detached | |
|---|--|
| STANDARDS <small>(SETBACKS SHOWN ARE MINIMUM REQUIREMENTS)</small> | |
| Lot area, min (sq. ft.) | 3,200 sf. per lot |
| Lot dimension, min. (ft.) | 40' x 80' |
| Lot coverage, max. (%) | 60% (1 Story); 50% (2 Story) |
| SETBACKS <small>(SETBACKS SHOWN ARE MEASURED FROM PROPERTY LINE TO BUILDING FOUNDATION, UNLESS OTHERWISE STATED)</small> | |
| Front Setbacks (ft.) | Minimum 20' to garage Minimum 10' to livable space |
| Side Setbacks, min. (ft.) (1) | 5' |
| Rear Setbacks, min. (ft.) | Minimum 20' to living area *Rear patios encroach into the setback up to 10' to be 10' (maximum) from property line - Plans 3 & 4 * See Exhibit K: Residential Architecture - Lot Fit Diagrams for clarification |
| BUILDING STANDARDS | |
| Building height, max (ft.) | 2-stories, 30' (to midpoint of peak) |
| NOTES: | |
| <p>(1) A minimum of a ten-foot (10') wide landscape tract shall be installed along the sides of lots siding onto residential streets that are not being accessed from that street. The tract shall be located between the street right-of-way and the side lot line of the adjacent lot.</p> <p>(2) Encroachments into building setbacks include, architectural embellishments, bay windows, fireplaces, roof overhangs, and those allowed by city 'Zoning Code' or 'Building Code'.</p> <p>(3) Two-foot (2') encroachments are allowed on corner lot Sight Visibility Triangles.</p> | |

(See **Exhibit K: Lot Fit Diagrams**, **Exhibit L: Floor & Roof Plans**,
and **Exhibit N: Concept Elevations**)



Parking & Refuse

Hudson Crossings incorporates planning and design elements that provide proper parking and access management. Ample parking is available throughout the development through parallel parking along the internal streets, as well as two garage spaces per unit and driveway parking. The need for guest parking is anticipated to be a minimum of one guest space per every two lots, which is being provided on the private street tract. Utilizing various parking options, including on-street parking, will help create an active street scene and encourage interaction in a pedestrian friendly environment. In addition to providing adequate parking, the layout of the community gives residents the ability to properly locate their trash receptacles allowing waste management services to collect them.

(See **Exhibit P: Street Sections** and **Exhibit Q: Parking Location Plan**).

Preliminary Plat

See **Exhibit R: Preliminary Plat**.

Preliminary Grading and Drainage

There are no off-site flows that historically pass through the project site. The adjacent off-site streets and internal on-site streets will convey storm water to multiple surface retention basins. (See **Exhibit S: Preliminary Grading & Drainage Plan**).

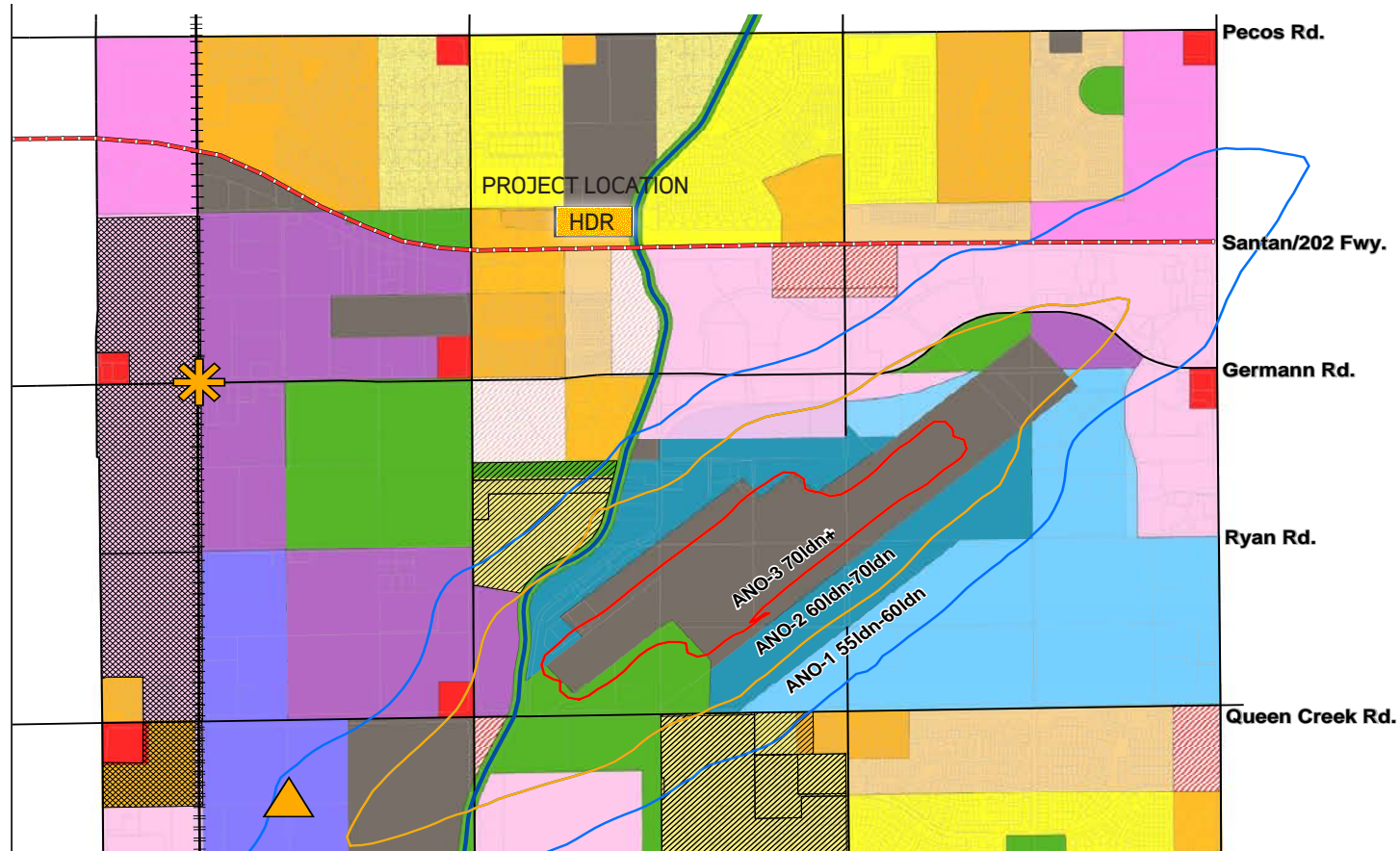
Conclusion

Hudson Crossings will be a sustainable and appropriate development on this challenging, in-fill Site. The proposed Area Plan Amendment, PAD, and PDP meet the goals of the General Plan and the Area Plan by providing additional housing choices in the area that will provide additional support to the existing and planned retail and employment uses in the area. The layout of Hudson Crossings provides principles of traditional neighborhoods, by placing the amenities at the center of the community and providing a housing product that provides a transition for the existing developments in the area. We request your approval.

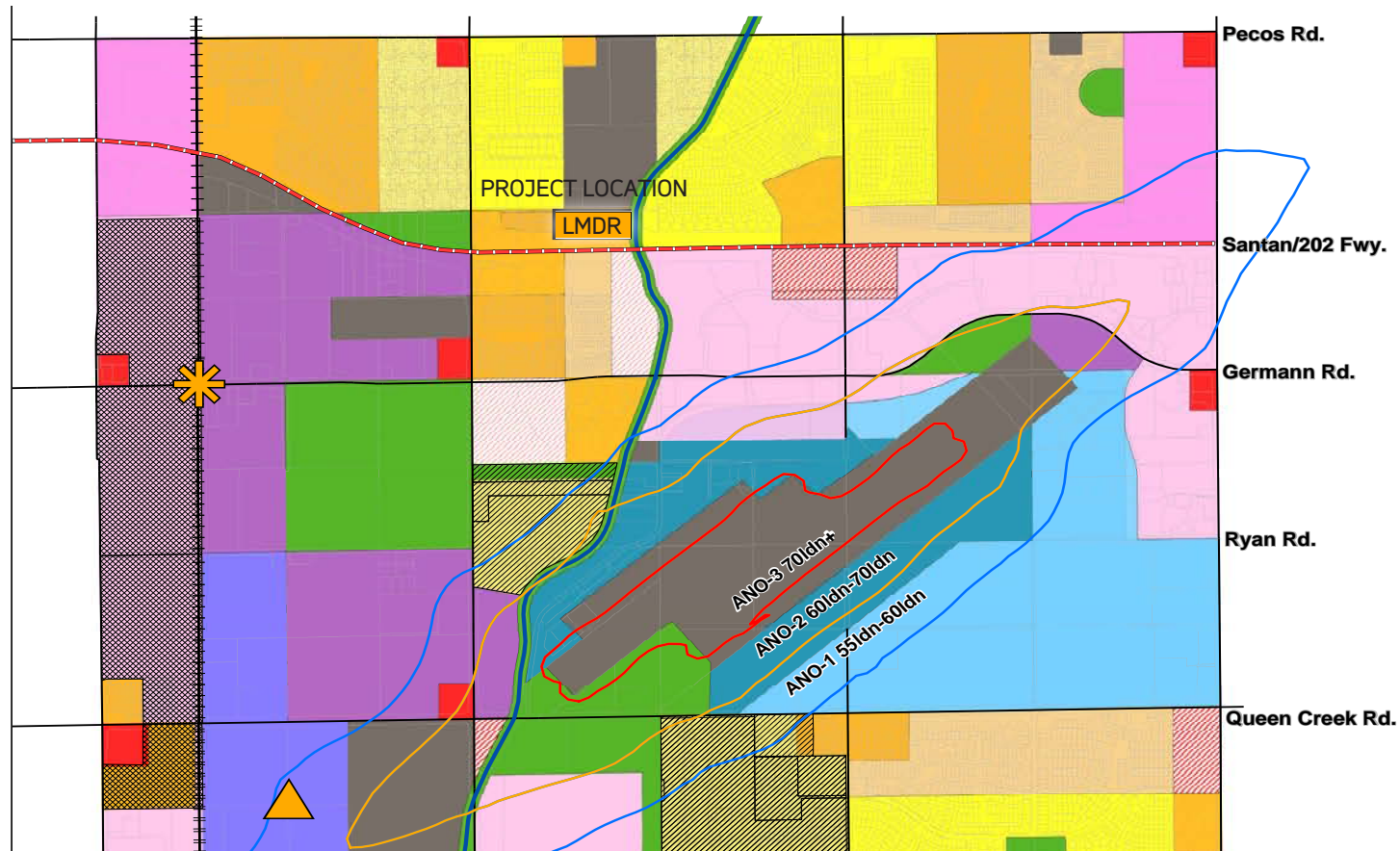


EXHIBIT A: VICINITY MAP





EXISTING

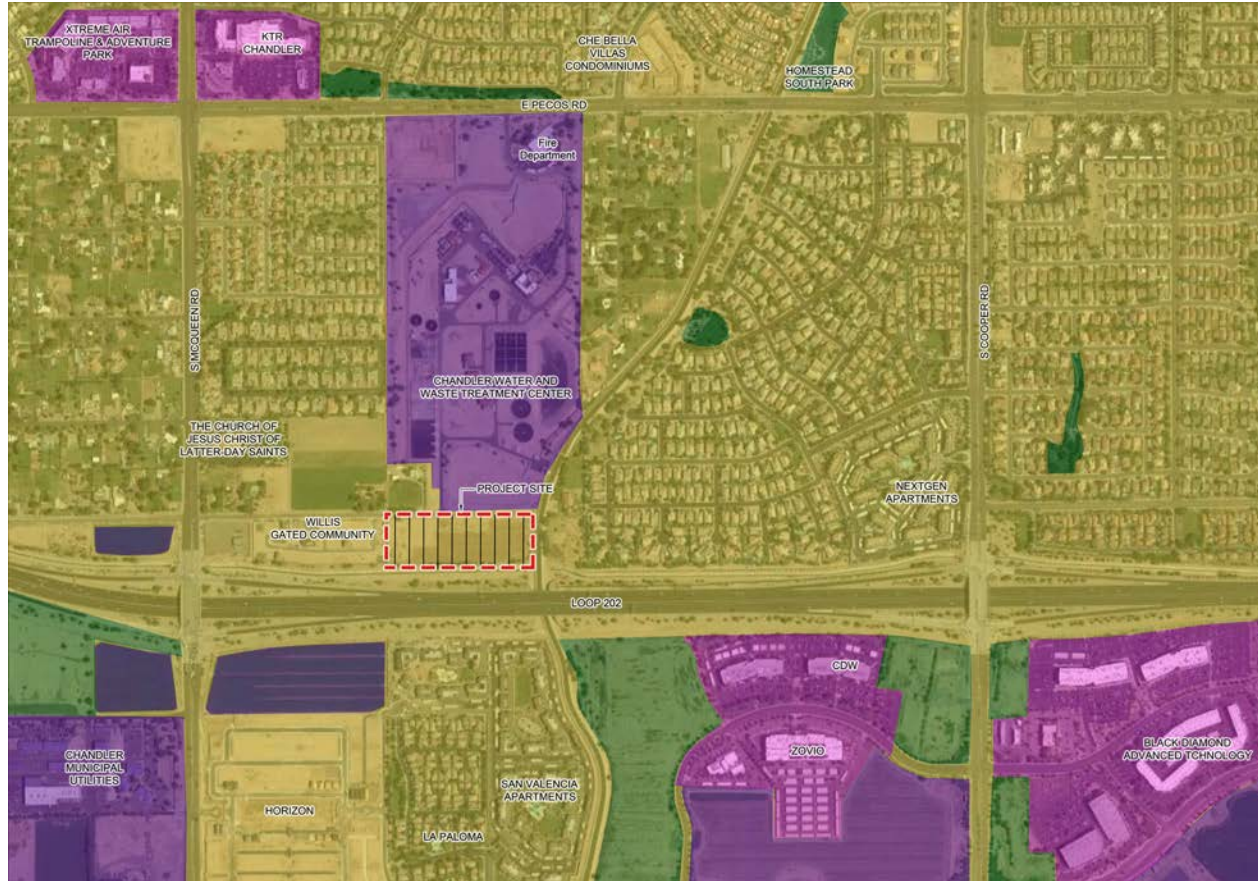


PROPOSED

LEGEND

- RR (0-1.5 D.U. Per Acre)
322 Acres
- LDR (1.6-3.5 D.U. Per Acre)
1,063 Acres
- LMDR (3.6-8 D.U. Per Acre)
264 Acres
- MDR (8.1-12 D.U. Per Acre)
234 Acres
- HDR (12.1-18 D.U. Per Acre)
129 Acres
- Neighborhood Commercial
72 Acres
- Community Commercial
60 Acres
- Regional Commercial
243 Acres
- Special Use Commercial
93 Acres
- Commercial/Office/Business Park
847 Acres
- Light Industrial
517 Acres
- Industrial
272 Acres
- Commercial/Office/Business Park (Taxiway Access)
430 Acres
- Aerospace Industry (FBO)
219 Acres
- Public/Semi-Public Facilities
497 Acres
- Parks and Open Space
532 Acres
- Transitional Overlay Zone (To Any Commercial Use)
220 Acres
- Light Rail Corridor Overlay Planned Area, Public Assembly Areas (Potential Mixed Use)
250 Acres
- Future Transit Center
- Potential Future Transit Railyard
- ANO-1 55Idn-60Idn Noise Contour
- ANO-2 60Idn-70Idn Noise Contour
- ANO-3 70Idn+ Noise Contour

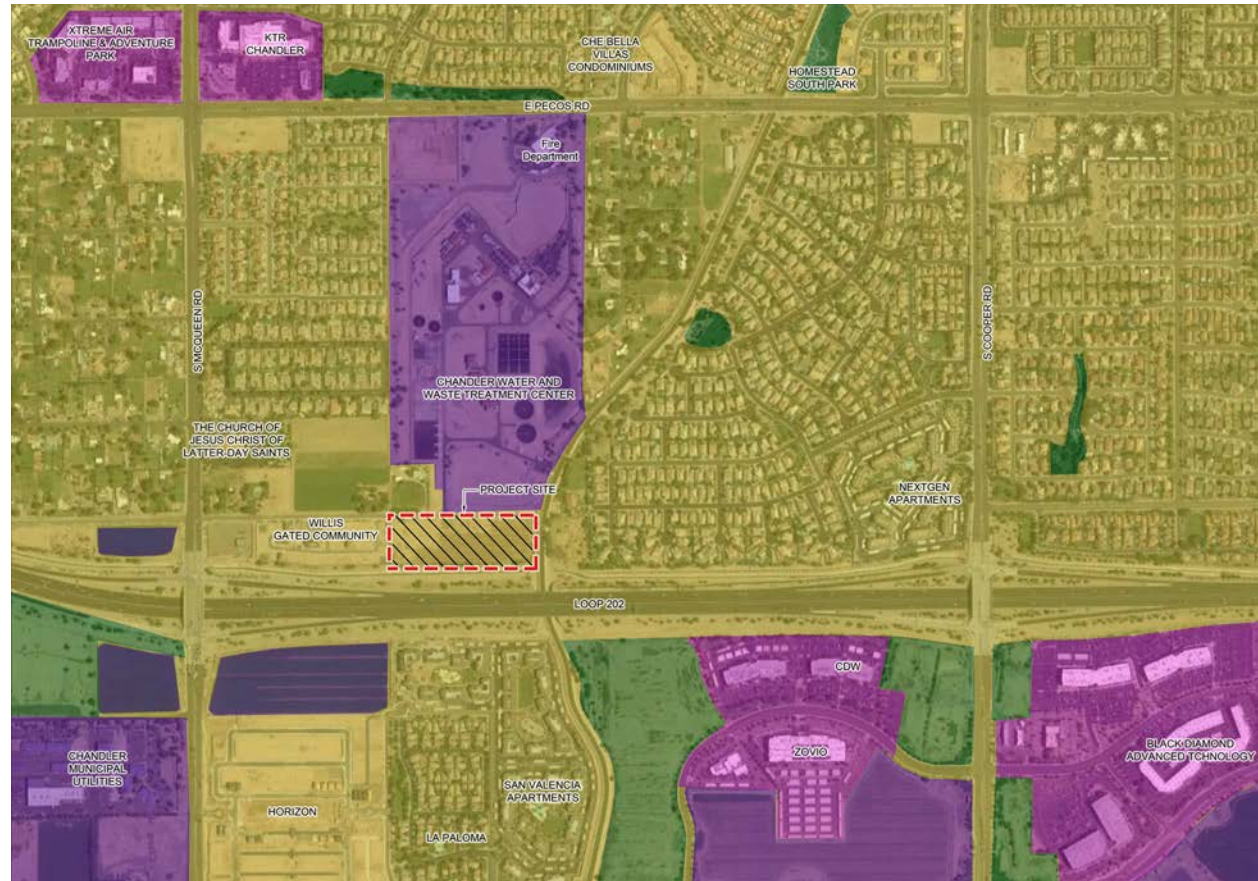




EXISTING

LEGEND:

- PARKS / OPEN SPACE
- OFFICE / BUSINESS PARK COMMERCIAL
- PUBLIC / SEMI-PUBLIC
- SCHOOLS
- LOW-MEDIUM DENSITY RESIDENTIAL
- LIGHT INDUSTRIAL
- EXISTING PAD
- PROPOSED PAD



PROPOSED

CITY OF CHANDLER
APN 303-29-013



LOOP 202 FREEWAY

| SITE DATA | |
|-------------|-------------------|
| NET ACREAGE | 6.39 Ac. |
| NET DENSITY | 6.73 UNITS/Ac. |
| 40'x80' LOT | 43 D.U. |
| OPEN SPACE* | 2.36 Ac. 36.93% |

* As a percentage of net acreage.

EXHIBIT D: DEVELOPMENT PLAN

PLAN SCALE 1:40



CITY OF CHANDLER
APN 303-29-013



LOOP 202 FREEWAY

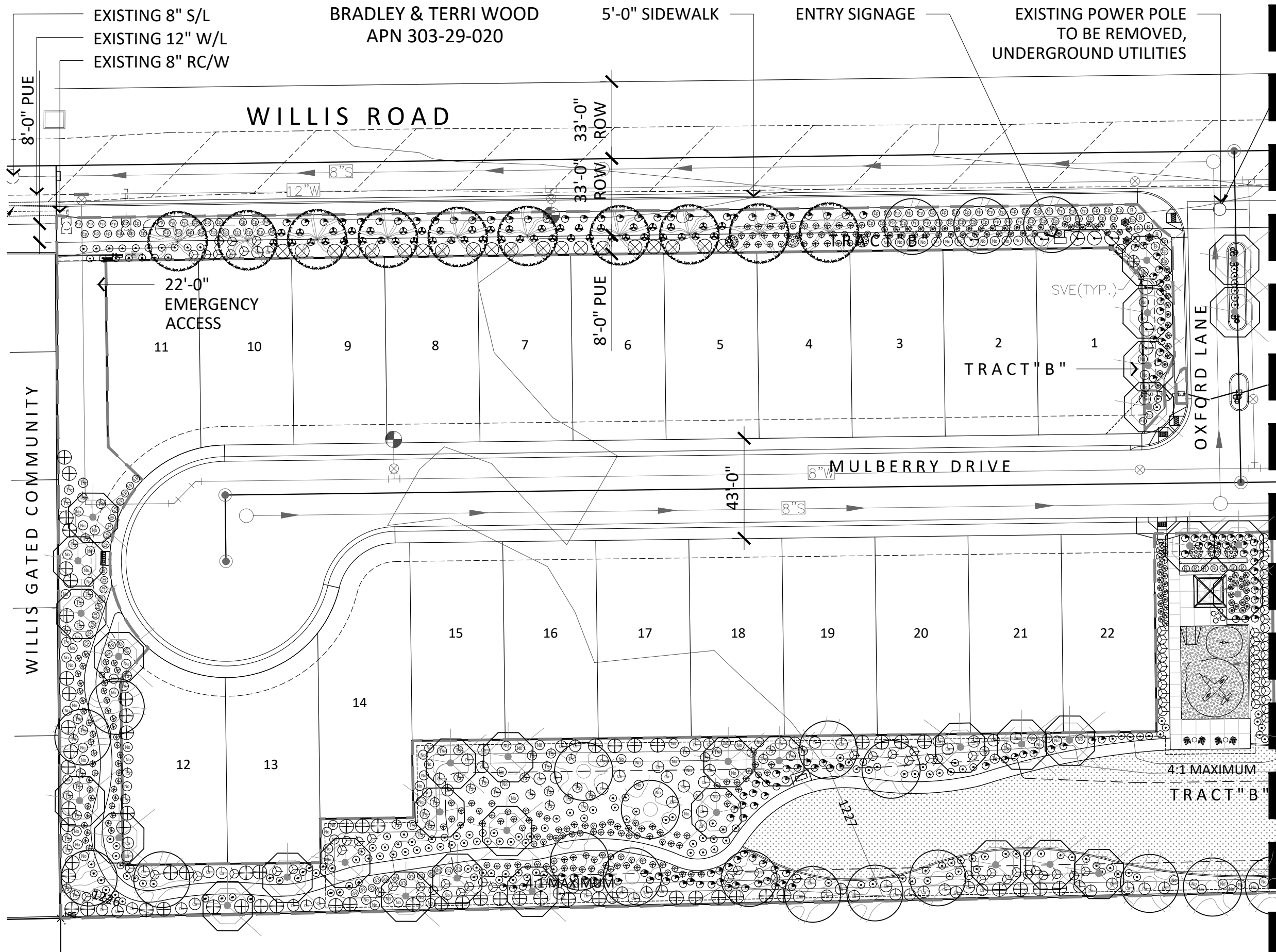
PLANT MATERIALS LEGEND

| Trees | Install | Caliper | Qty. |
|---|---------|---------|----------|
| Parkinsonia hyb. | 24" | Box | |
| 'Desert Museum' Palo Verde | | | |
| Pistacia X 'Red Push' | 24" | Box | |
| Red Push Pistache | | | |
| Quercus virginiana | 24" | Box | |
| 'Cathedral' Oak | | | |
| Ulmus parvifolia | 24" | Box | |
| 'Allee' Elm | | | |
| Extra Large Shrubs | Install | Size | Quantity |
| Caesalpinia pulcherrima | | | |
| Red Bird of Paradise | 5 gal. | | |
| Dodonea viscosa | 5 gal. | | |
| Hopbush | 5 gal. | | |
| Pistacia lentiscus | 6" Min. | | |
| Mastic | 15 gal. | | |
| Tecoma alata 'Orange Jubilee' | | | |
| Orange Jubilee | 15 gal. | | |
| Tecoma sp. 'Sparky' | | | |
| Sparky | 5 gal. | | |
| Medium Shrubs | Install | Size | Quantity |
| Nerium oleander 'Little Red' | | | |
| Oleander 'Little Red' | 5 gal. | | |
| Ruellia brittoniana | | | |
| Ruellia | 5 gal. | | |
| Small Shrubs | Install | Size | Quantity |
| Bougainvillea 'Oo-La-La' | | | |
| Oo-La-La Bougainvillea | 5 gal. | | |
| Myrtus communis 'compacta' | | | |
| Dwarf Myrtle | 5 gal. | | |
| Teucrium chamaedrys | | | |
| Germander | 5 gal. | | |
| Groundcovers | Install | Size | Quantity |
| * Eremophila prostrata 'Outback Sunrise' | | | |
| Outback Sunrise Eremophila | 1 gal. | | |
| Lantana montevidensis | | | |
| Purple Trailing Lantana | 1 gal. | | |
| Cacti/ Accents | Install | Size | Quantity |
| Agave bovicornuta | | | |
| Cow's Horn | 5 gal. | | |
| Aloe barbadensis | | | |
| Medicinal Aloe | 5 gal. | | |
| Bouteloua gracilis | | | |
| Blond Ambition | 5 gal. | | |
| Hesperaloe sp. Pink Parade | | | |
| Pink Parade Hesperaloe | 3 gal. | | |
| * Lantana montevidensis | | | |
| Purple Trailing Lantana | 1 gal. | | |
| Muhlenbergia capillaris | | | |
| 'Regal Mist' | 5 gal. | | |
| * Muhlenbergia rigida 'Nashville' | | | |
| Purple Muhly | 1 gal. | | |
| Yucca pallida | | | |
| Pale Leaf Yucca | 5 gal. | | |
| Inerts | Install | Size | Quantity |
| 1/2" Screened Decomposed Granite | | | |
| Apache Brown, 2" Depth in All Landscape Areas | | | |
| Turf | | | |
| Mid-Iron Sod | | | |
| 6" Concrete Header | | | |
| Standard Color & Finish | | | |

PLAN SCALE 1:40

EXHIBIT E: OVERALL LANDSCAPE PLAN





PLANT MATERIALS LEGEND

| Trees | Install Caliper | Qty. |
|---|-----------------|----------|
| Parkinsonia hyb. 'Desert Museum' Palo Verde | 24" Box | |
| Pistacia X 'Red Push' Red Push Pistache | 24" Box | |
| Quercus virginiana 'Cathedral' Oak | 24" Box | |
| Ulmus parvifolia 'Allee' Elm | 24" Box | |
| Extra Large Shrubs | Install Size | Quantity |
| Caesalpinia pulcherrima | | |
| Red Bird of Paradise | 5 gal. | |
| Dodonea viscosa | | |
| Hopbush | 5 gal. | |
| Pistacia lentiscus | 6" Min. | |
| Mastic | 15 gal. | |
| Tecoma alata 'Orange Jubilee' | | |
| Orange Jubilee | 15 gal. | |
| Tecoma sp. 'Sparky' | | |
| Sparky | 5 gal. | |
| Medium Shrubs | Size | Quantity |
| Nerium oleander 'Little Red' | | |
| Oleander 'Little Red' | 5 gal. | |
| Ruellia brittoniana | | |
| Ruellia | 5 gal. | |
| Small Shrubs | Size | Quantity |
| Bougainvillea 'Oo-La-La' | | |
| Oo-La-La Bougainvillea | 5 gal. | |
| Myrtus communis 'compacta' | | |
| Dwarf Myrtle | 5 gal. | |
| Teucrium chamaedrys | | |
| Germander | 5 gal. | |
| Groundcovers | Size | Quantity |
| * Eremophila prostrata 'Outback Sunrise' | | |
| Outback Sunrise Eremophila | 1 gal. | |
| Lantana montevidensis | | |
| Purple Trailing Lantana | 1 gal. | |
| Cacti/ Accents | Size | Quantity |
| Agave bovicornuta | | |
| Cow's Horn | 5 gal. | |
| Aloe barbadensis | | |
| Medicinal Aloe | 5 Gal. | |
| Bouteloua gracilis | | |
| Blond Ambition | 5 gal. | |
| Hesperaloe sp. Pink Parade | | |
| Pink Parade Hesperaloe | 3 gal. | |
| * Lantana montevidensis | | |
| Purple Trailing Lantana | 1 gal. | |
| Muhlenbergia capillaris | | |
| 'Regal Mist' | 5 gal. | |
| * Muhlenbergia rigida 'Nashville' | | |
| Purple Muhly | 1 gal. | |
| Yucca pallida | | |
| Pale Leaf Yucca | 5 gal. | |
| Inerts | Quantity | |
| 1/2" Screened Decomposed Granite | | |
| Apache Brown, 2" Depth in All Landscape Areas | | |
| Turf | | |
| Mid-Iron Sod | | |
| 6" Concrete Header | | |
| Standard Color & Finish | | |

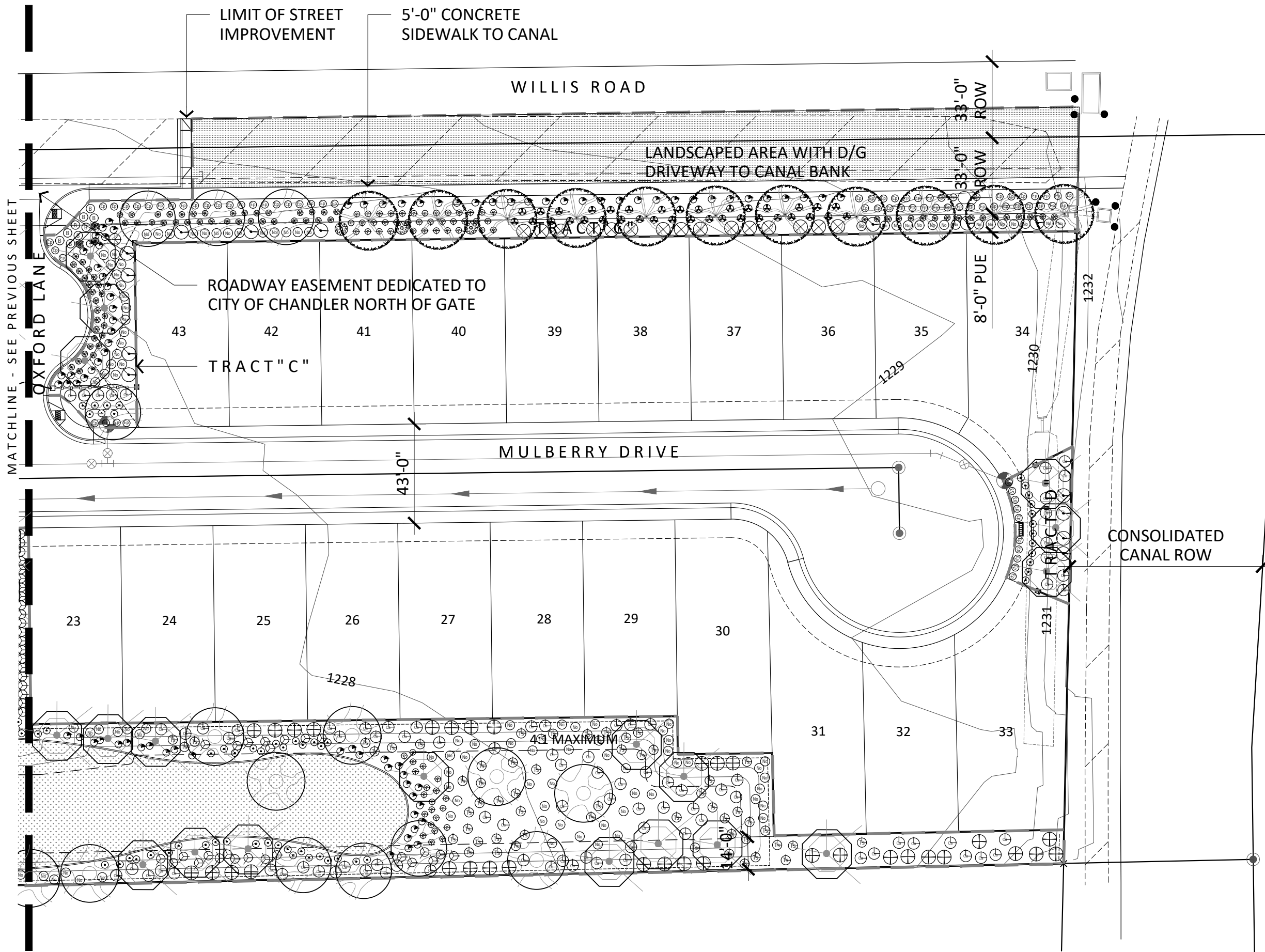
PLANT MATERIAL APPROVED FOR USE WITHIN SRP ROW PER THE "COMPLETE GROUND COVER PLANT LIST" AND THE "COMPLETE TREE LIST" AS PROVIDED BY SRP.

LANDSCAPE PLANS

MATCHLINE - SEE NEXT SHEET

PLAN SCALE 1:20





MATCHLINE - SEE PREVIOUS SHEET

PLANT MATERIALS LEGEND

| Trees | Install | Caliper | Qty. |
|---|---------|---------|----------|
| Parkinsonia hyb. 'Desert Museum' Palo Verde | 24" | Box | |
| Pistacia X 'Red Push' Red Push Pistache | 24" | Box | |
| Quercus virginiana 'Cathedral' Oak | 24" | Box | |
| Ulmus parvifolia 'Allee' Elm | 24" | Box | |
| Extra Large Shrubs | Install | Size | Quantity |
| Caesalpinia pulcherrima | | | |
| Red Bird of Paradise | 5 gal. | | |
| Dodonea viscosa | 5 gal. | | |
| Hopbush | 5 gal. | | |
| Pistacia lentiscus | 6" Min. | | |
| Mastic | 15 gal. | | |
| Tecoma alata 'Orange Jubilee' | | | |
| Orange Jubilee | 15 gal. | | |
| Tecoma sp. 'Sparky' | | | |
| Sparky | 5 gal. | | |
| Medium Shrubs | Install | Size | Quantity |
| Nerium oleander 'Little Red' | | | |
| Oleander 'Little Red' | 5 gal. | | |
| Ruellia brittoniana | | | |
| Ruellia | 5 gal. | | |
| Small Shrubs | Install | Size | Quantity |
| Bougainvillea 'Oo-La-La' | | | |
| Oo-La-La Bougainvillea | 5 gal. | | |
| Myrtus communis 'compacta' | | | |
| Dwarf Myrtle | 5 gal. | | |
| Teucrium chamaedrys | | | |
| Germander | 5 gal. | | |
| Groundcovers | Install | Size | Quantity |
| * Eremophila prostrata 'Outback Sunrise' | | | |
| Outback Sunrise Eremophila | 1 gal. | | |
| Lantana montevidensis | | | |
| Purple Trailing Lantana | 1 gal. | | |
| Cacti/ Accents | Install | Size | Quantity |
| Agave bovicornuta | | | |
| Cow's Horn | 5 gal. | | |
| Aloe barbadensis | | | |
| Medicinal Aloe | 5 gal. | | |
| Bouteloua gracilis | | | |
| Blond Ambition | 5 gal. | | |
| Hesperaloe sp. 'Pink Parade' | | | |
| Pink Parade Hesperaloe | 3 gal. | | |
| * Lantana montevidensis | | | |
| Purple Trailing Lantana | 1 gal. | | |
| Muhlenbergia capillaris | | | |
| 'Regal Mist' | 5 gal. | | |
| * Muhlenbergia rigida 'Nashville' | | | |
| Purple Muhly | 1 gal. | | |
| Yucca pallida | | | |
| Pale Leaf Yucca | 5 gal. | | |
| Inerts | Install | Size | Quantity |
| 1/2" Screened Decomposed Granite | | | |
| Apache Brown, 2" Depth in All Landscape Areas | | | |
| Turf | | | |
| Mid-Iron Sod | | | |
| 6" Concrete Header | | | |
| Standard Color & Finish | | | |

* PLANT MATERIAL APPROVED FOR USE WITHIN SRP ROW PER THE "COMPLETE GROUND COVER PLANT LIST" AND THE "COMPLETE TREE LIST" AS PROVIDED BY SRP.

PLAN SCALE 1:20



CITY OF CHANDLER
APN 303-29-013



LOOP 202 FREEWAY

| OPEN SPACE DATA | |
|-----------------|----------|
| NET ACREAGE | 6.39 Ac. |
| OPEN SPACE | 2.36 Ac. |
| PERCENTAGE* | 36.93% |
| AMENITY | 0.09 Ac. |

* As a percentage of net acreage.



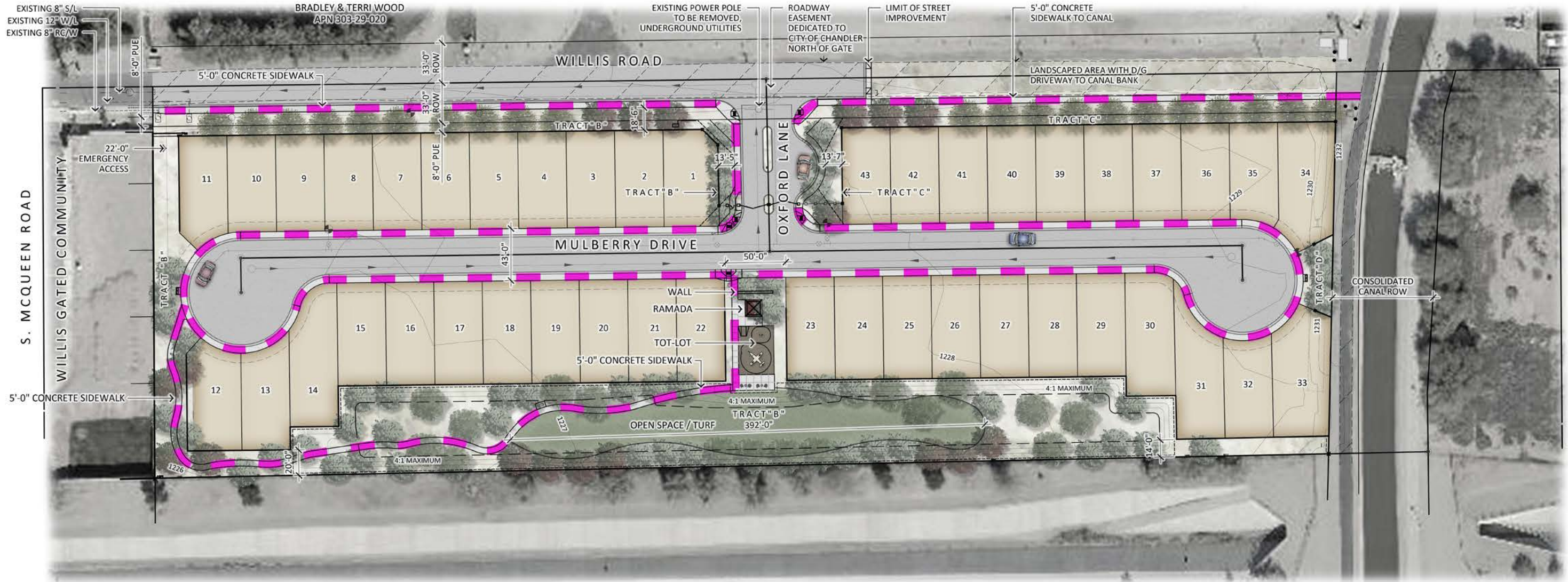


- KEYNOTES**
- A** ENTRY GATES
 - B** WALL
 - C** RAMADA
 - D** TOT-LOT
 - E** TURF

EXHIBIT G: AMENITY PLAN



CITY OF CHANDLER
APN 303-29-013



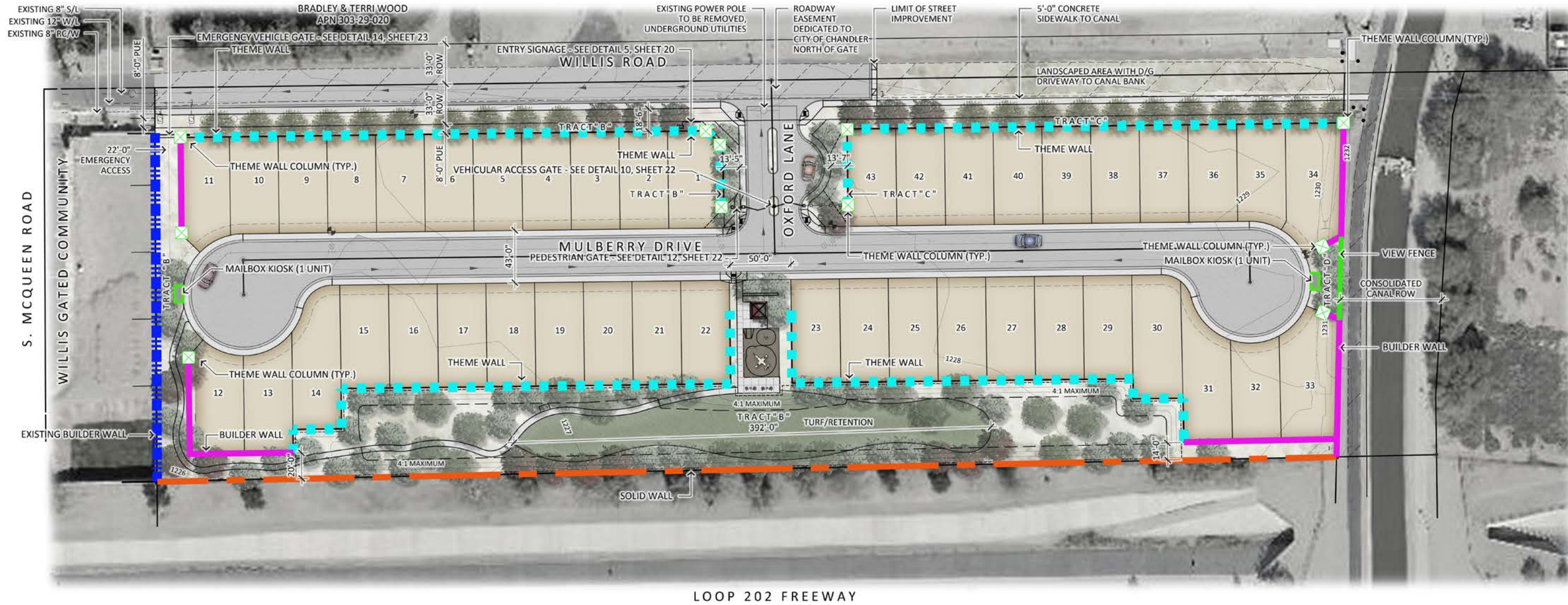
LOOP 202 FREEWAY

PEDESTRIAN CIRCULATION LEGEND

| SYMBOL | DESCRIPTION |
|--------|-------------|
| | 5' SIDEWALK |



CITY OF CHANDLER
APN 303-29-013

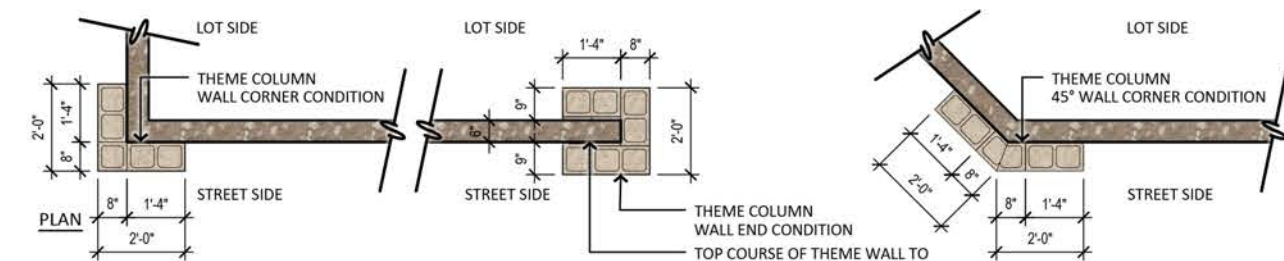


WALL LEGEND

| SYMBOL | DESCRIPTION | QTY. | DTL. |
|--------|---------------------------------|------------|------------------|
| | 5'-6" BUILDER WALL | 625 S.F. | DTL. 3, PAGE 20 |
| | 6'-0" THEME WALL | 1,882 S.F. | DTL. 1, PAGE 20 |
| | EXISTING BUILDER WALL TO REMAIN | 682 S.F. | |
| | 6'-0" VIEW FENCE | 70 S.F. | DTL. 16, PAGE 23 |
| | 8'-0" SOLID WALL | 970 S.F. | DTL. 4, PAGE 20 |
| | MAILBOX KIOSK | 2 EA. | DTL. 15, PAGE 23 |
| | THEME WALL COLUMN | 11 EA. | DTL. 2, PAGE 20 |

EXHIBIT I: WALL PLAN



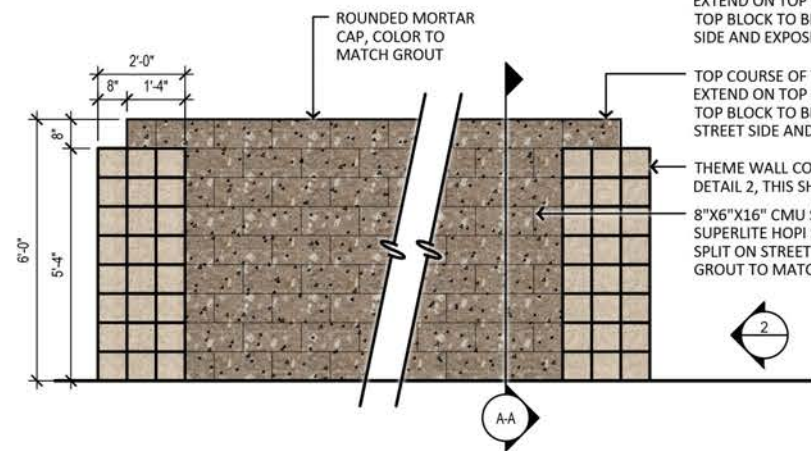


RETAINING WALL NOTES:

- RETAINING WALL BLOCK AND ABOVE LOT WALL BLOCK ARE TO MATCH IN TYPE AND COLOR AND FINISH FLUSH ON STREET SIDE.
- *S: DIMENSIONS, DRAINAGE, & NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- CONTRACTOR TO BUILD SAMPLE WALLS USING ALL WALL MATERIALS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT.
- REFER TO CIVIL ENGINEER'S PLANS FOR LOCATION, GRADING, AND WALL SECTIONS.
- END WALLS WITH FINISHED, SOLID BLOCKS, NO CUT BLOCKS SHALL BE PLACED AT THE END OF WALLS.

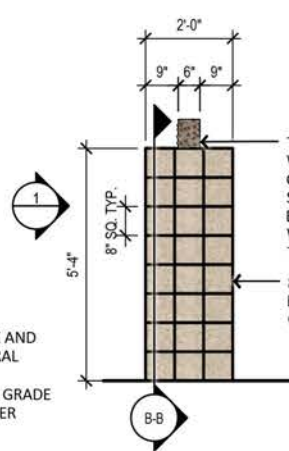
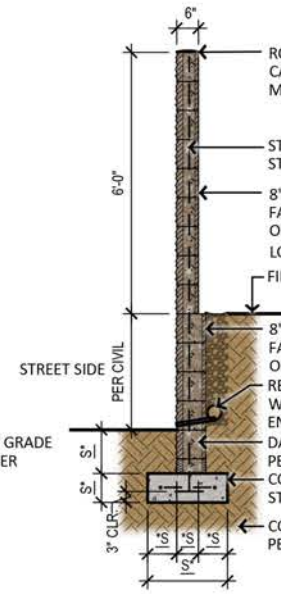
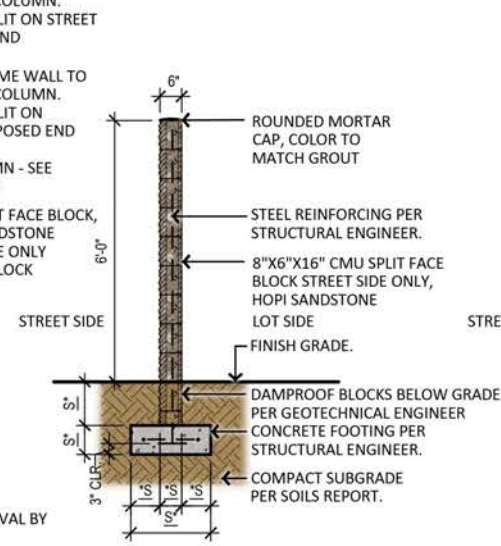
THEME COLUMN NOTES:

- *S: DIMENSIONS & NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- CONTRACTOR TO BUILD SAMPLE COLUMN USING ALL COLUMN MATERIALS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT.
- INTEGRAL COLOR OF BONE. CONTRACTOR SHALL VERIFY COLOR MATCH AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE ORDERING BLOCK OR CONSTRUCTION OF COLUMN MOCK-UP.

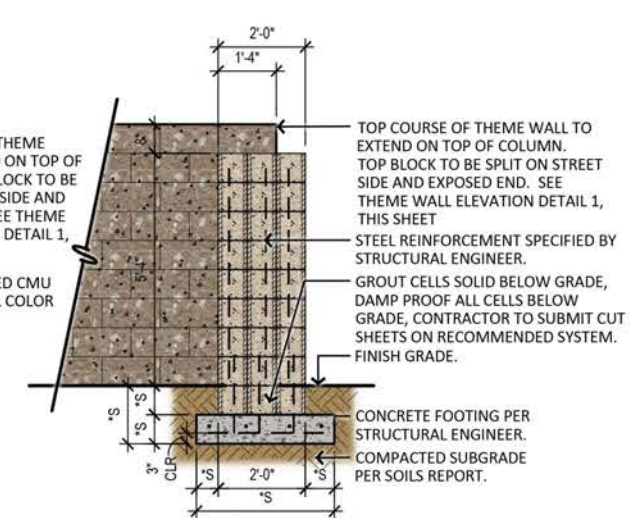


THEME WALL NOTES:

- *S: DIMENSIONS & NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- CONTRACTOR TO BUILD SAMPLE WALLS USING ALL WALL MATERIALS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT.
- SUPERLITE HOPI SANDSTONE. CONTRACTOR SHALL VERIFY COLOR MATCH AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE ORDERING BLOCK OR CONSTRUCTION OF WALL MOCK-UP.
- END WALLS WITH FINISHED, SOLID BLOCKS, NO CUT BLOCKS SHALL BE PLACED AT THE END OF WALLS.

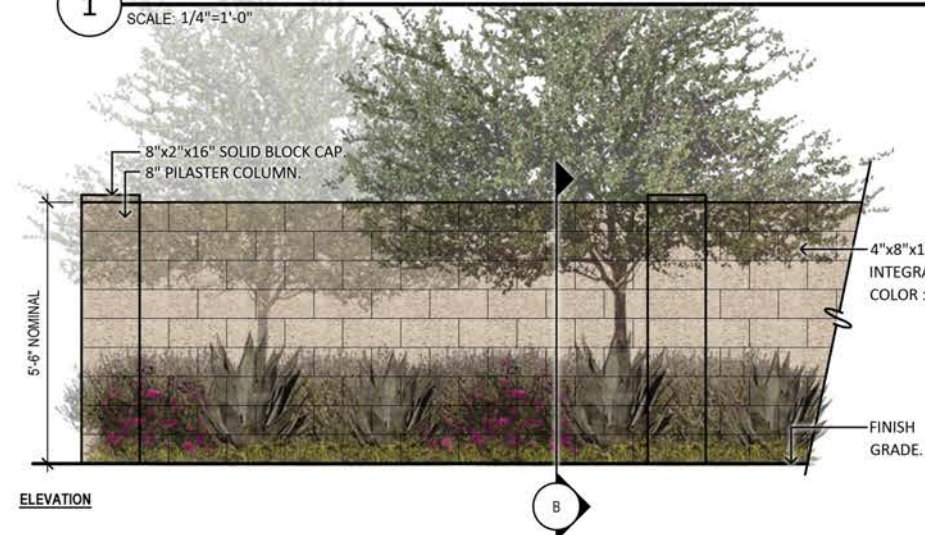


ELEVATION

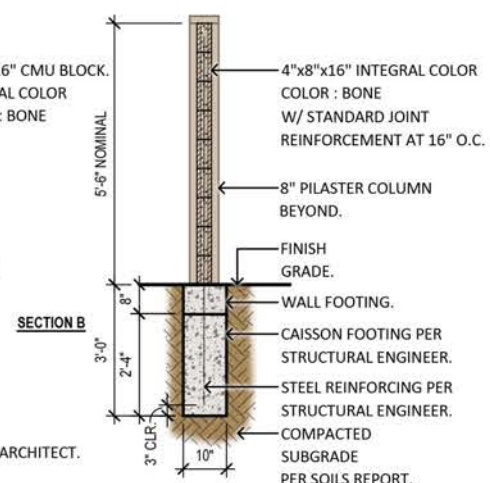


SECTION B-B

1 6'-0" Theme Wall
SCALE: 1/4"=1'-0"



ELEVATION



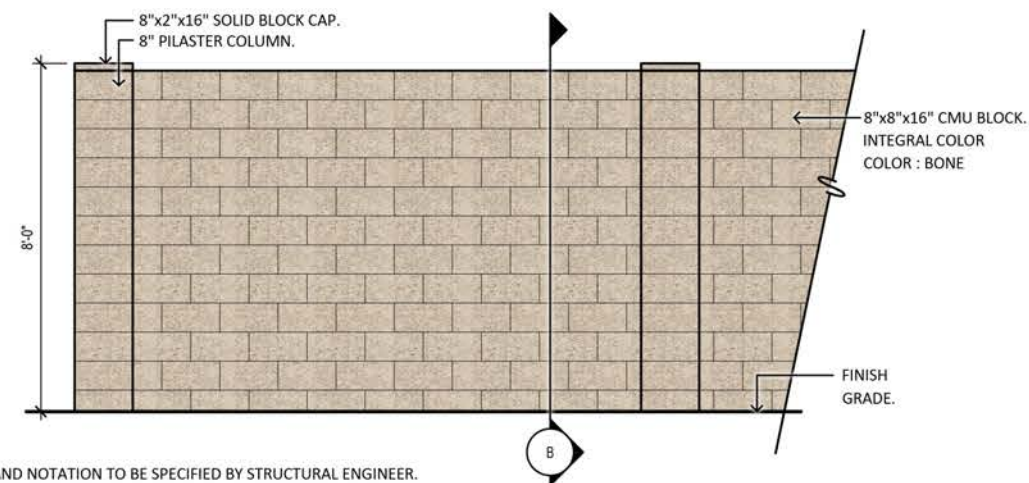
SECTION B

GENERAL NOTES:

- *S: DIMENSIONS AND NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- DAMPROOF SYSTEM: DAMPROOF BLOCKS BELOW GRADE PER GEOTECHNICAL ENGINEER.
- CONTRACTOR TO BUILD SAMPLE WALLS USING ALL WALL MATERIALS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT.

3 5'-6" Builder Wall
SCALE: 1/4"=1'-0"

2 5'-4" Theme Wall Column
SCALE: 1/4"=1'-0"

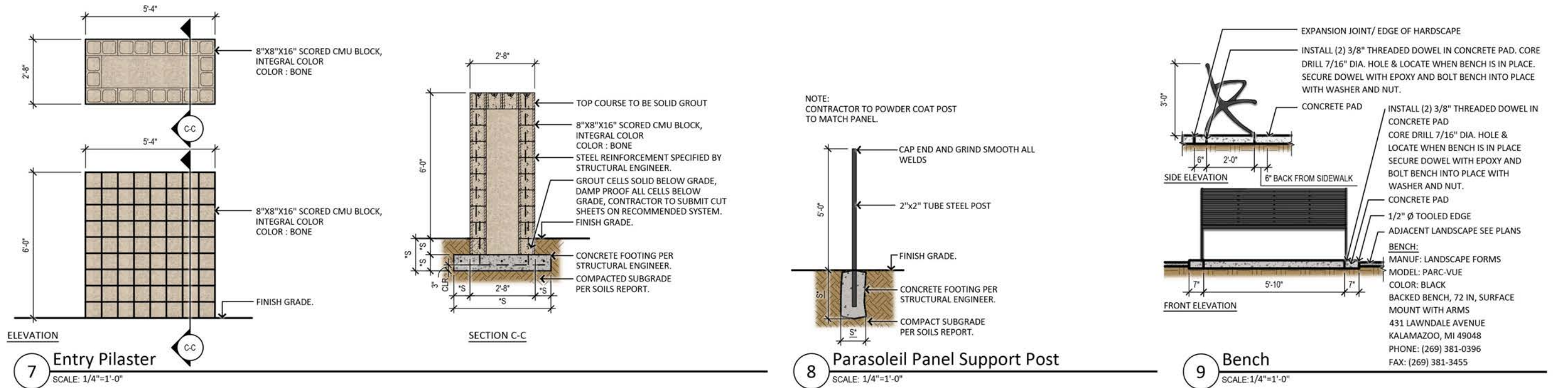
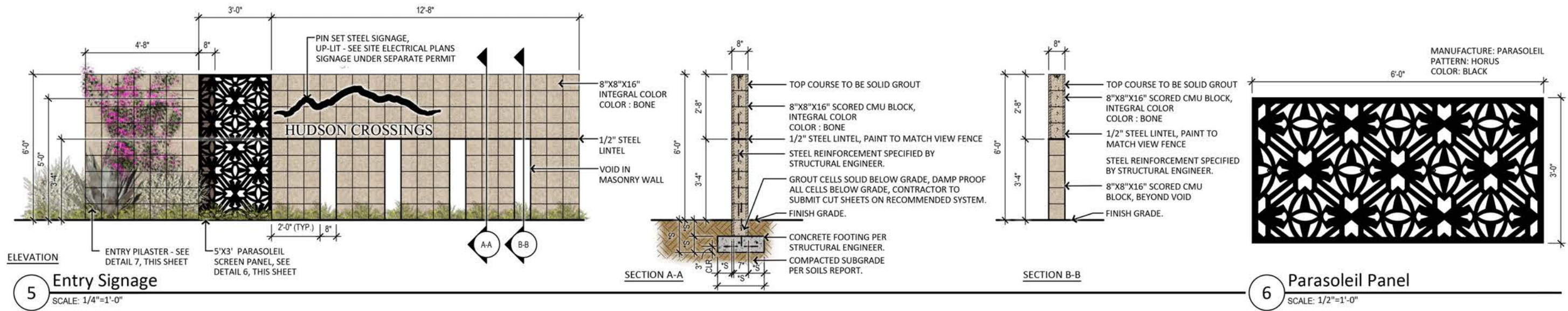


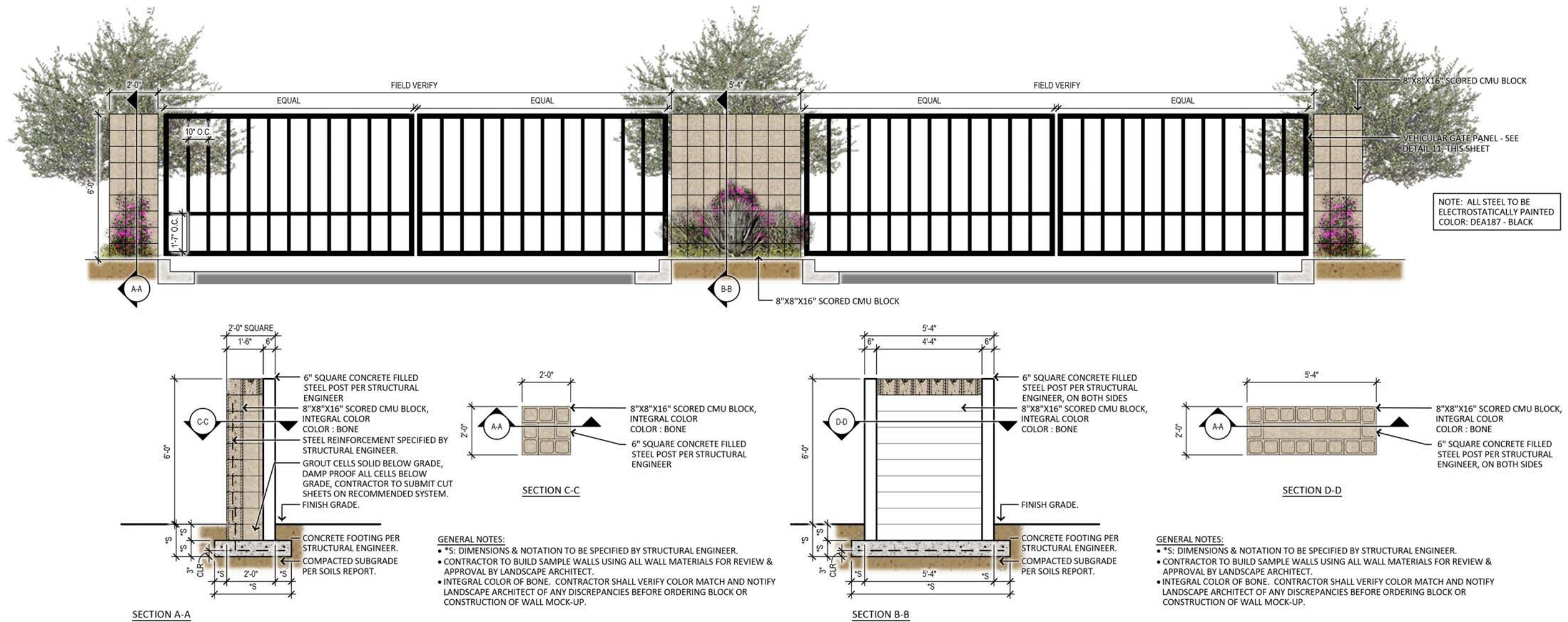
ELEVATION

GENERAL NOTES:

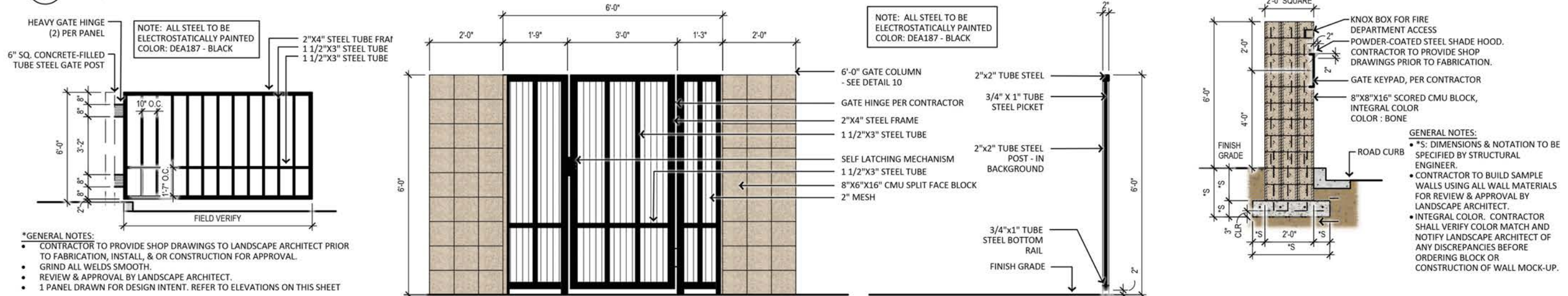
- *S: DIMENSIONS AND NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- DAMPROOF SYSTEM: DAMPROOF BLOCKS BELOW GRADE PER GEOTECHNICAL ENGINEER.
- SUPERLITE HOPI SANDSTONE. CONTRACTOR SHALL VERIFY COLOR MATCH AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE ORDERING BLOCK OR CONSTRUCTION OF WALL MOCK-UP.
- CONTRACTOR TO BUILD SAMPLE WALLS USING ALL WALL MATERIALS FOR REVIEW & APPROVAL BY LANDSCAPE ARCHITECT.

4 8'-0" Sound Wall
SCALE: 1/2"=1'-0"





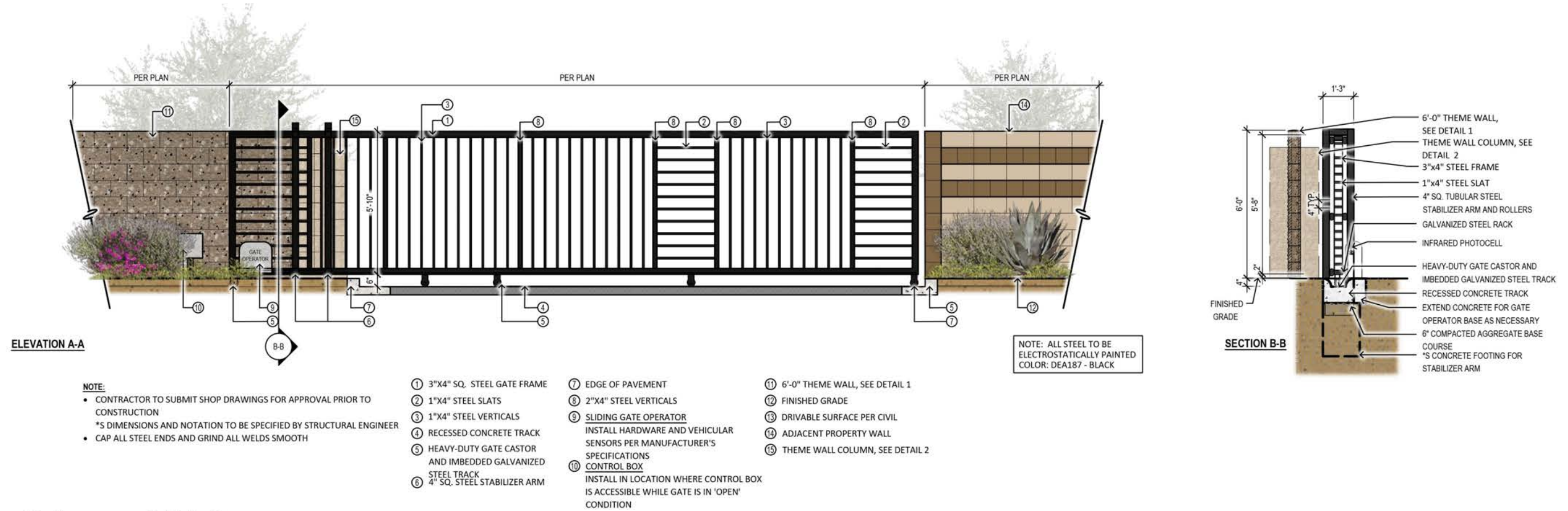
10 Vehicular Access Gate
SCALE: 1/4"=1'-0"



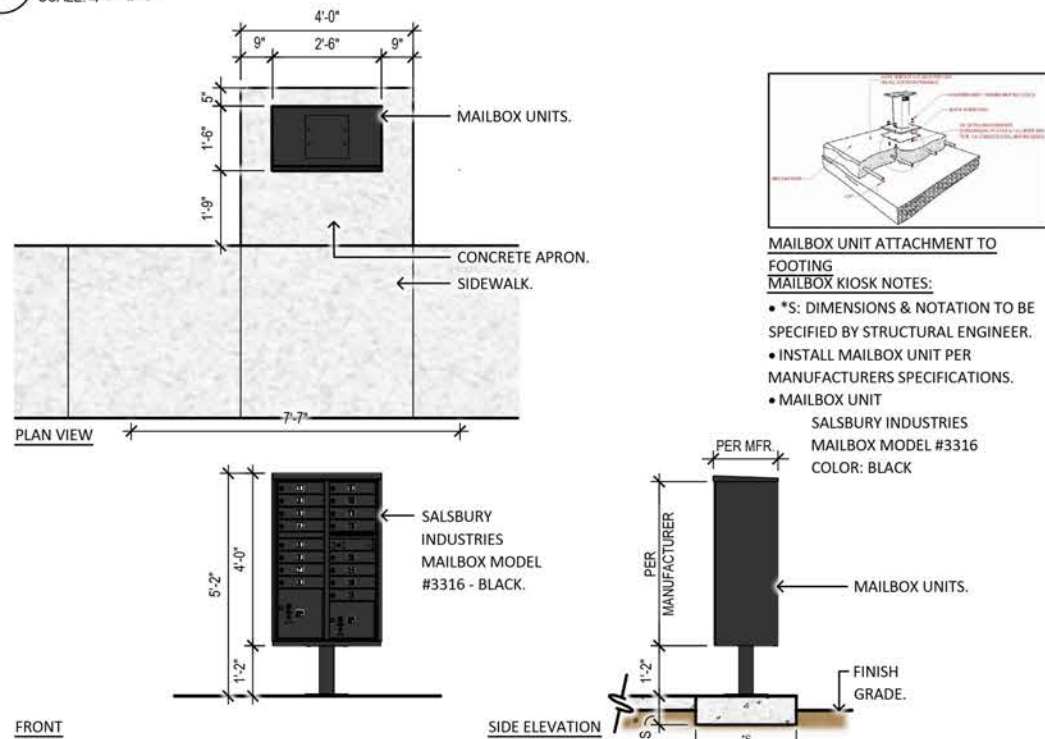
11 Vehicular Gate Keypad
SCALE: 3/8"=1'-0"

12 Pedestrian Gate
SCALE: 3/4"=1'-0"

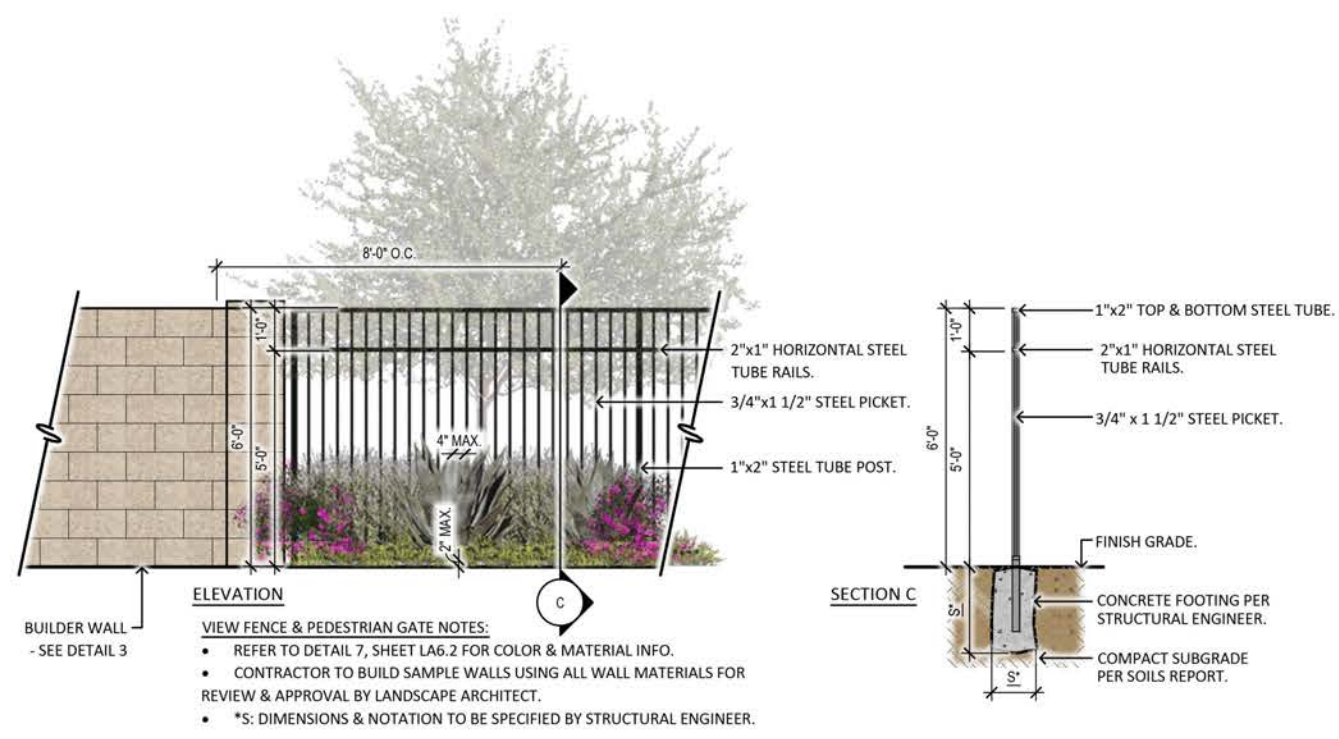
13 Vehicular Gate Keypad
SCALE: 1/4"=1'-0"



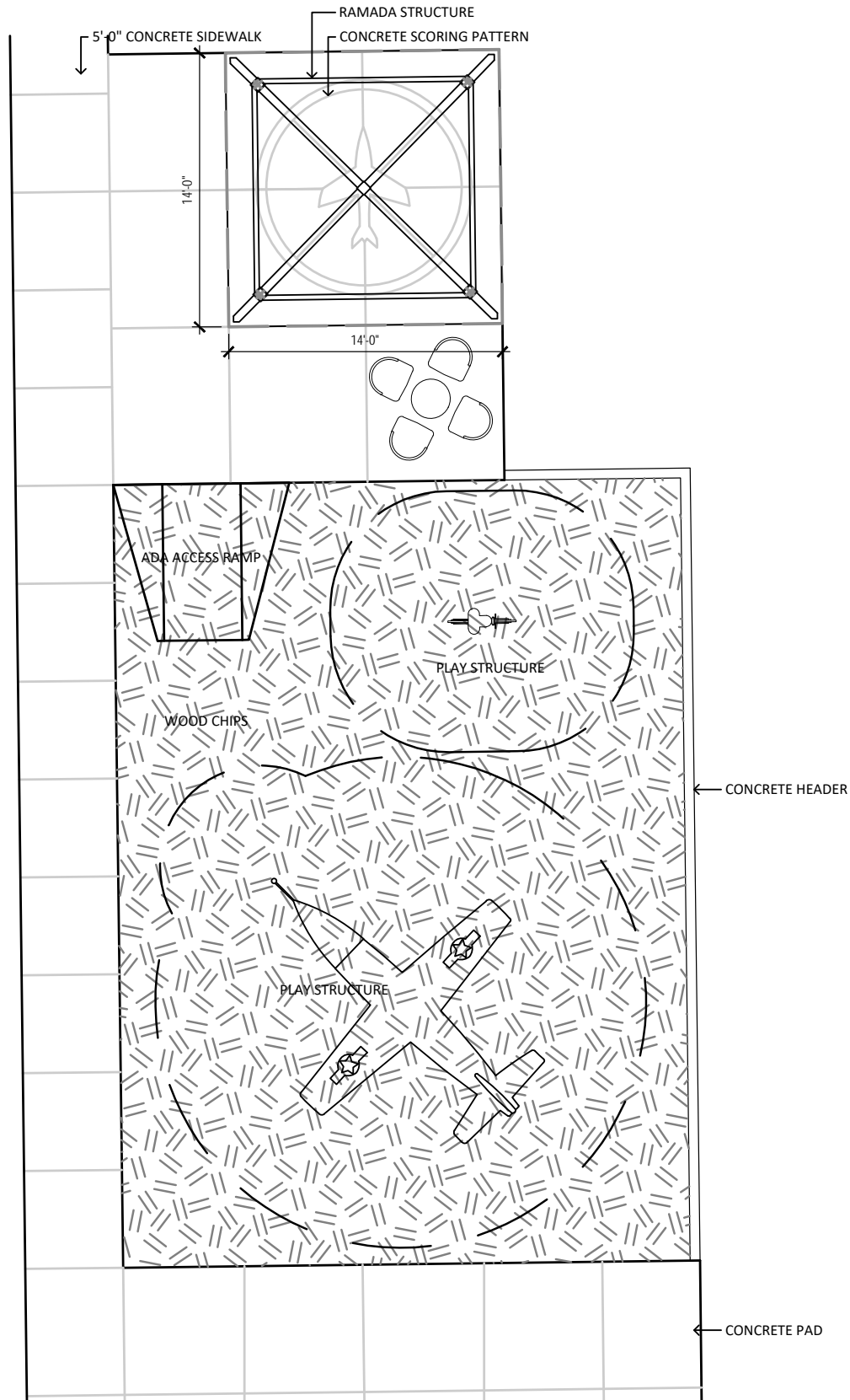
14 Emergency Vehicle Gate
 SCALE: 1/4"=1'-0"



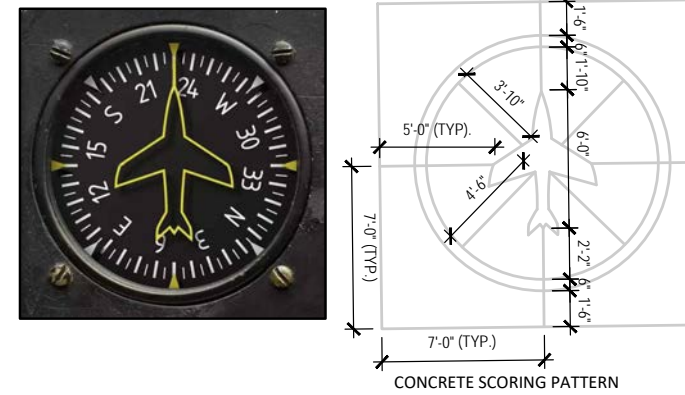
15 Mailbox Kiosk
 SCALE: 1/4"=1'-0"



16 6'-0" View Fence
 SCALE: 1/2"=1'-0"



17 Amenity Area
SCALE: 1/4"=1'-0"



AVIATION COMPASS DESIGN INTENT
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

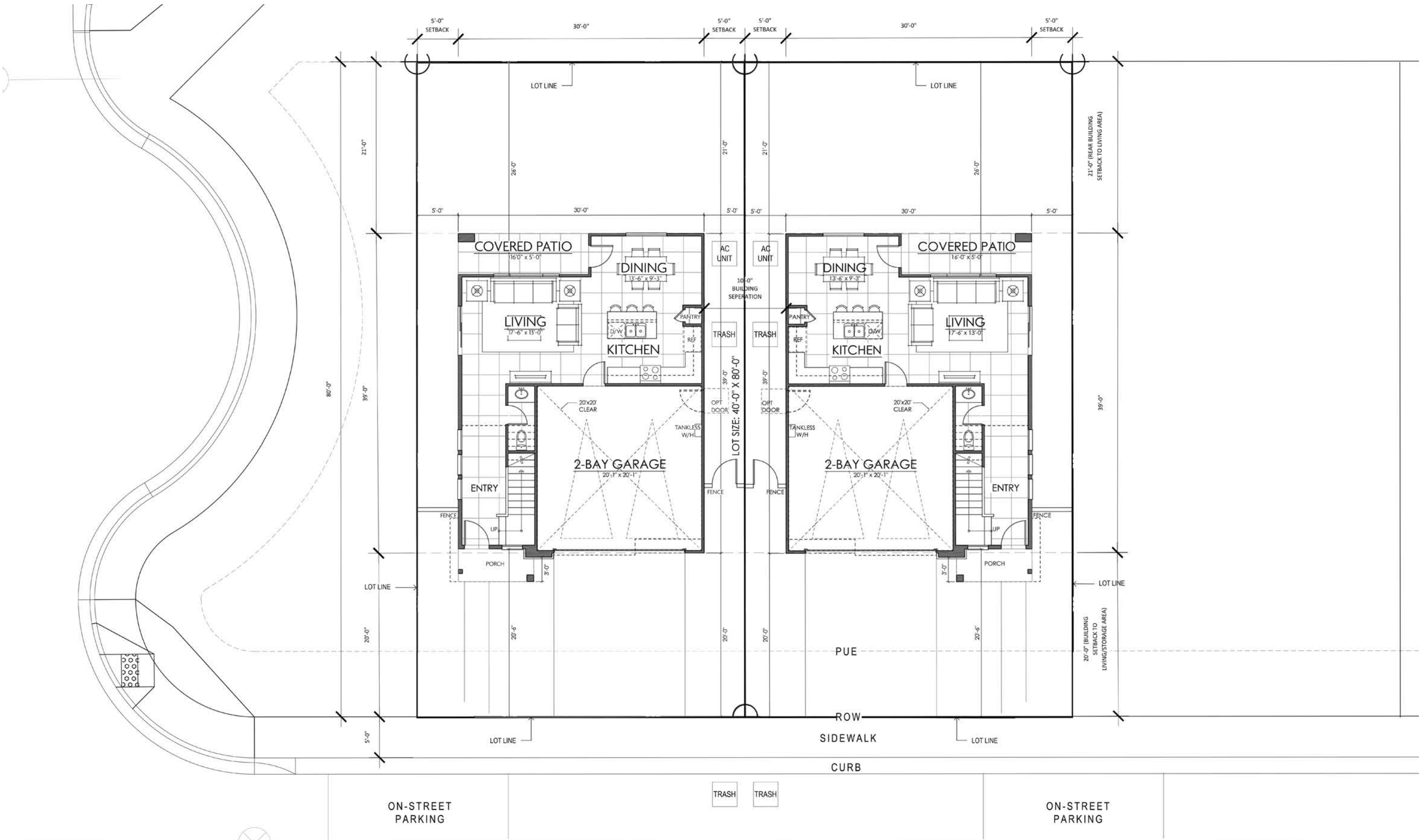
18 Concrete Scoring Pattern
SCALE: 1/4"=1'-0"

PLAY STRUCTURE DESIGN INTENT
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.



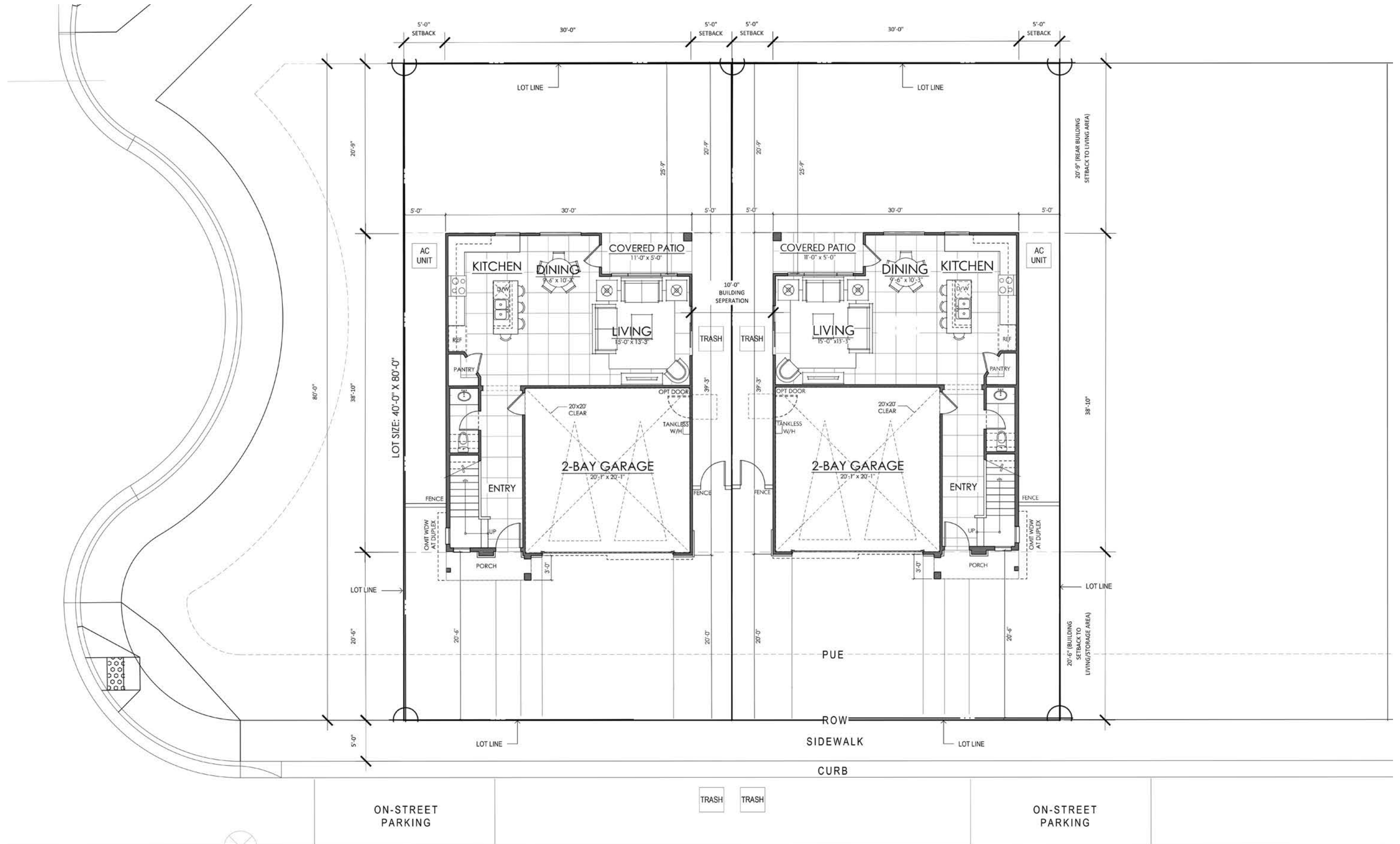
19 Play Structure
SCALE: 1/4"=1'-0"





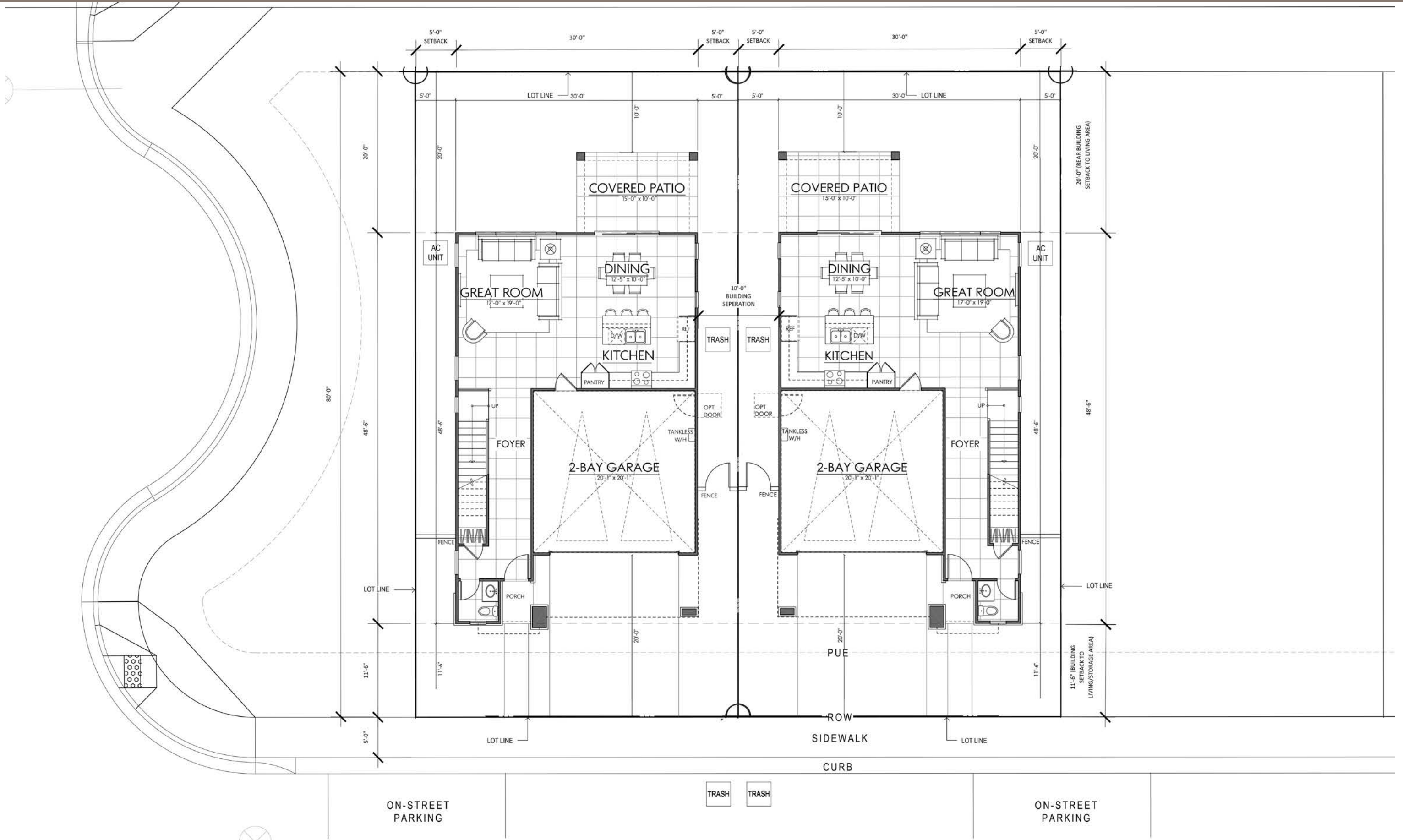
PLAN 1

EXHIBIT K: LOT FIT DIAGRAMS

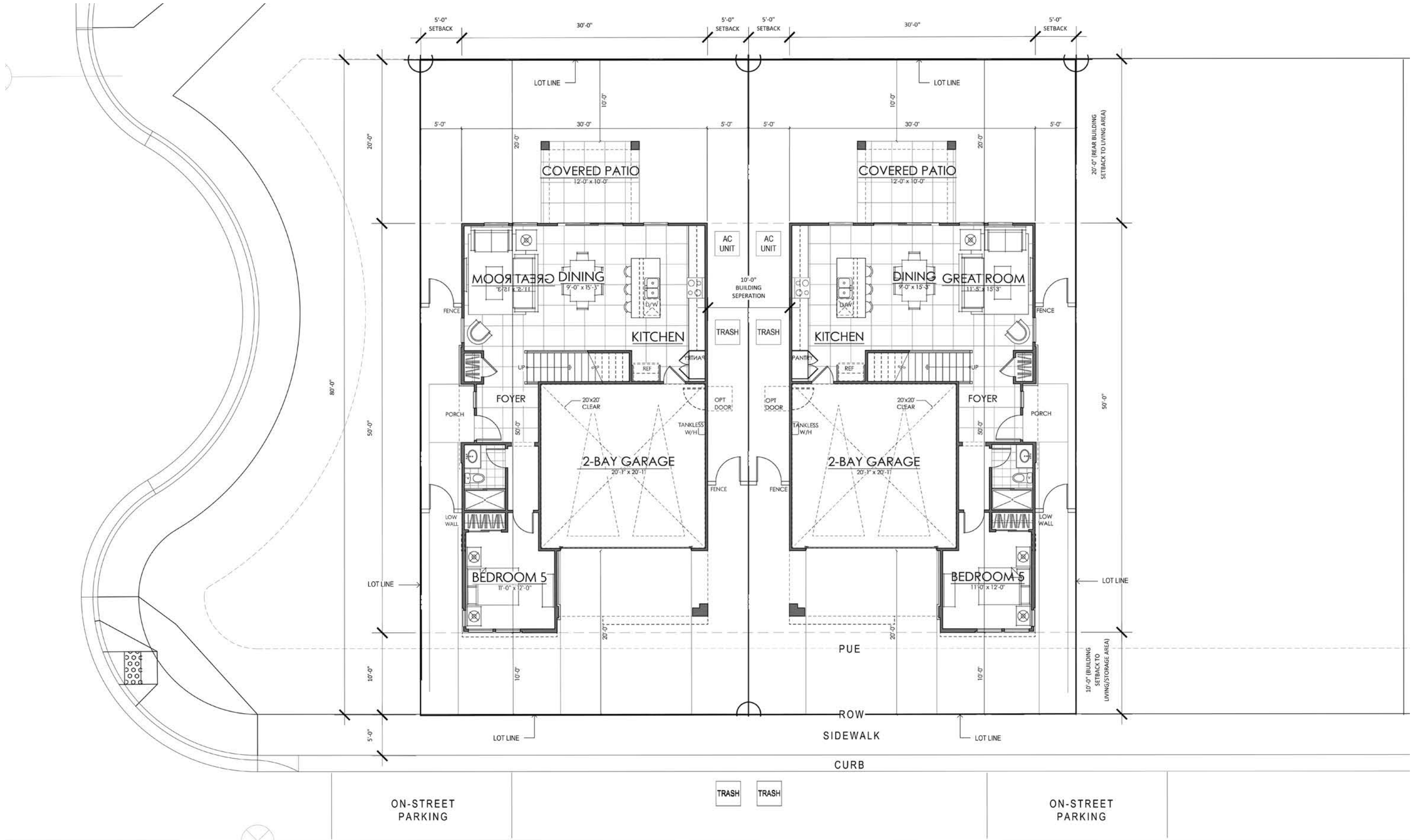


PLAN 2

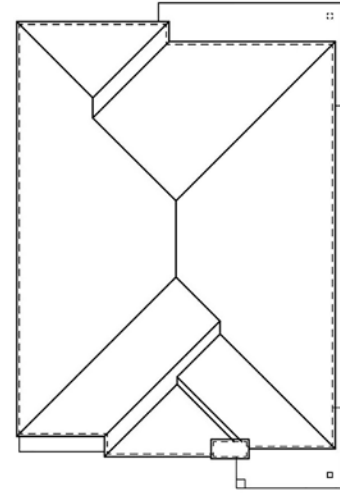
EXHIBIT K: LOT FIT DIAGRAMS



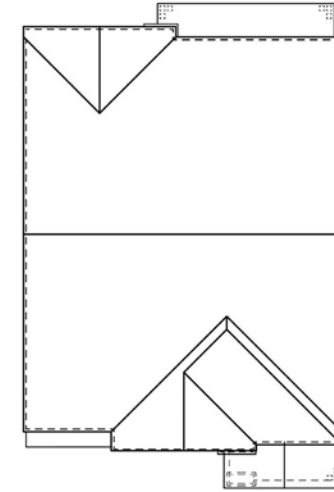
PLAN 3



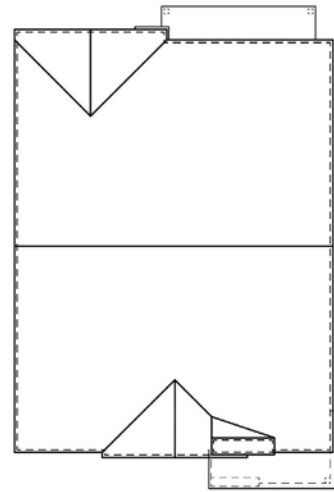
PLAN 4



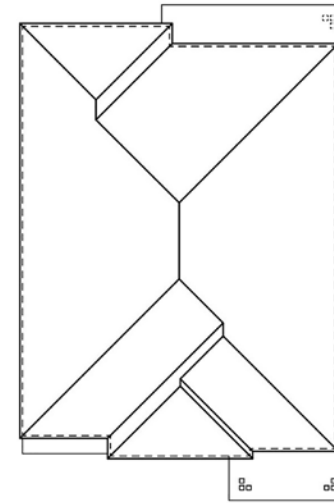
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "A" SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "B" SCALE: 1/8" = 1'-0"

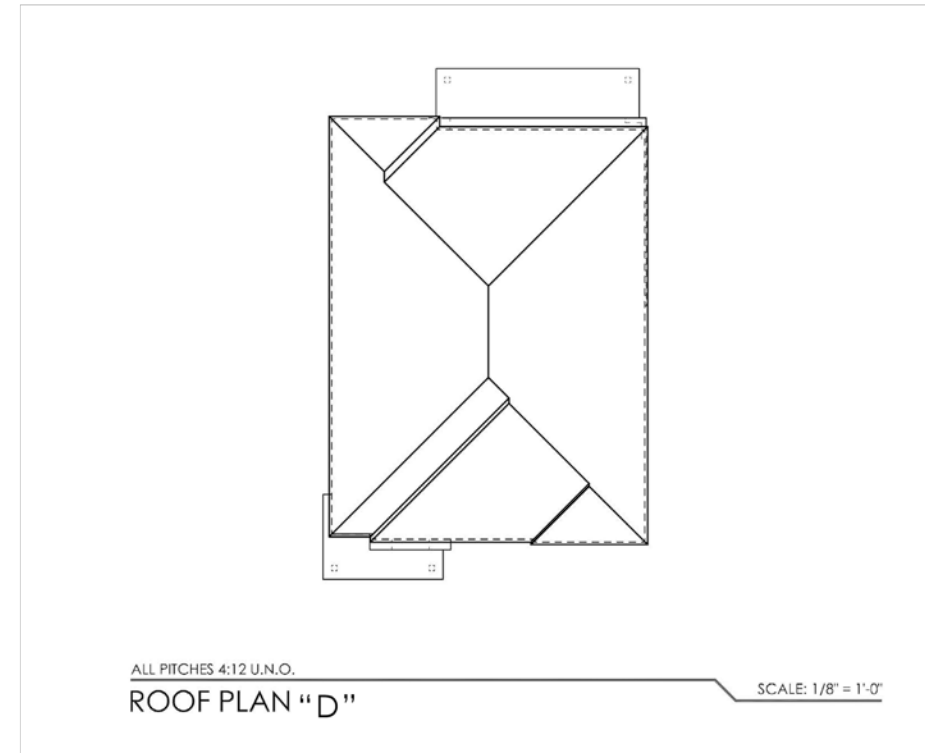
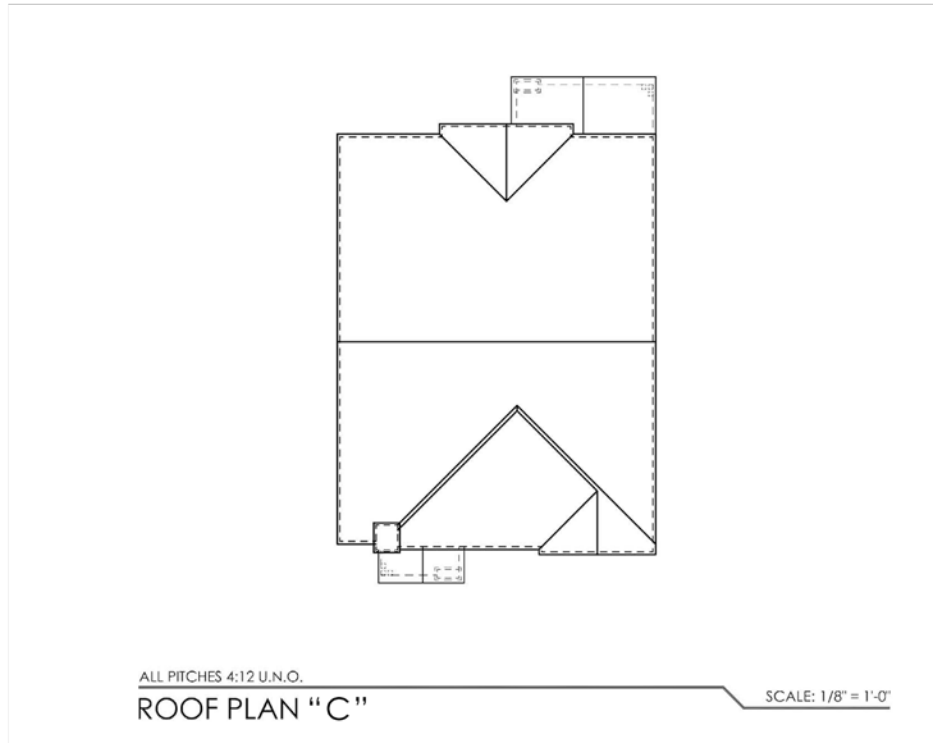
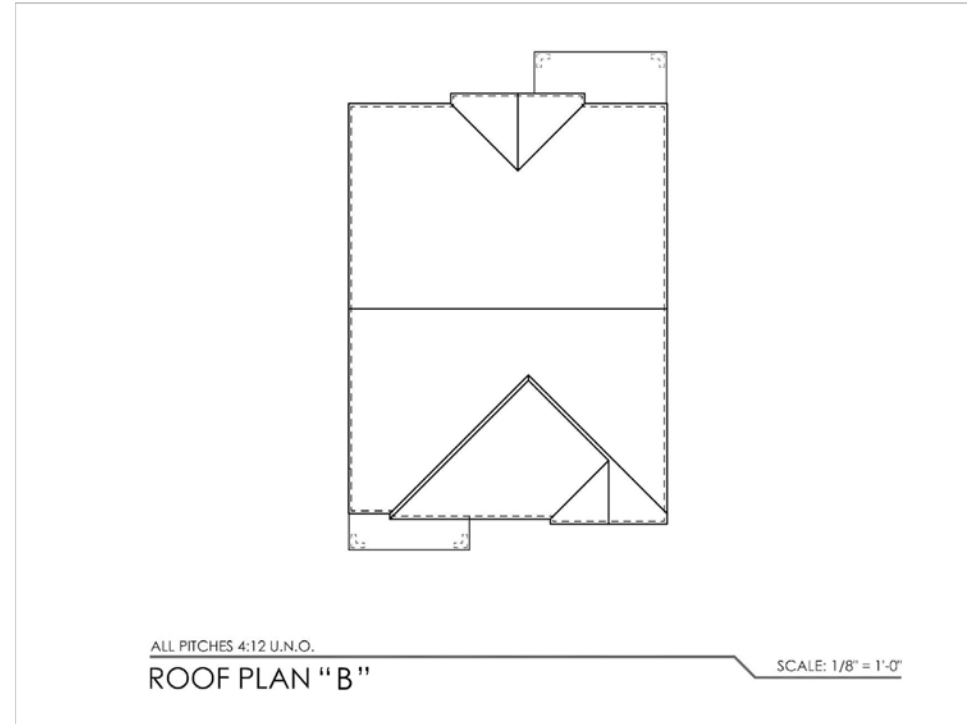
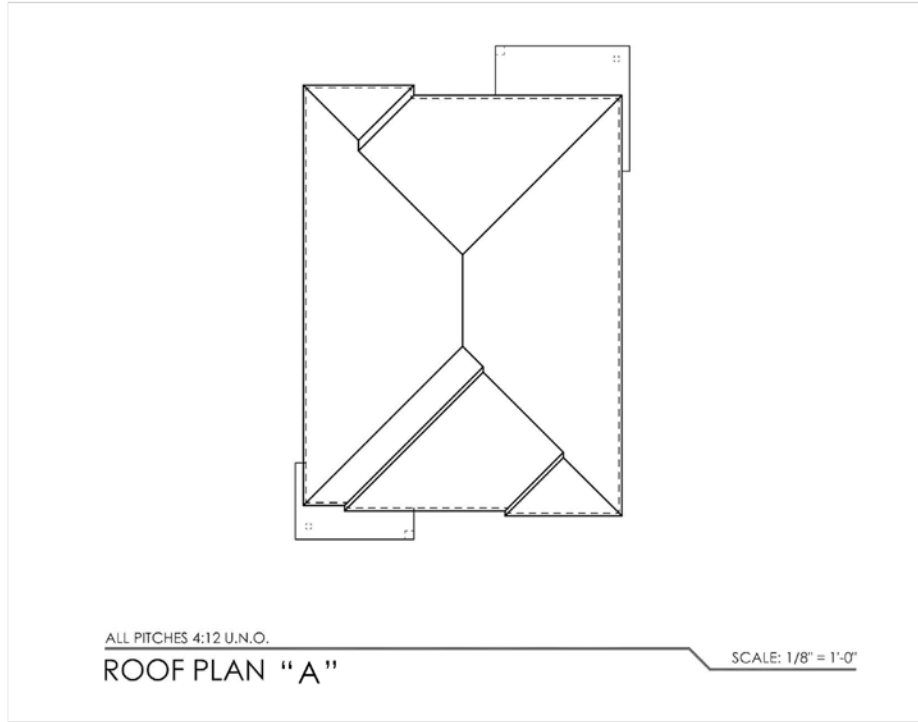


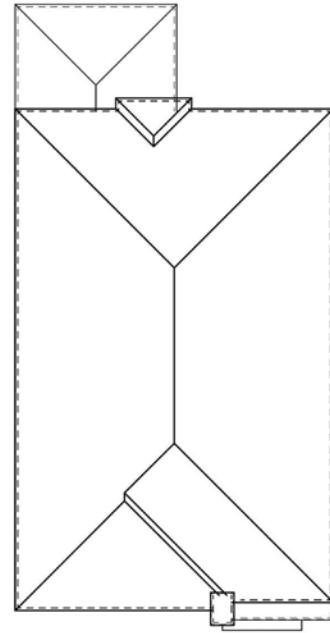
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "C" SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "D" SCALE: 1/8" = 1'-0"

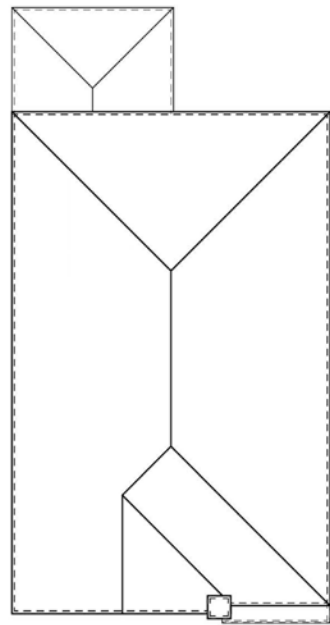






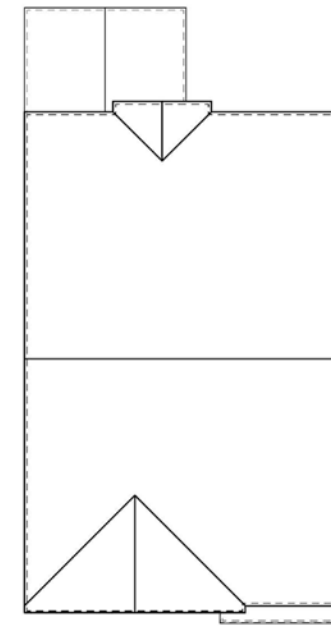
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "A"

SCALE: 1/8" = 1'-0"



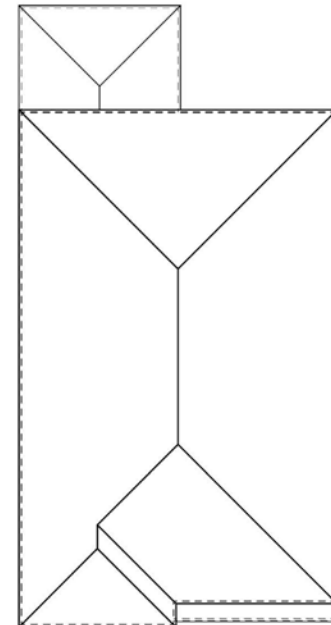
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "C"

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "B"

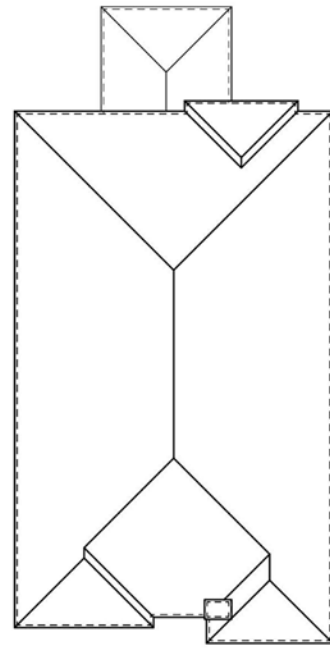
SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "D"

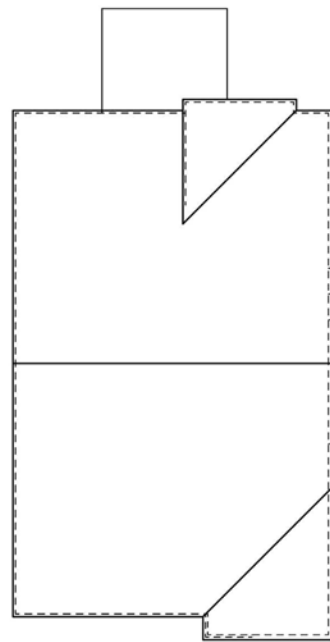
SCALE: 1/8" = 1'-0"





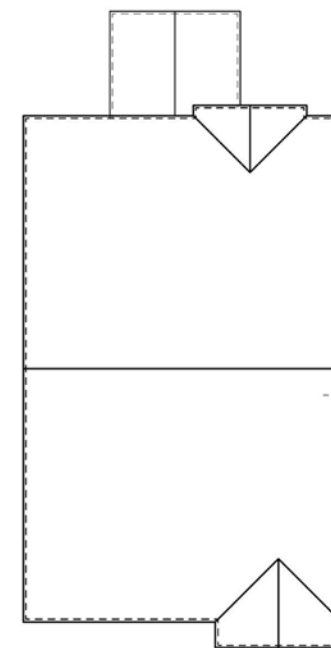
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "A"

SCALE: 1/8" = 1'-0"



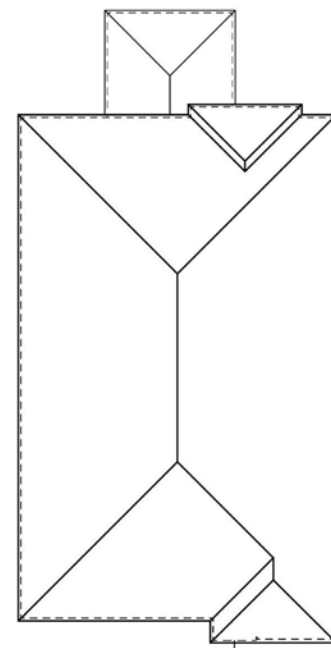
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "C"

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "B"

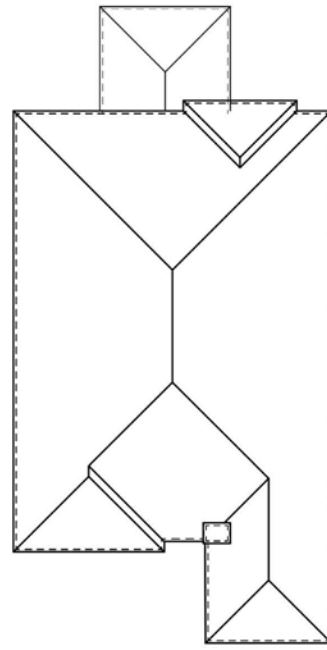
SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "D"

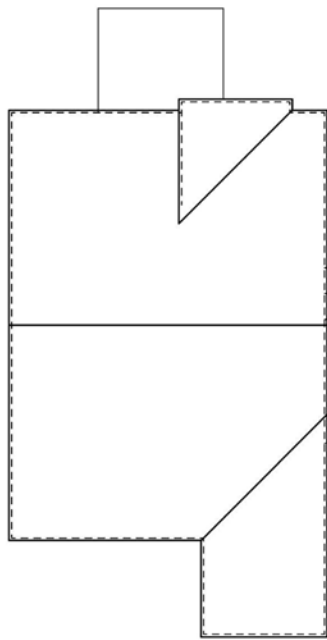
SCALE: 1/8" = 1'-0"





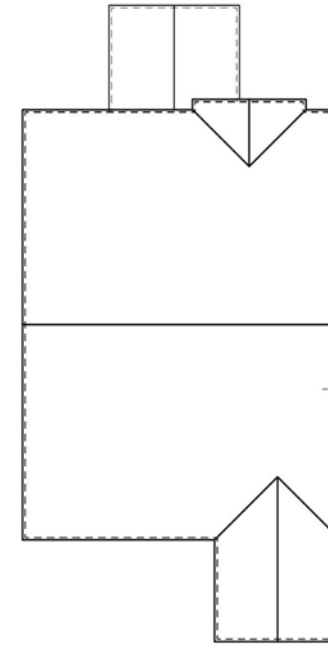
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "A"

SCALE: 1/8" = 1'-0"



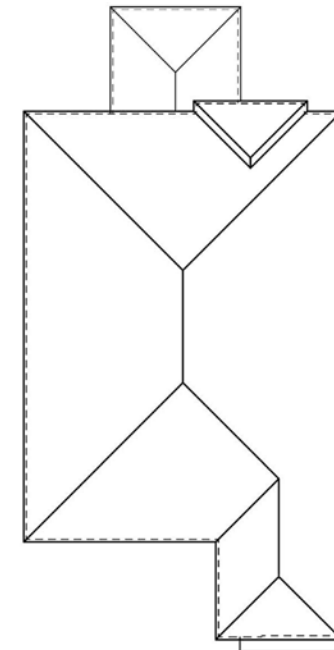
ALL PITCHES 4:12 U.N.O.
ROOF PLAN "C"

SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "B"

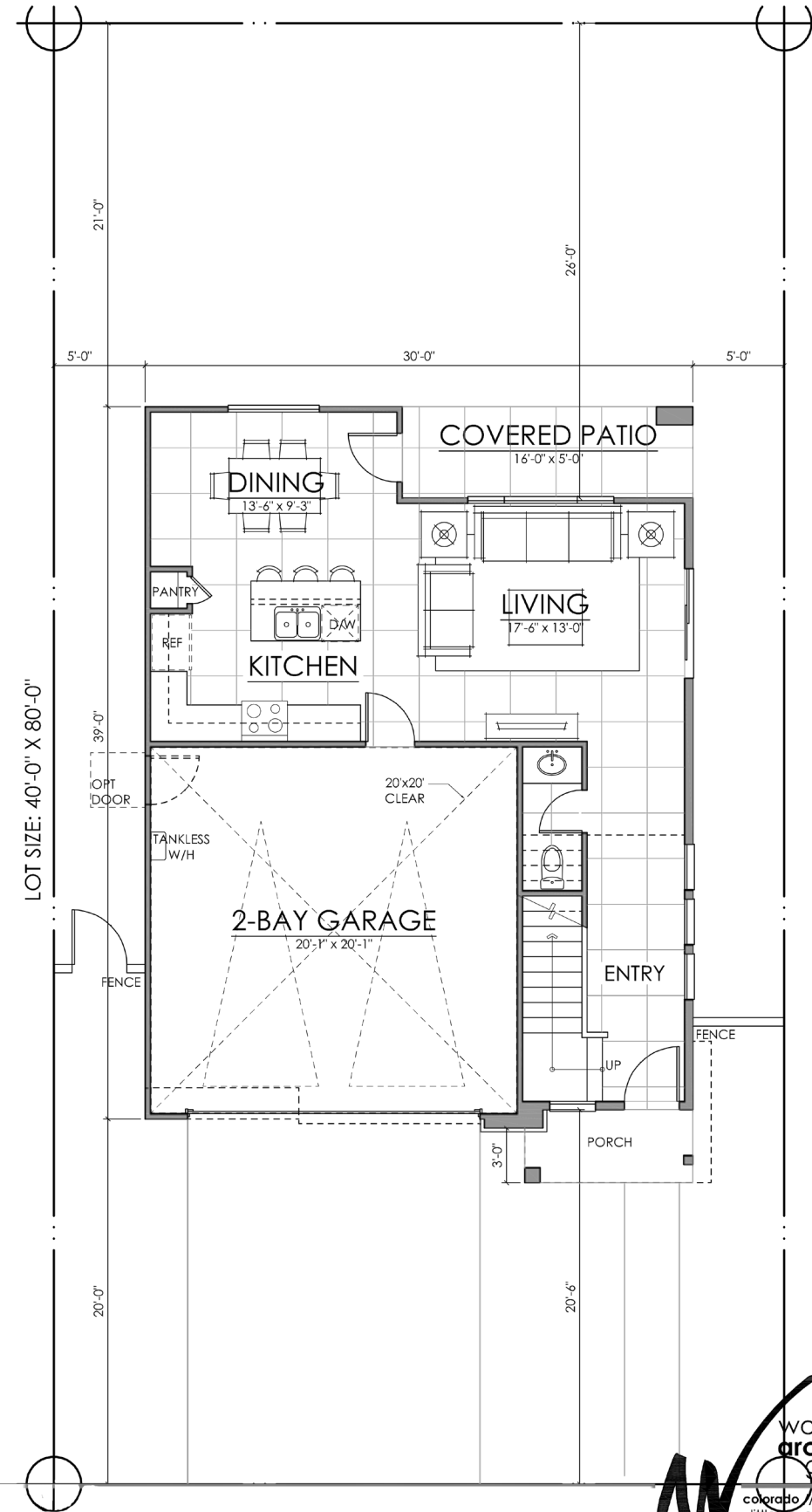
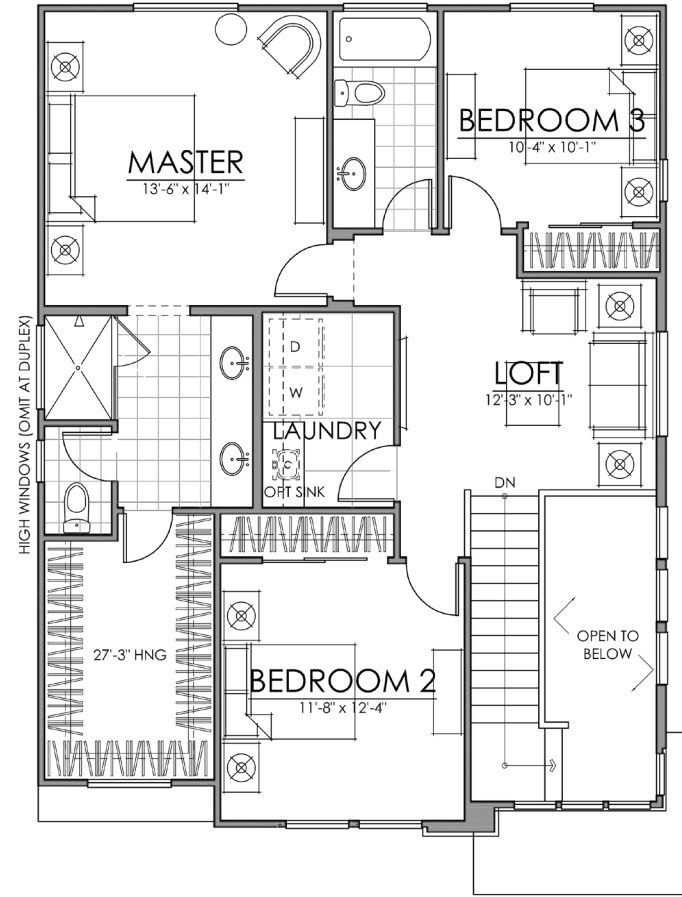
SCALE: 1/8" = 1'-0"



ALL PITCHES 4:12 U.N.O.
ROOF PLAN "D"

SCALE: 1/8" = 1'-0"



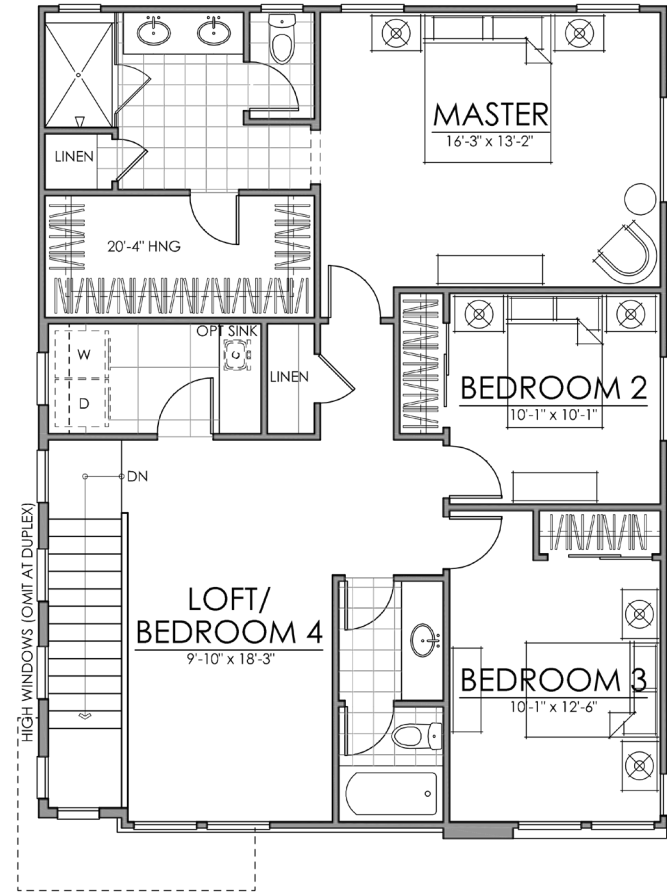


| | |
|---------------------|---------------------|
| FIRST FLOOR | 670 SQ. FT. |
| SECOND FLOOR | 1014 SQ. FT. |
| TOTAL LIVING | 1684 SQ. FT. |
| LOT COVERAGE | |
| FIRST FLOOR | 21% |
| SECOND FLOOR | 32% |

PLAN 1

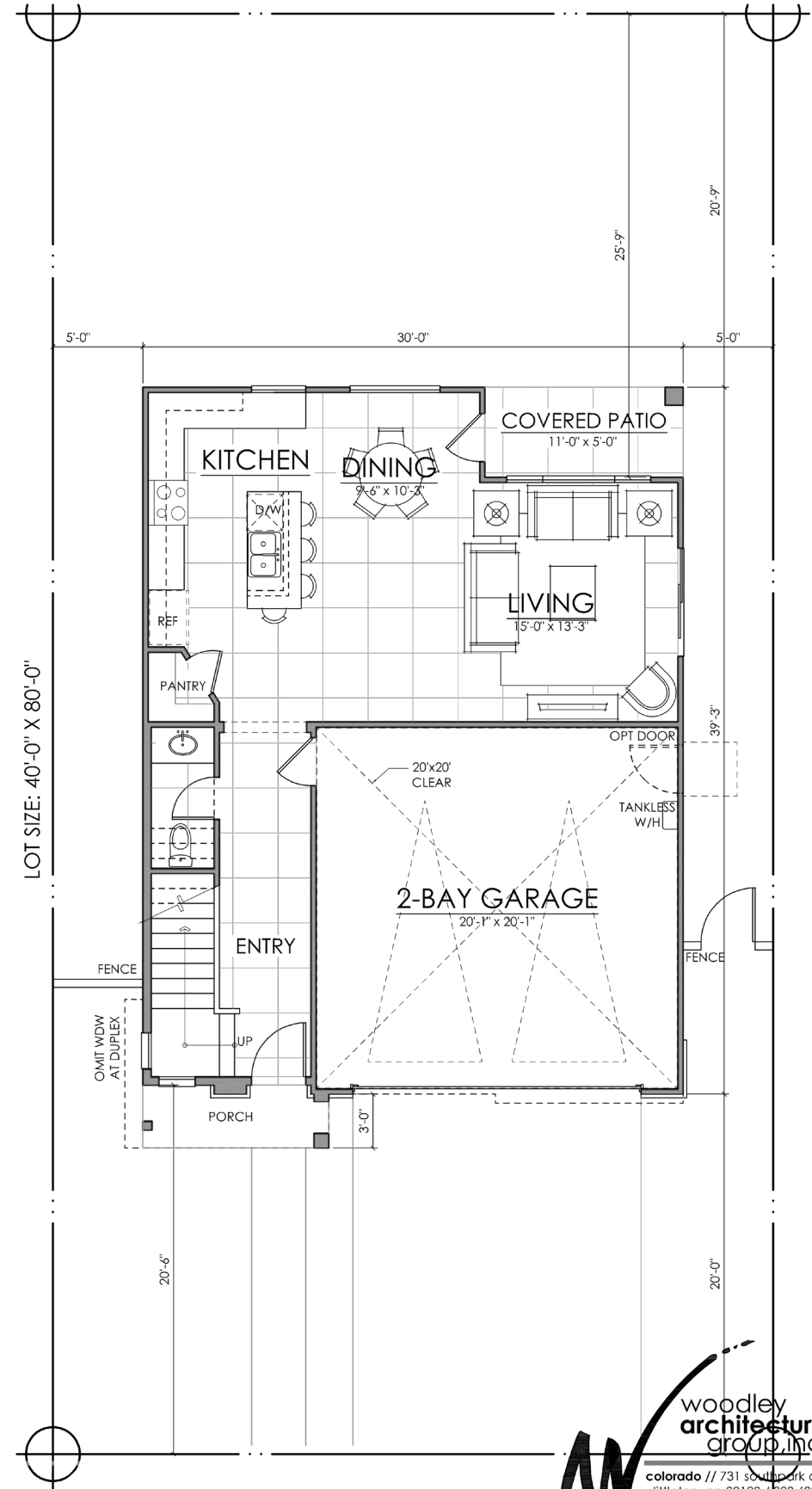
EXHIBIT L: FLOOR & ROOF PLANS

woodley architectural group, inc
 colorado // 731 southpark dr. suite B
 littleton, co 80120 / 303.683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949.553.8919

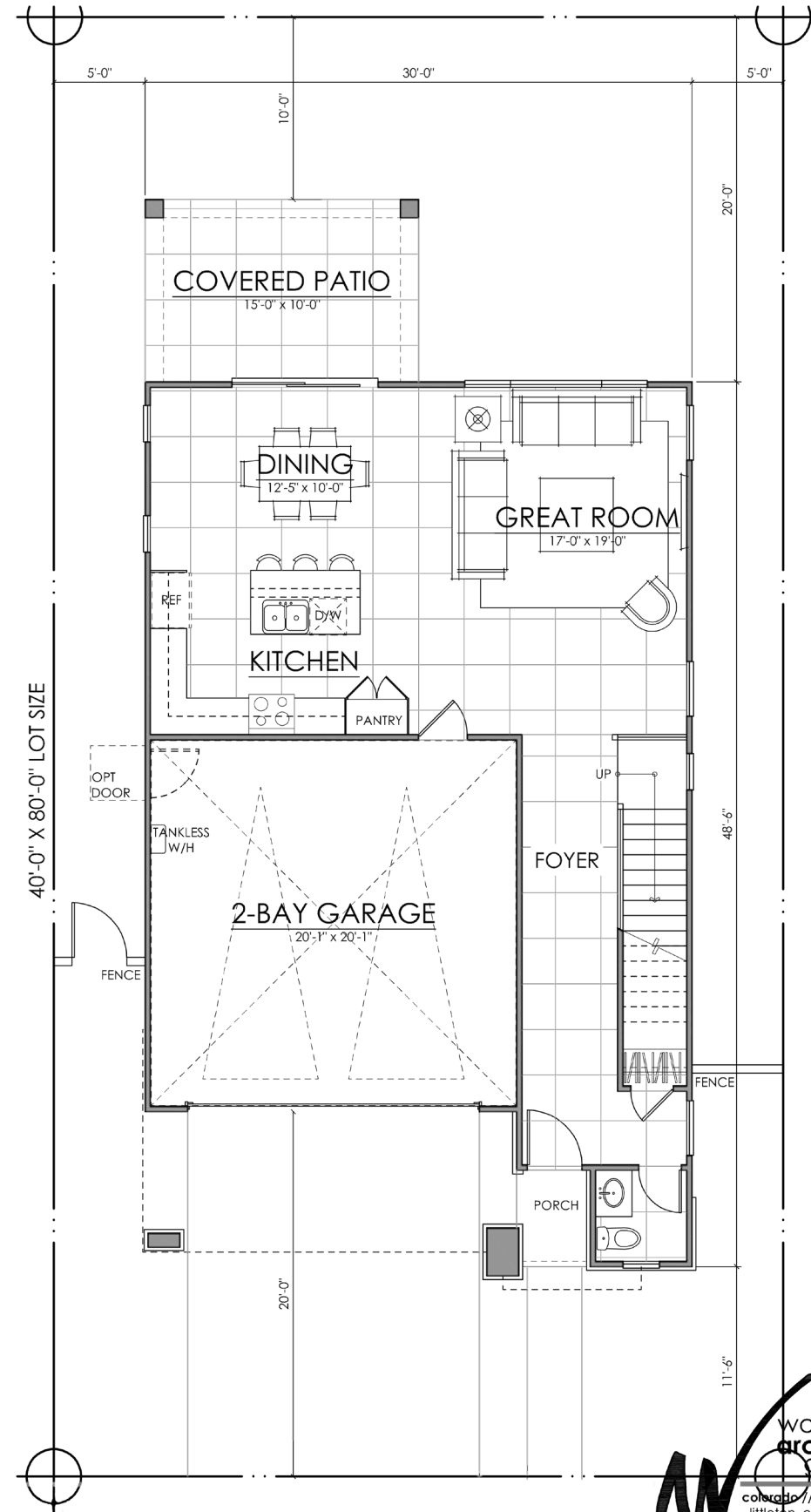
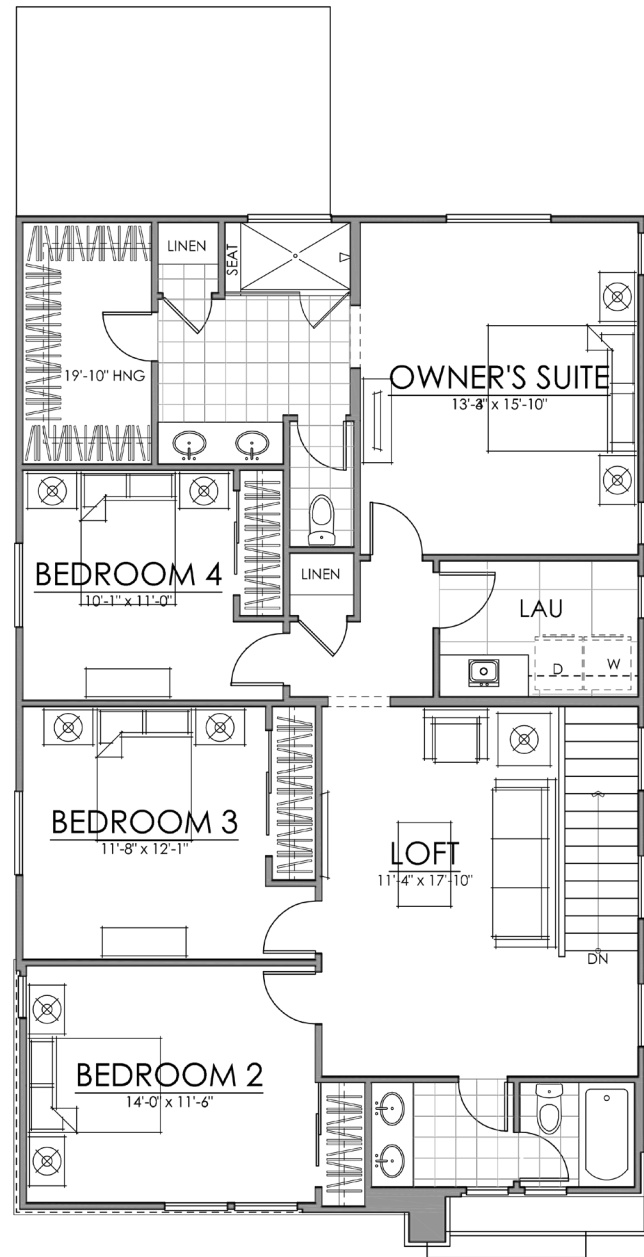


| | |
|---------------------|---------------------|
| FIRST FLOOR | 703 SQ. FT. |
| SECOND FLOOR | 1104 SQ. FT. |
| TOTAL LIVING | 1807 SQ. FT. |
| LOT COVERAGE | |
| FIRST FLOOR | 22% |
| SECOND FLOOR | 35% |

LOT SIZE: 40'-0" X 80'-0"



woodley architectural group, inc
 colorado // 731 south park dr. suite B
 littleton, co 80120 / 303.683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949.553.8919

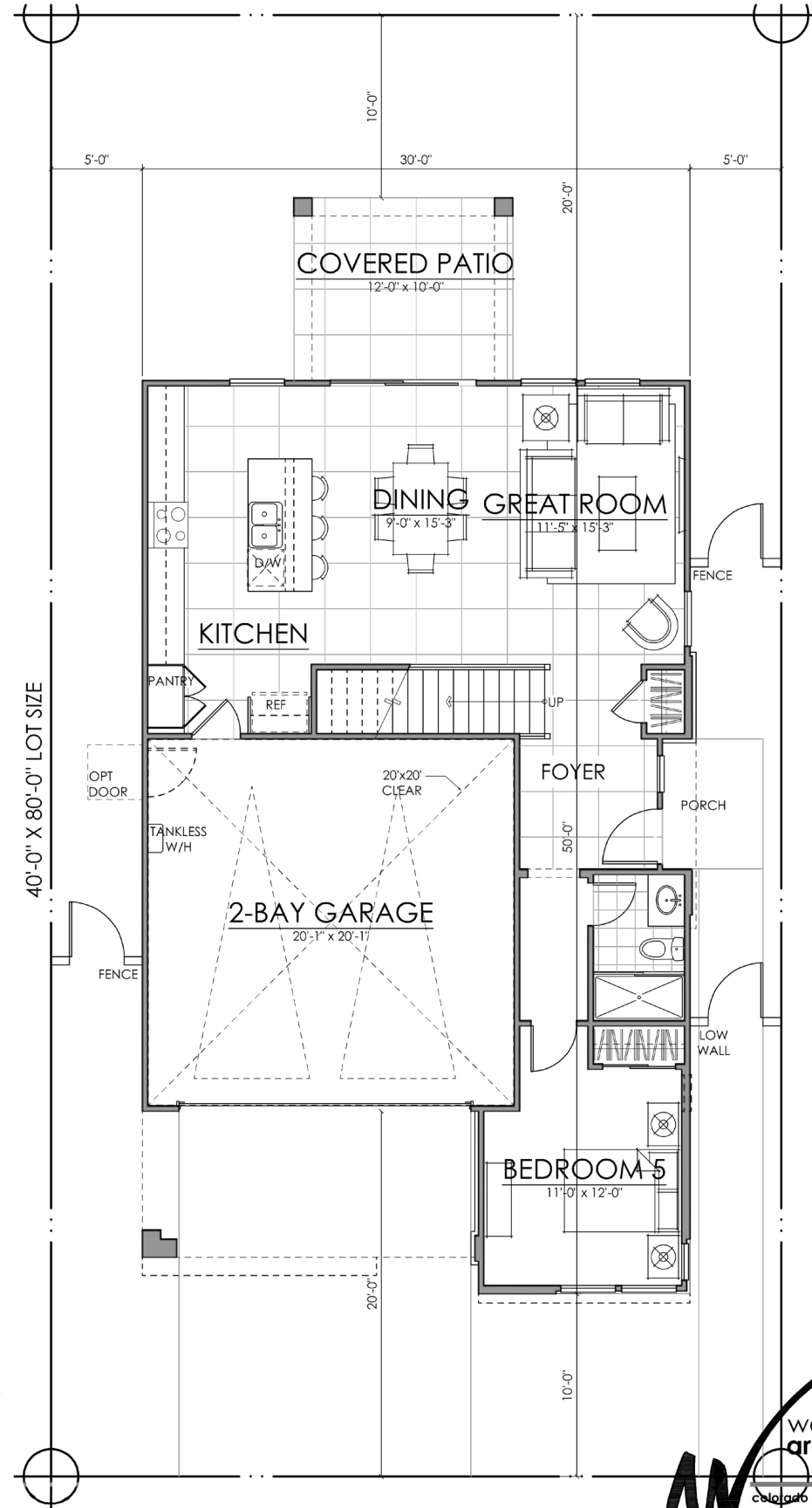
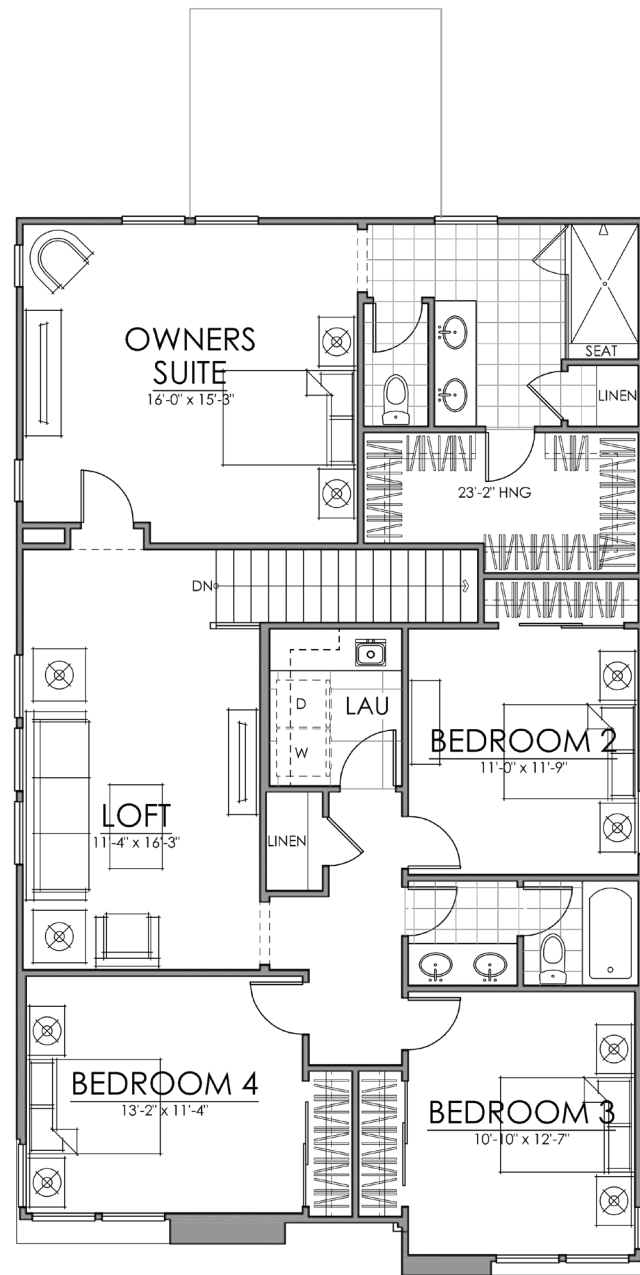


| | |
|---------------------|---------------------|
| FIRST FLOOR | 845 SQ. FT. |
| SECOND FLOOR | 1370 SQ. FT. |
| TOTAL LIVING | 2215 SQ. FT. |
| LOT COVERAGE | |
| FIRST FLOOR | 26% |
| SECOND FLOOR | 43% |

PLAN 3

EXHIBIT L: FLOOR & ROOF PLANS

woodley
architectural
group, inc
colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919

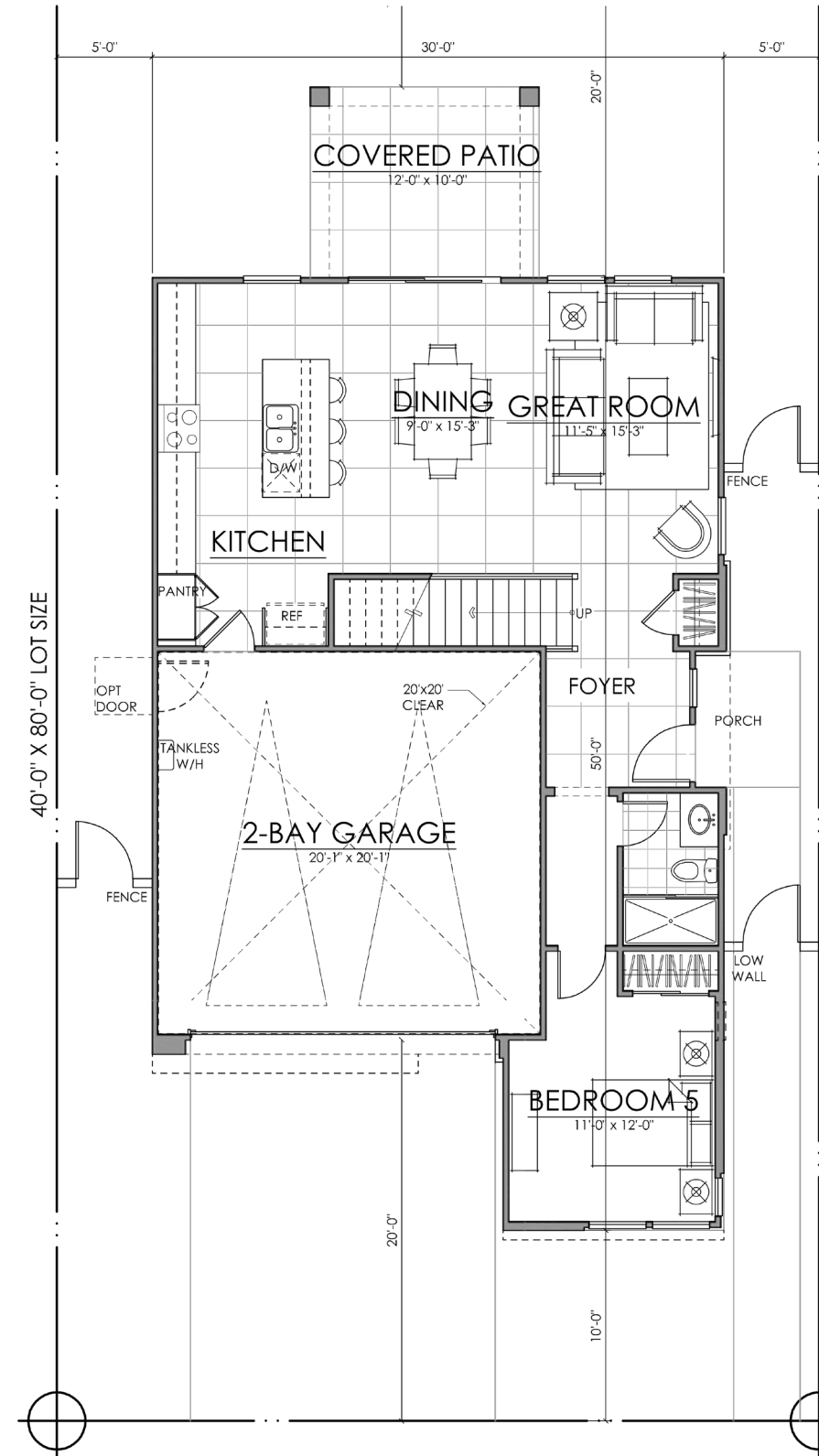
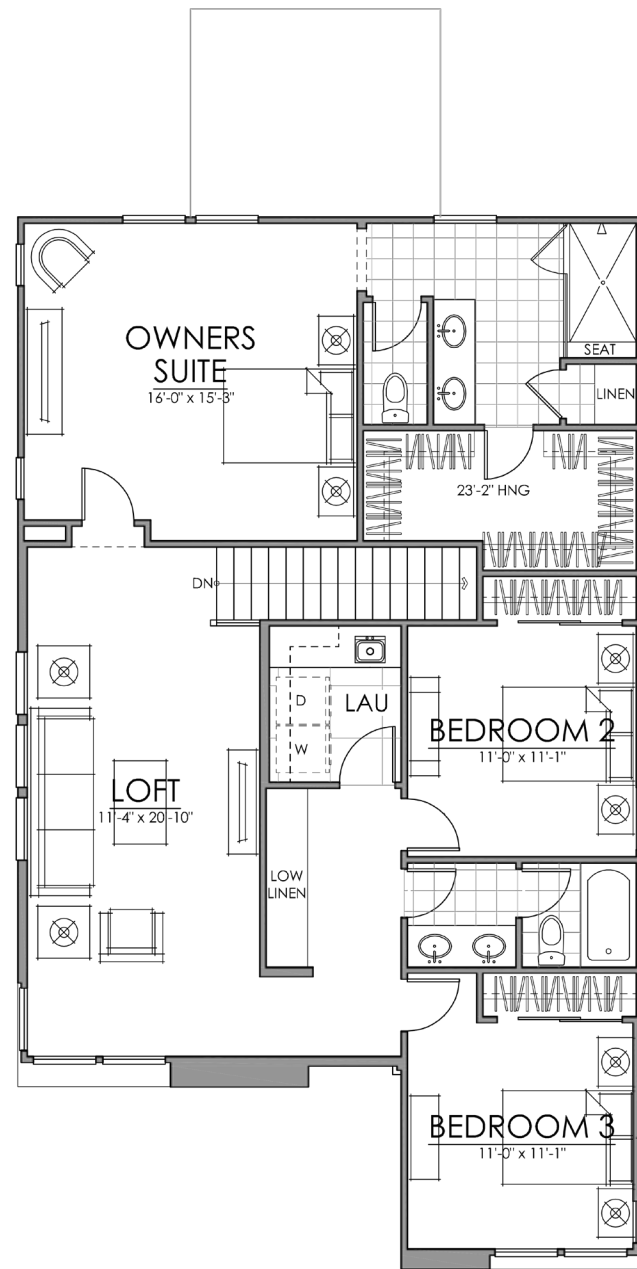


| | |
|---------------------|---------------------|
| FIRST FLOOR | 891 SQ. FT. |
| SECOND FLOOR | 1419 SQ. FT. |
| TOTAL LIVING | 2310 SQ. FT. |
| LOT COVERAGE | |
| FIRST FLOOR | 28% |
| SECOND FLOOR | 44% |

PLAN 4

EXHIBIT L: FLOOR & ROOF PLANS

woodley architectural group, inc
 colorado // 731 southpark dr. suite B
 littleton, co 80120 / 303 683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949 553.8919

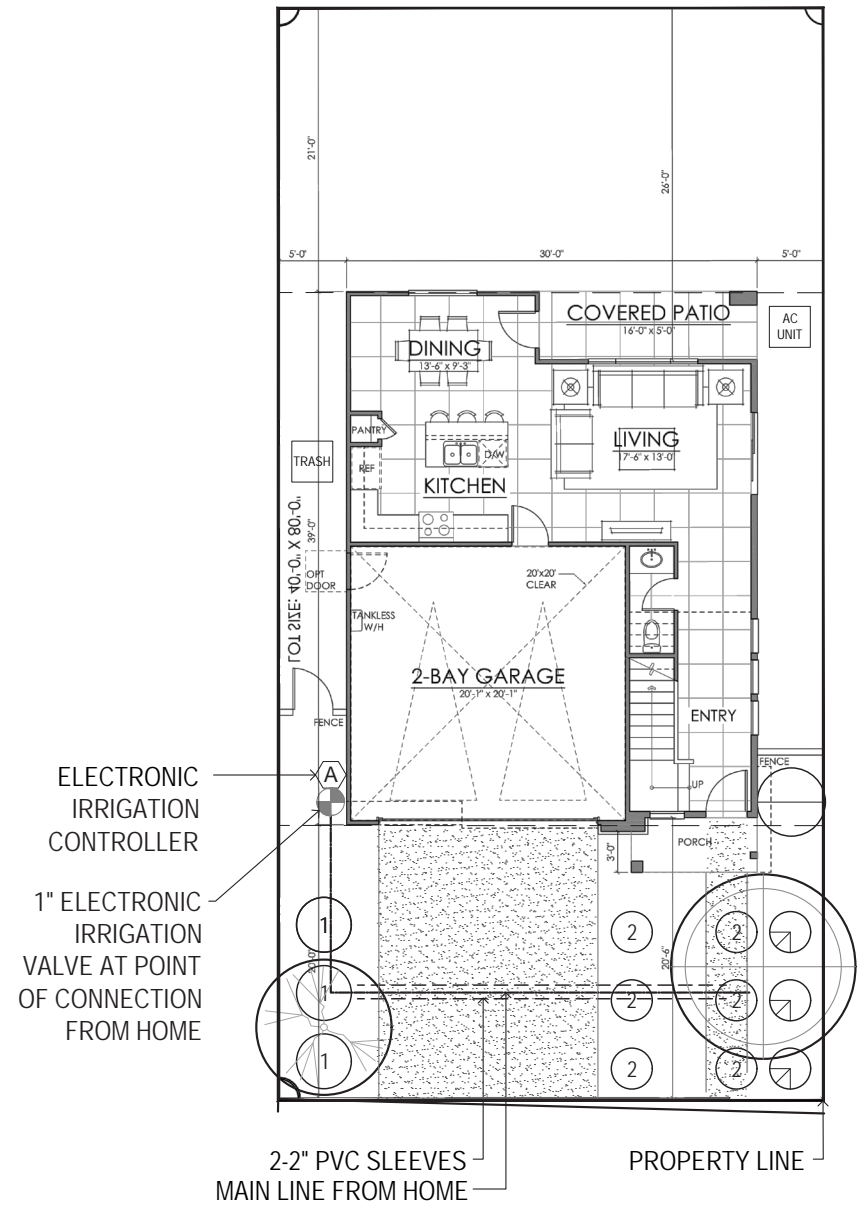


| | |
|---------------------|---------------------|
| FIRST FLOOR | 891 SQ. FT. |
| SECOND FLOOR | 1286 SQ. FT. |
| TOTAL LIVING | 2177 SQ. FT. |
| LOT COVERAGE | |
| FIRST FLOOR | 28% |
| SECOND FLOOR | 40% |

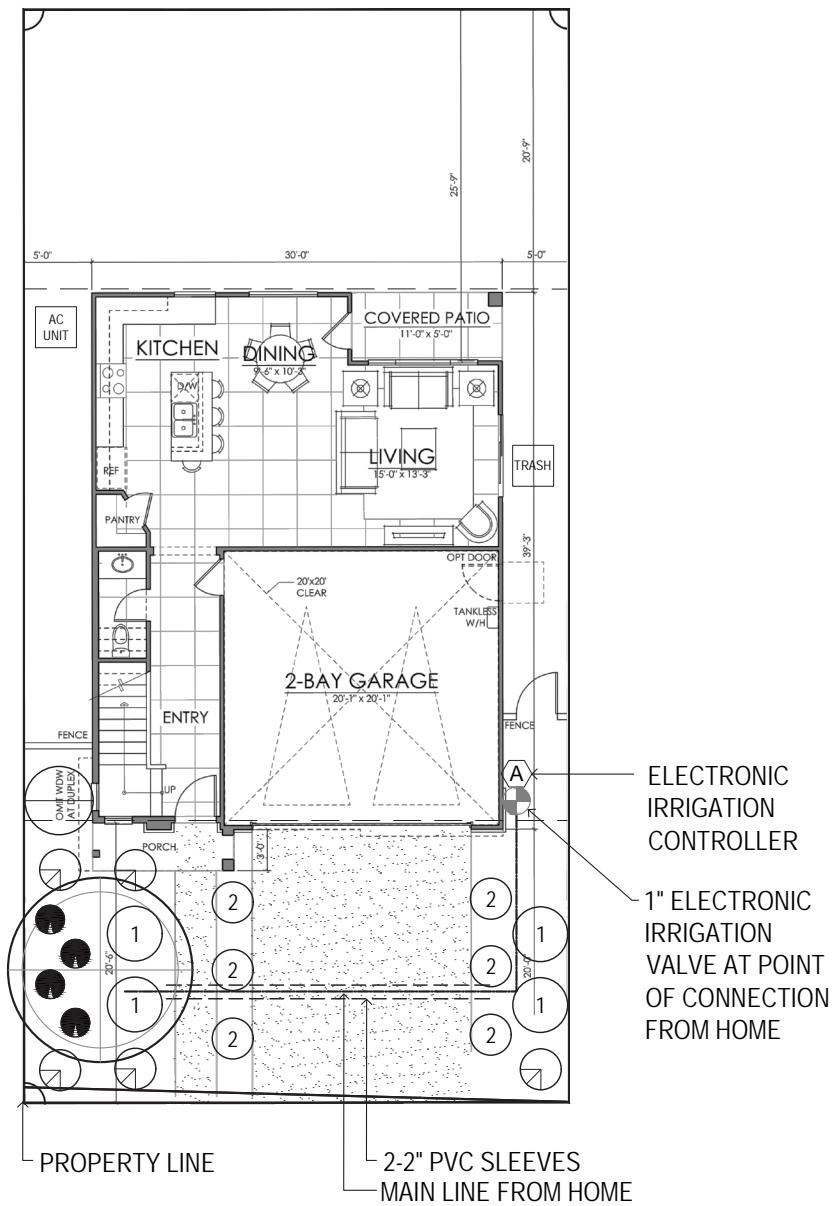
PLAN 4X OPT. SECOND FLOOR

EXHIBIT L: FLOOR & ROOF PLANS

woodley architectural group, inc
 colorado // 731 southpark dr. suite B
 littleton, co 80120 / 303.683.7231
 california // 2943 pullman st. suite A
 santa ana, ca 92705 / 949.553.8919



1 Typical Front Yard Landscape - Plan 1
SCALE: NTS



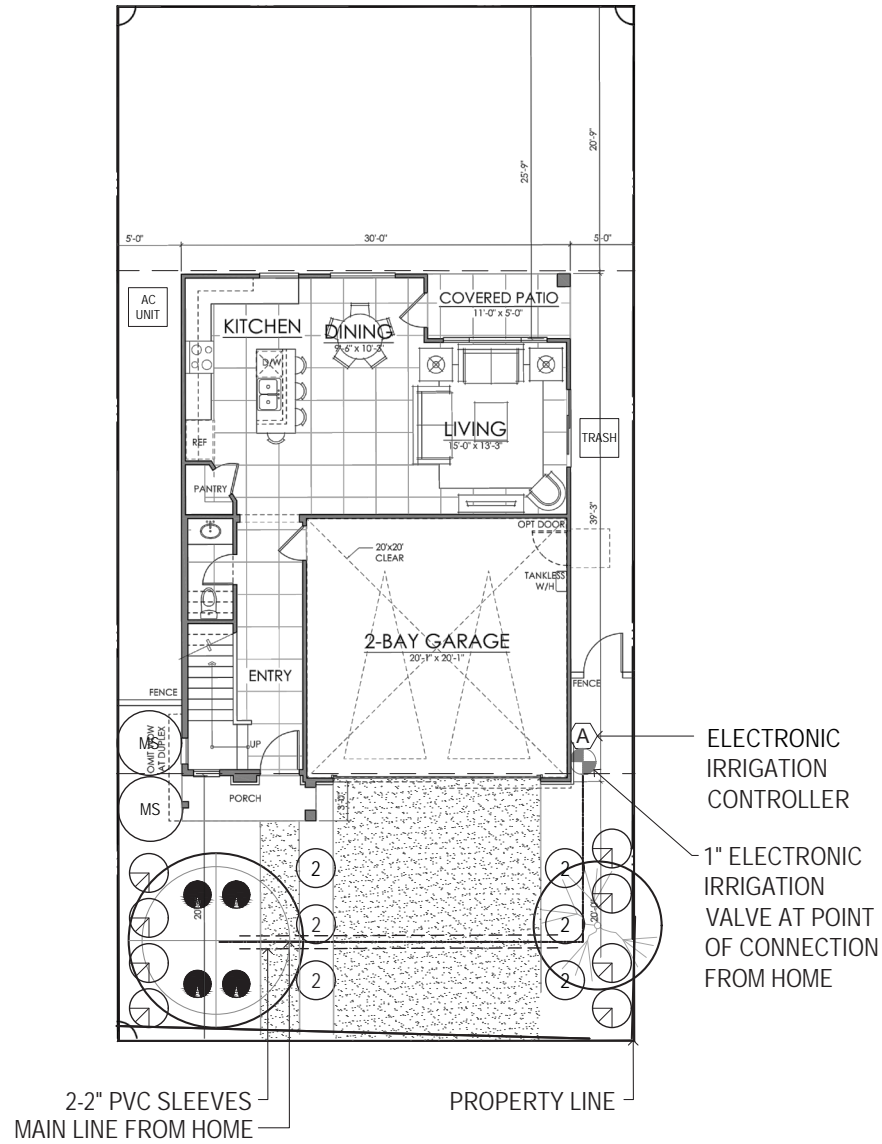
2 Typical Front Yard Landscape - Plan 2
SCALE: NTS

Conceptual Lot Plant Legend

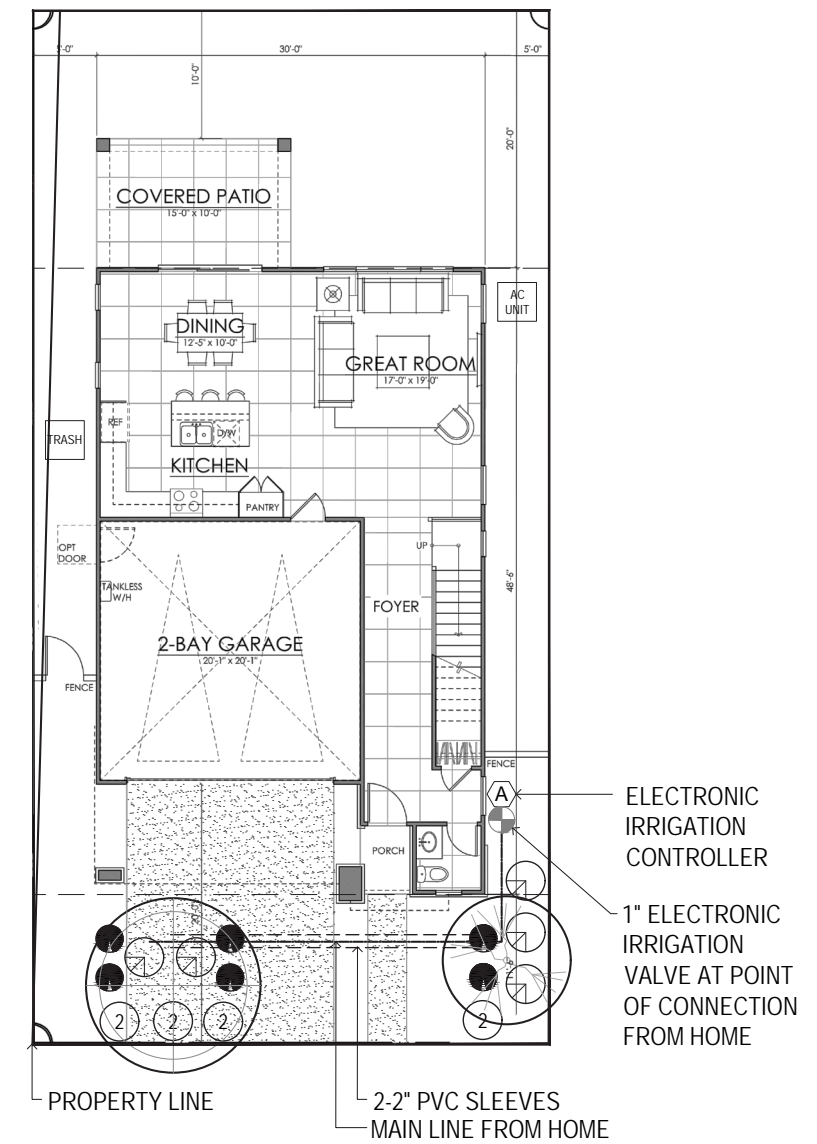
| Symbol | Description |
|---------------|-------------------------|
| Trees | |
| | 24" BOX STREET TREE |
| | 15 GAL ACCENT TREE |
| Shrubs | |
| | 5 GAL. UPRIGHT SHRUB |
| | 5 GAL. FOUNDATION SHRUB |
| | 5 GAL. ACCENT SHRUB |
| | 1 GAL. FOUNDATION SHRUB |
| | 5 GAL. ACCENT SHRUB 1 |
| | 1 GAL. GROUNDCOVER 1 |
| | 1 GAL. GROUNDCOVER 2 |
| | CONCRETE |

Conceptual Lot Plant Legend

| Symbol | Description |
|---------------|-------------------------|
| Trees | |
| | 24" BOX STREET TREE |
| | 15 GAL ACCENT TREE |
| Shrubs | |
| | 5 GAL. UPRIGHT SHRUB |
| | 5 GAL. FOUNDATION SHRUB |
| | 5 GAL. ACCENT SHRUB |
| | 1 GAL. FOUNDATION SHRUB |
| | 5 GAL. ACCENT SHRUB 1 |
| | 1 GAL. GROUNDCOVER 1 |
| | 1 GAL. GROUNDCOVER 2 |
| | CONCRETE |



3 Typical Front Yard Landscape - Plan 3
SCALE:NTS



4 Typical Front Yard Landscape - Plan 4
SCALE:NTS



- CONCRETE ROOF TILE
- STUCCO
- STUCCO TRIM
- STONE VENEER
- ENTRY DOOR W/ GLASS PANELS

elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



- STUCCO TRIM

LINE OF FENCE, TYP.

RIGHT ELEVATION

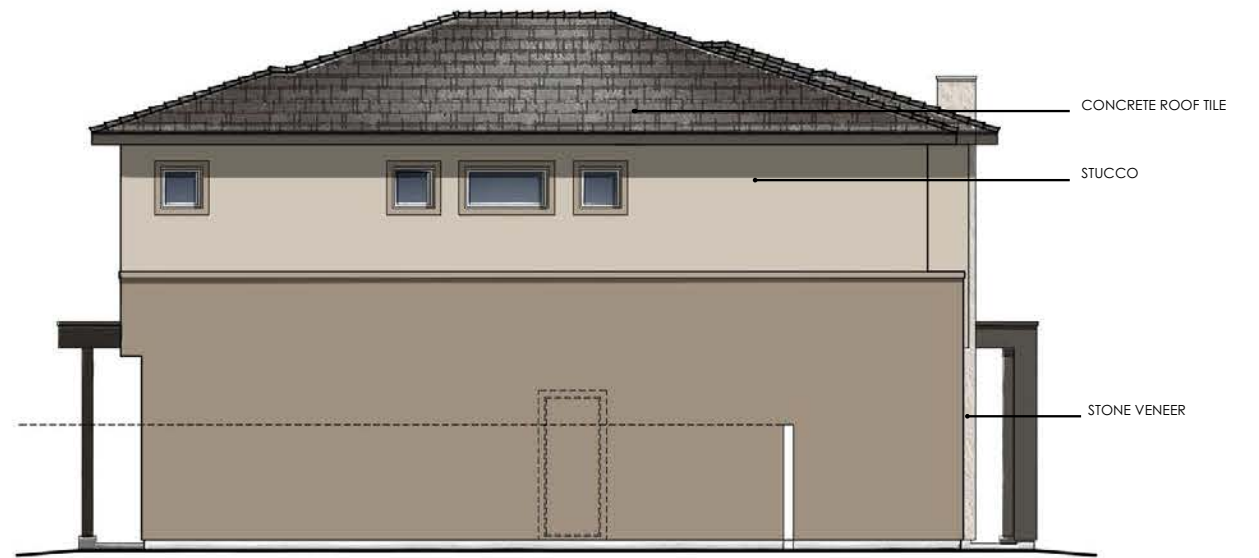
SCALE: 1/4" = 1'-0"



- OVERALL
- T.O.PL.
- T.O.WIN.
- 7'-6"
- 9'-1"
- 24'-10"
- T.O.FL.
- T.O.PL.
- T.O.WIN.
- 7'-6"
- 9'-1"
- T.O.SLAB

REAR ELEVATION

SCALE: 1/4" = 1'-0"



- CONCRETE ROOF TILE
- STUCCO
- STONE VENEER

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PLAN ONE | ELEVATION A | DESERT CONTEMPORARY
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.02.20



NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
 THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



EXHIBIT N: CONCEPT ELEVATIONS



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN ONE | ELEVATION B | MODERN SPANISH
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"

- CONCRETE ROOF TILE
- STUCCO
- STONE VENEER
- WOOD TILE
- ENTRY DOOR W/ GLASS PANEL



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

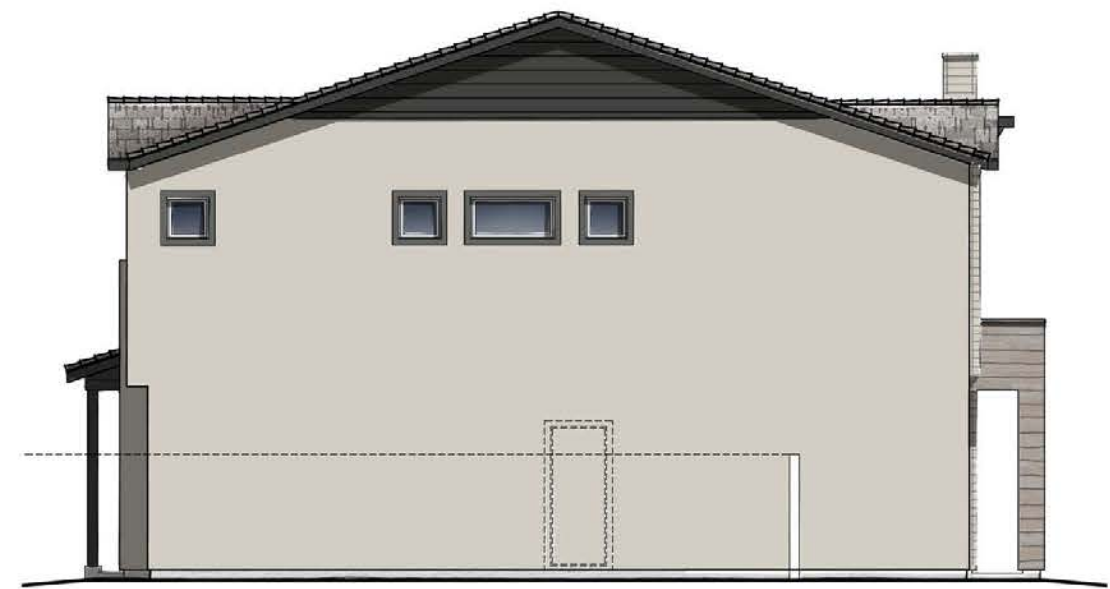
- STONE VENEER
- STUCCO
- WOOD TILE
- CEMENTITIOUS GABLE-END SIDING
- LINE OF FENCE, TYP.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

- CONCRETE ROOF TILE
- STUCCO TRIM
- OVERALL
- T.O. PL.
- T.O. WIN.
- 7'-6"
- 9'-1"
- 26'-4"
- T.O. FL.
- T.O. PL.
- T.O. WIN.
- 7'-6"
- 9'-1"
- T.O. SLAB



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PLAN ONE | ELEVATION C | MID-CENTURY MODERN
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.02.20



NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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 santa ana, ca 92705 / 949.553.8919



elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



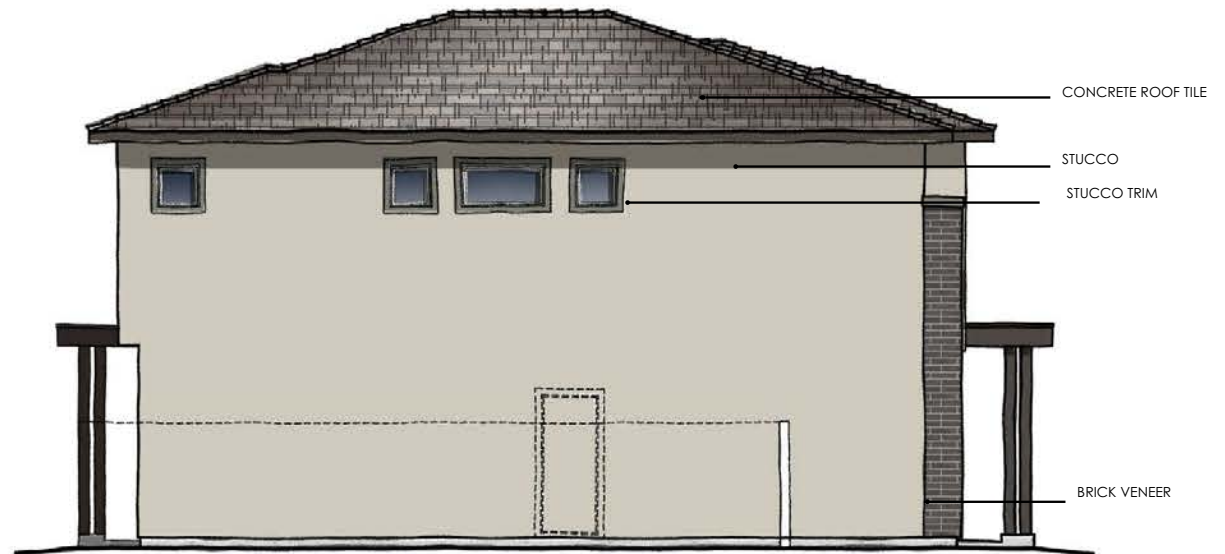
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN ONE | ELEVATION D | MODERN PRAIRIE
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

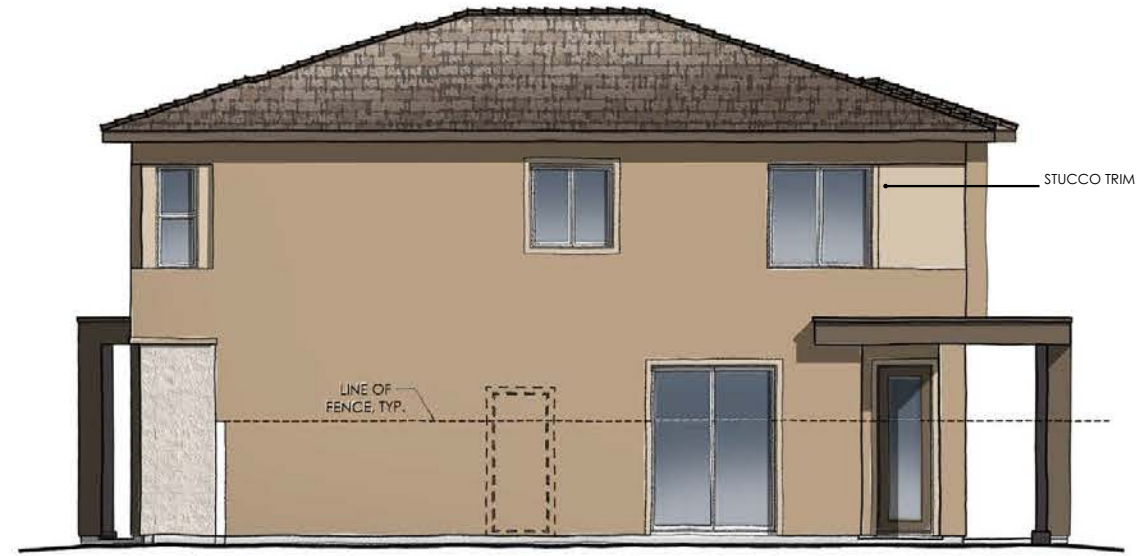
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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

PLAN TWO | ELEVATION A | DESERT CONTEMPORARY
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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EXHIBIT N: CONCEPT ELEVATIONS



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN TWO | ELEVATION B | MODERN SPANISH
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



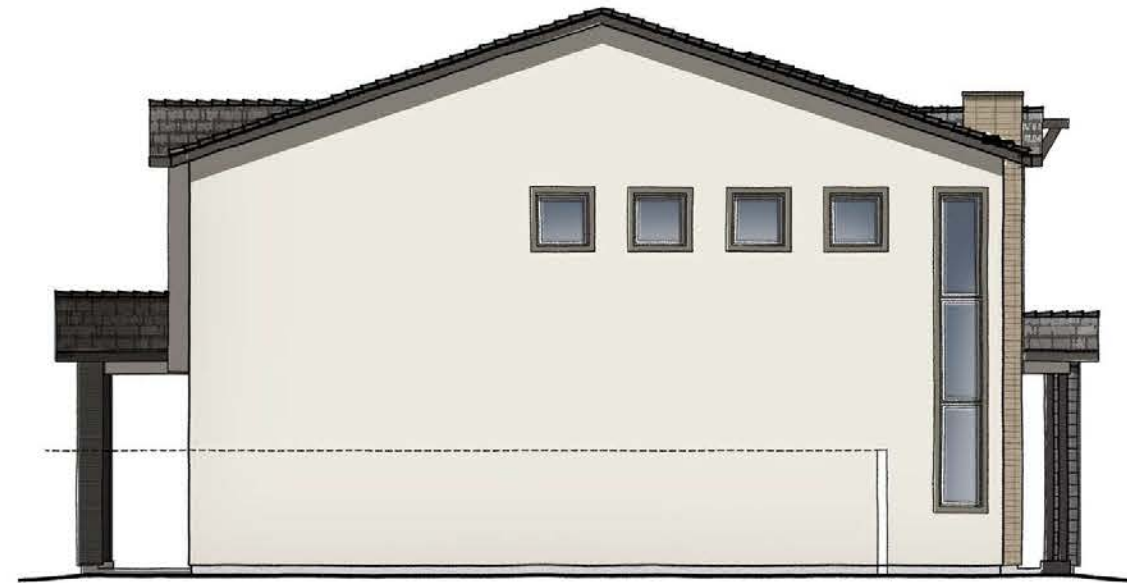
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN TWO | ELEVATION C | MID-CENTURY MODERN
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



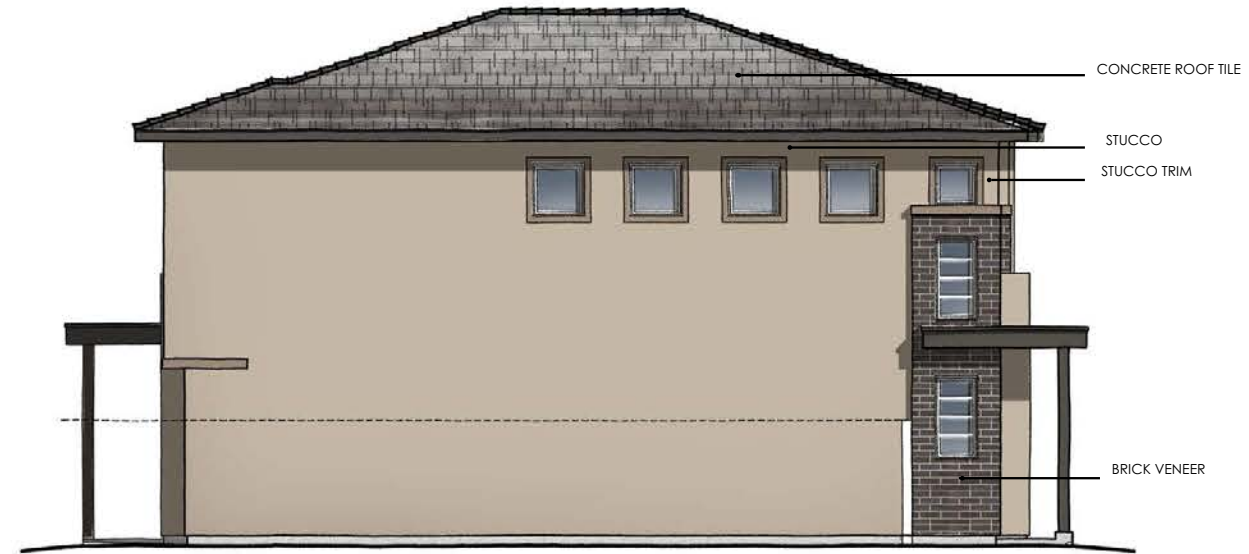
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN TWO | ELEVATION D | MODERN PRAIRIE
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

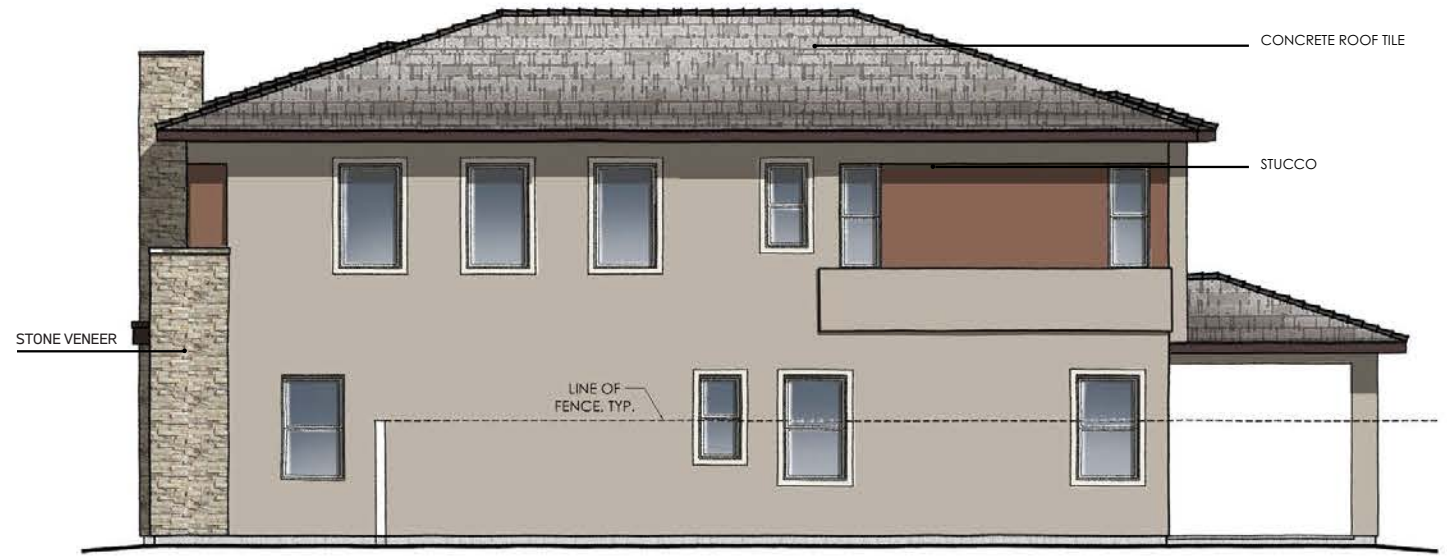
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elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



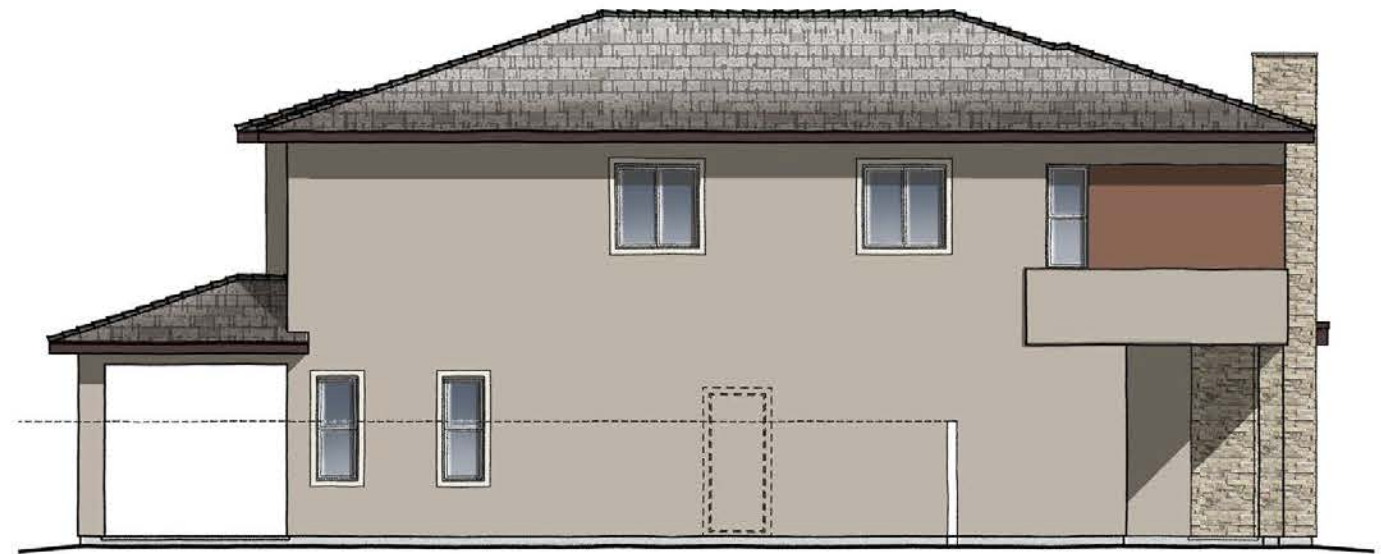
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

12.02.20



PLAN THREE | ELEVATION A | DESERT CONTEMPORARY

HUDSON CROSSING | ARCADIA COMMUNITIES

CHANDLER, ARIZONA

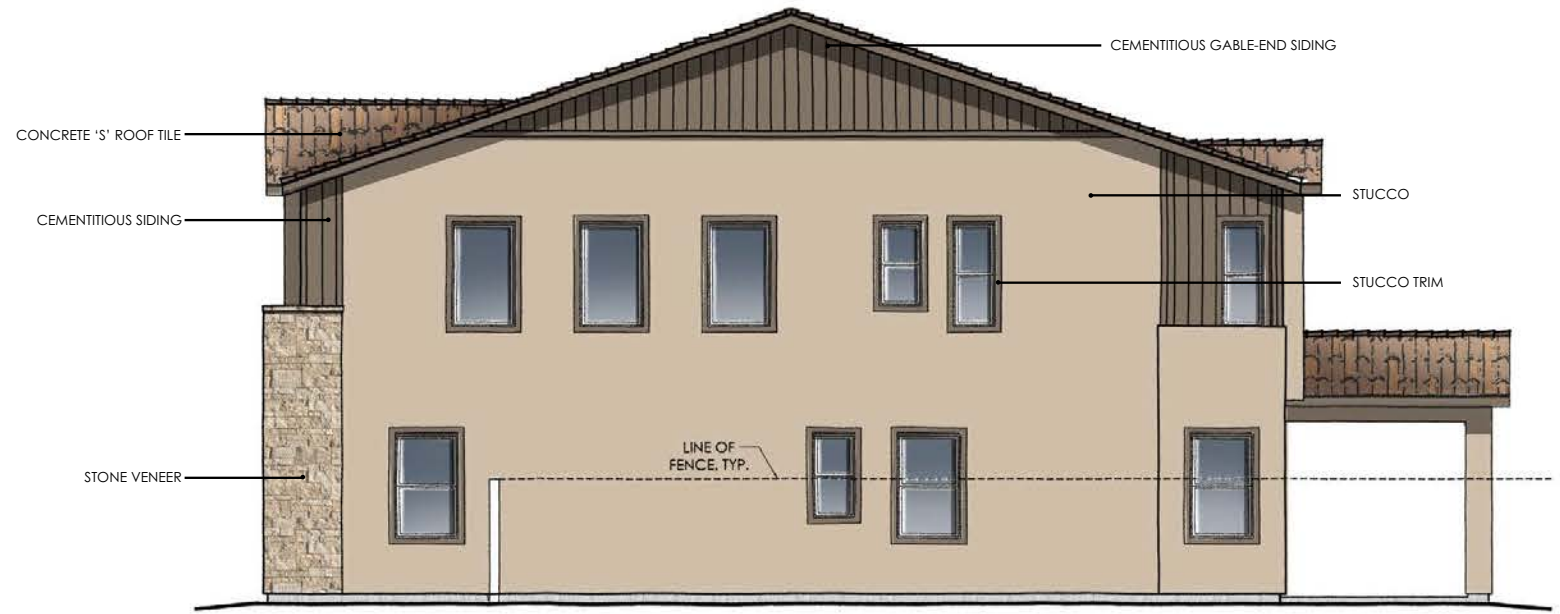
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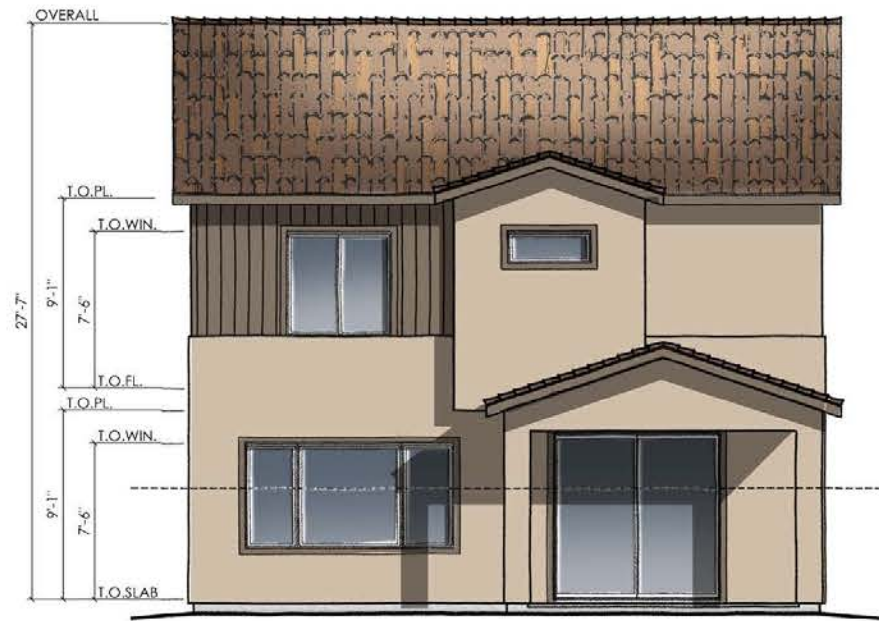
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



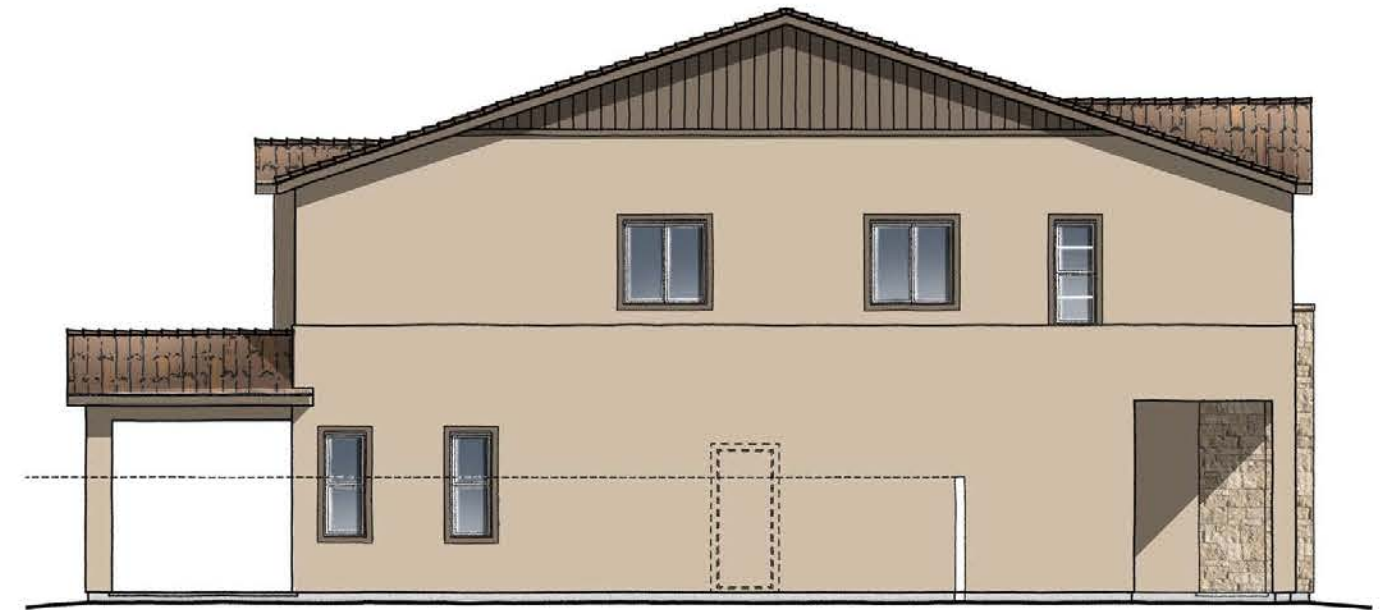
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN THREE | ELEVATION B | MODERN SPANISH
HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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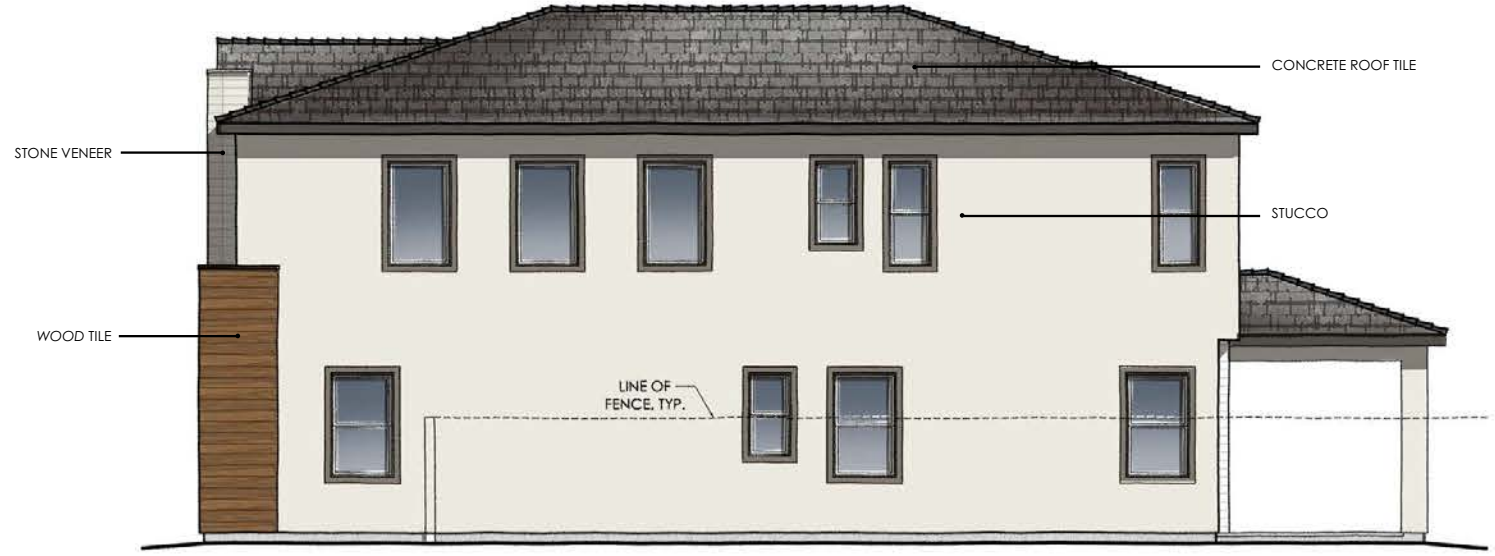




elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"

- CONCRETE ROOF TILE
- STUCCO
- STONE VENEER
- WOOD TILE
- ENTRY DOOR W/ GLASS PANEL



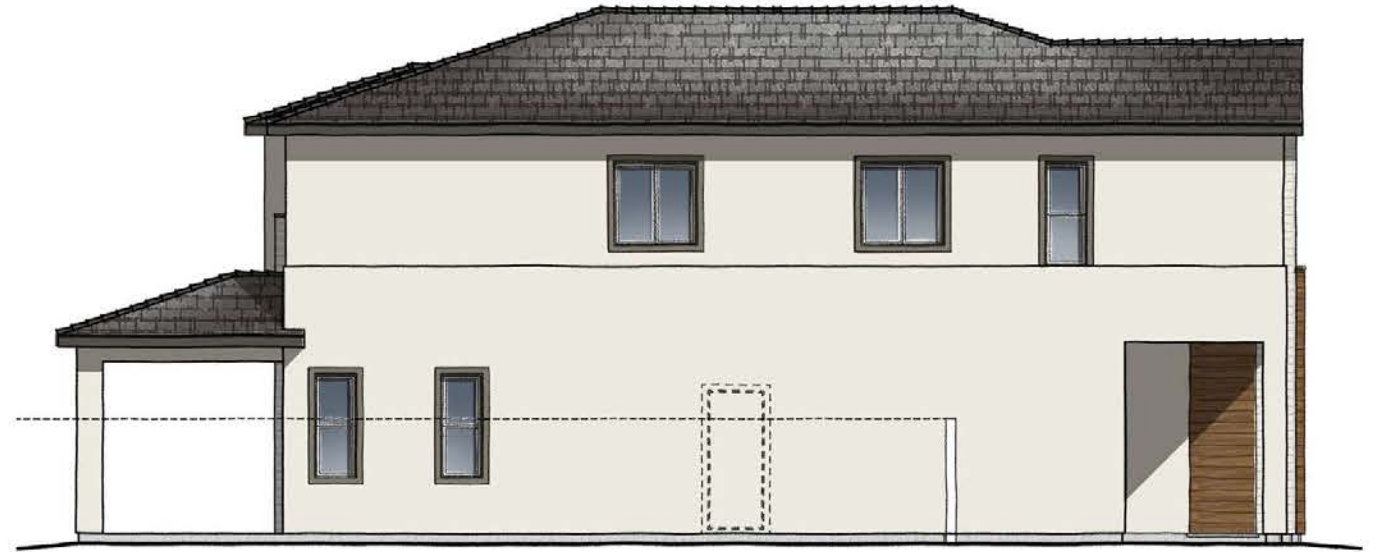
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN THREE | ELEVATION C | MID-CENTURY MODERN

HUDSON CROSSING | ARCADIA COMMUNITIES

CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



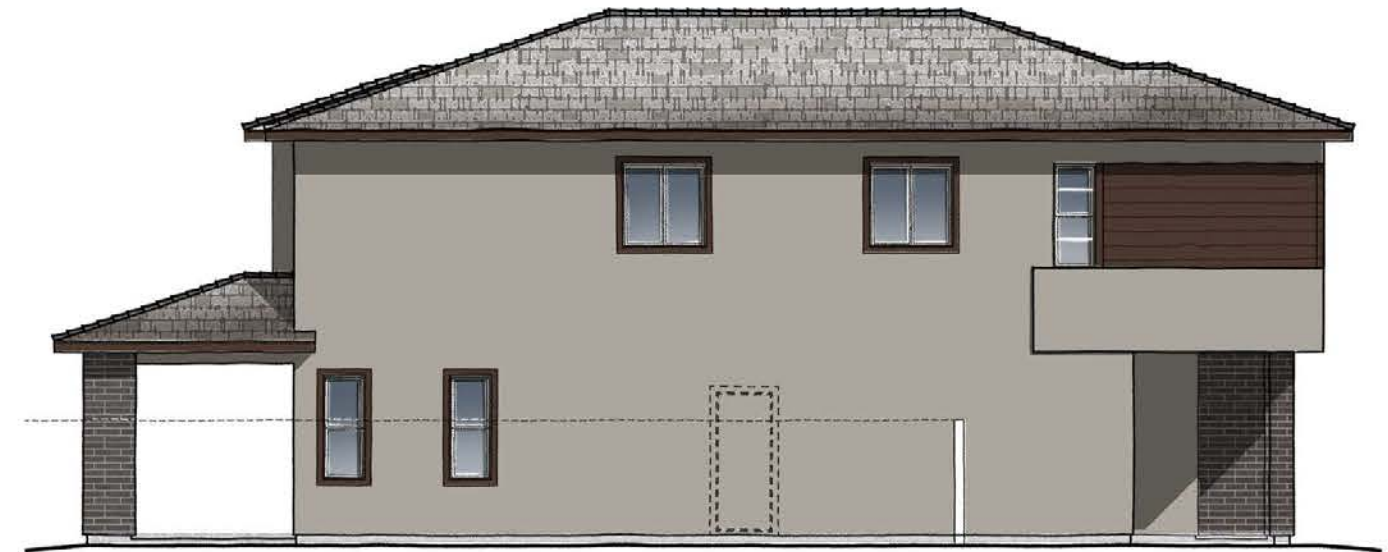
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN THREE | ELEVATION D | MODERN PRAIRIE
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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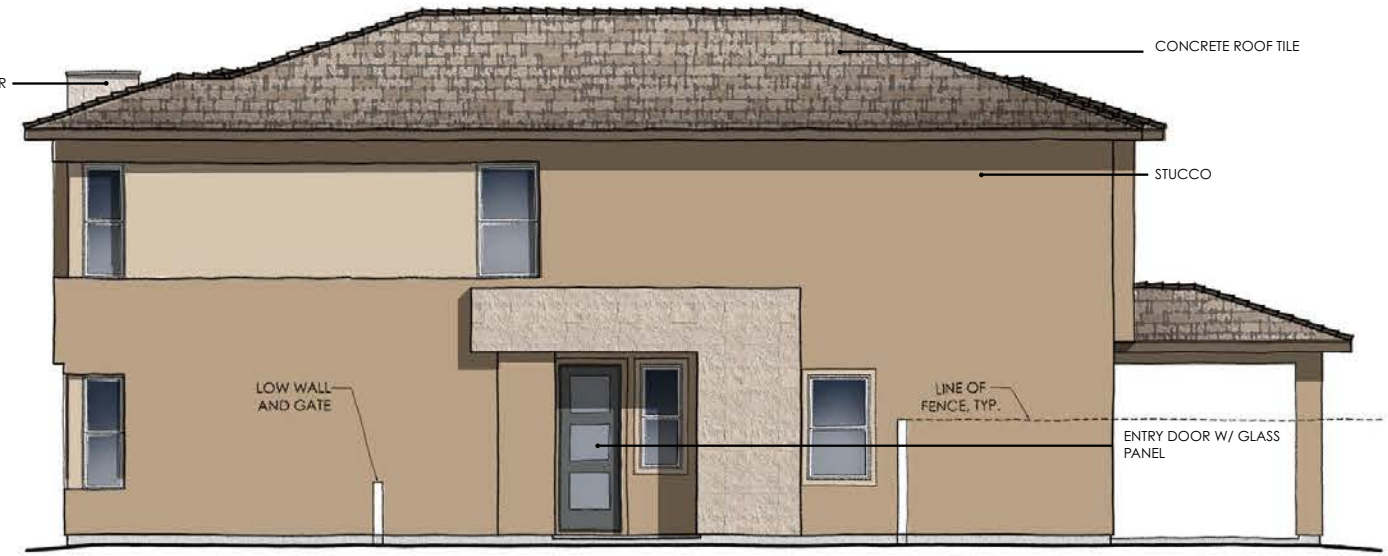


elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"

CONCRETE ROOF TILE
STONE VENEER

STONE VENEER
STUCCO



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CONCRETE ROOF TILE

STUCCO

LOW WALL AND GATE

LINE OF FENCE, TYP.

ENTRY DOOR W/ GLASS PANEL



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN FOUR | ELEVATION A | DESERT CONTEMPORARY

HUDSON CROSSING | ARCADIA COMMUNITIES

CHANDLER, ARIZONA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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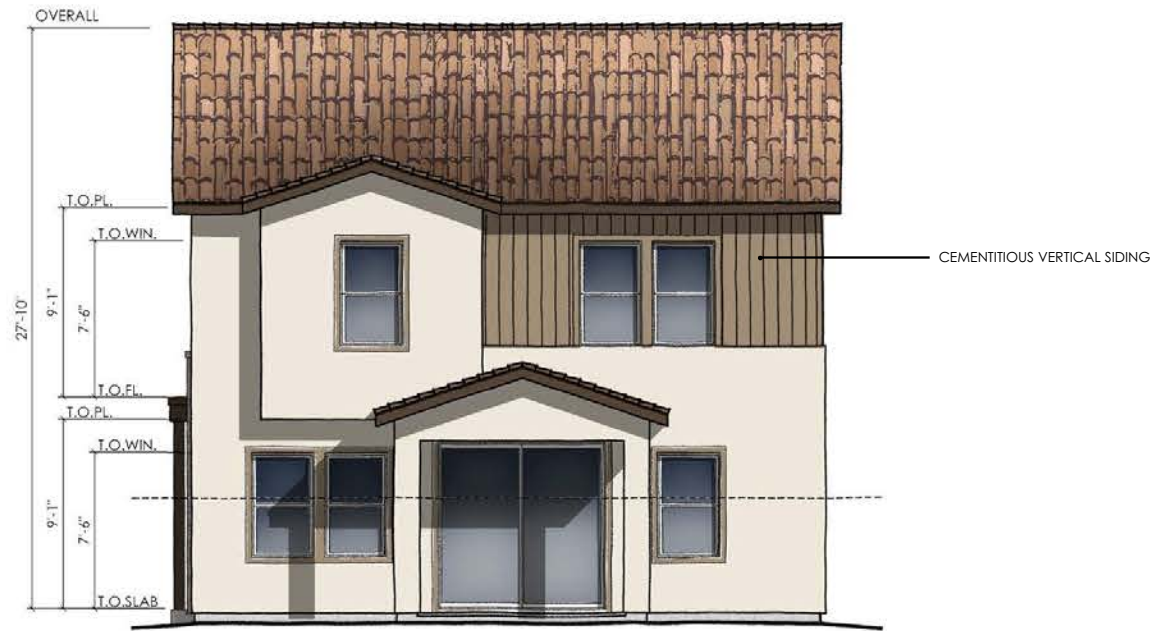
elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



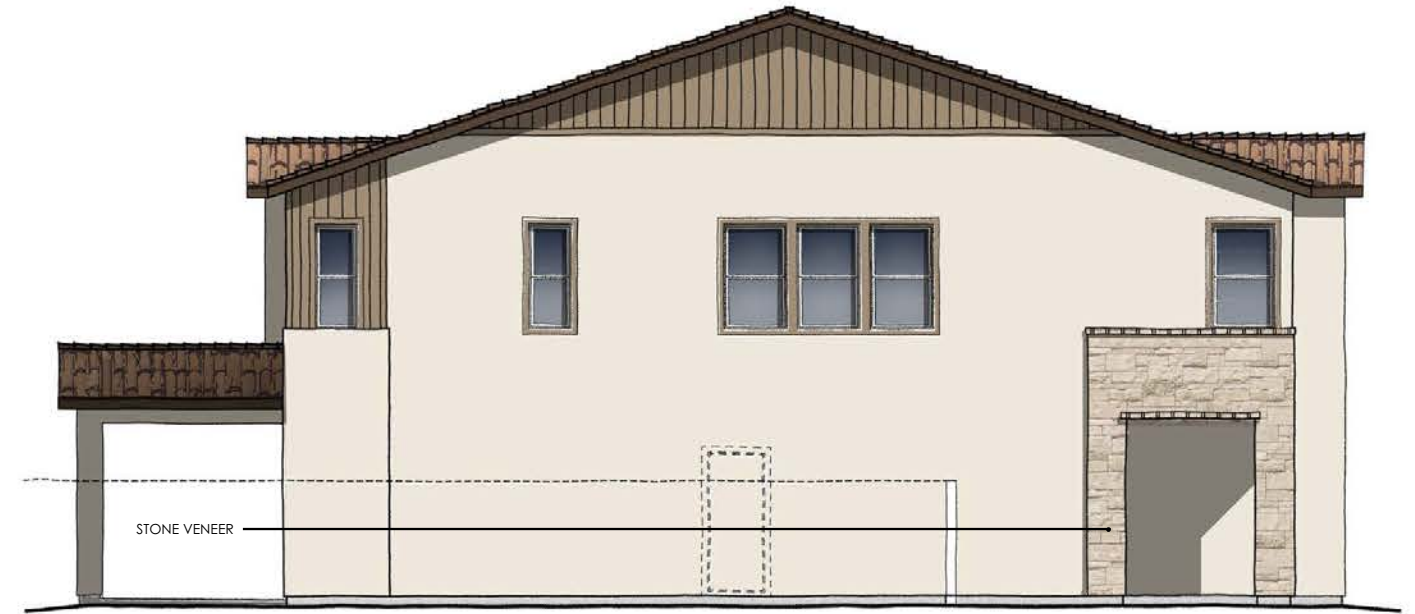
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN FOUR | ELEVATION B | MODERN SPANISH
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



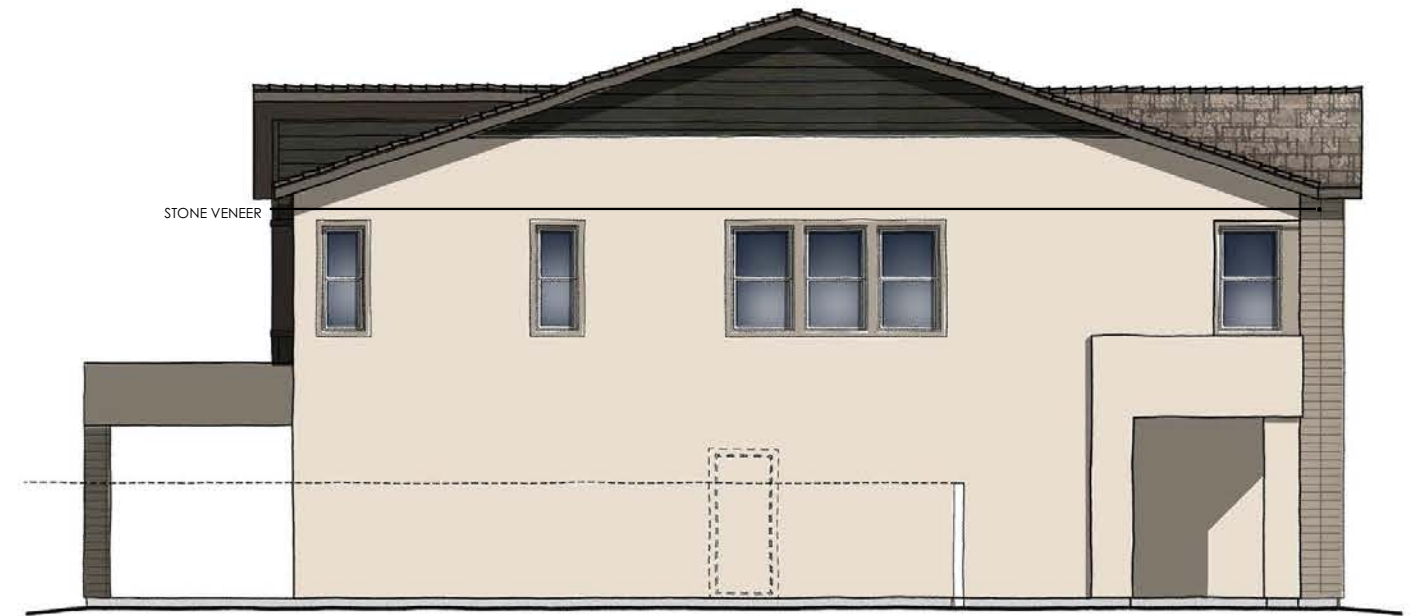
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN FOUR | ELEVATION C | MID-CENTURY MODERN

HUDSON CROSSING | ARCADIA COMMUNITIES

CHANDLER, ARIZONA

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CONCRETE ROOF TILE
 STUCCO
 BRICK VENEER

elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



LOW WALL AND GATE

LINE OF FENCE, TYP.

ENTRY DOOR W/ GLASS PANEL

CONCRETE ROOF TILE
 STUCCO

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



OVERALL
 24'-10"
 T.O.PL.
 9'-1"
 T.O.WIN.
 7'-6"
 T.O.FL.
 T.O.PL.
 9'-1"
 T.O.WIN.
 7'-6"
 T.O.SLAB

REAR ELEVATION

SCALE: 1/4" = 1'-0"



BRICK VENEER

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

12.02.20



PLAN FOUR | ELEVATION D | MODERN PRAIRIE
 HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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STONE VENEER
 CONCRETE ROOF TIL
 STUCCO

elevationA - DESERT CONTEMPORARY

SCALE: 1/4" = 1'-0"



CONCRETE ROOF TILE
 STUCCO
 LOW WALL AND GATE
 LINE OF FENCE, TYP.
 ENTRY DOOR W/ GLASS PANEL

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OPTIONAL SECOND FLOOR
 PLAN FOUR | ELEVATION A | DESERT CONTEMPORARY

HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

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12.02.20



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EXHIBIT N: CONCEPT ELEVATIONS



elevationB - MODERN SPANISH

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OPTIONAL SECOND FLOOR
 PLAN FOUR | ELEVATION B | MODERN SPANISH
HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.02.20



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elevationC - MID-CENTURY MODERN

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OPTIONAL SECOND FLOOR
 PLAN FOUR | ELEVATION C | MID-CENTURY MODERN

HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.02.20



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CONCRETE ROOF TILE
 STUCCO
 BRICK VENEER

elevationD - MODERN PRAIRIE

SCALE: 1/4" = 1'-0"



CONCRETE ROOF TILE
 STUCCO
 LOW WALL AND GATE
 LINE OF FENCE, TYP.
 ENTRY DOOR W/ GLASS PANEL

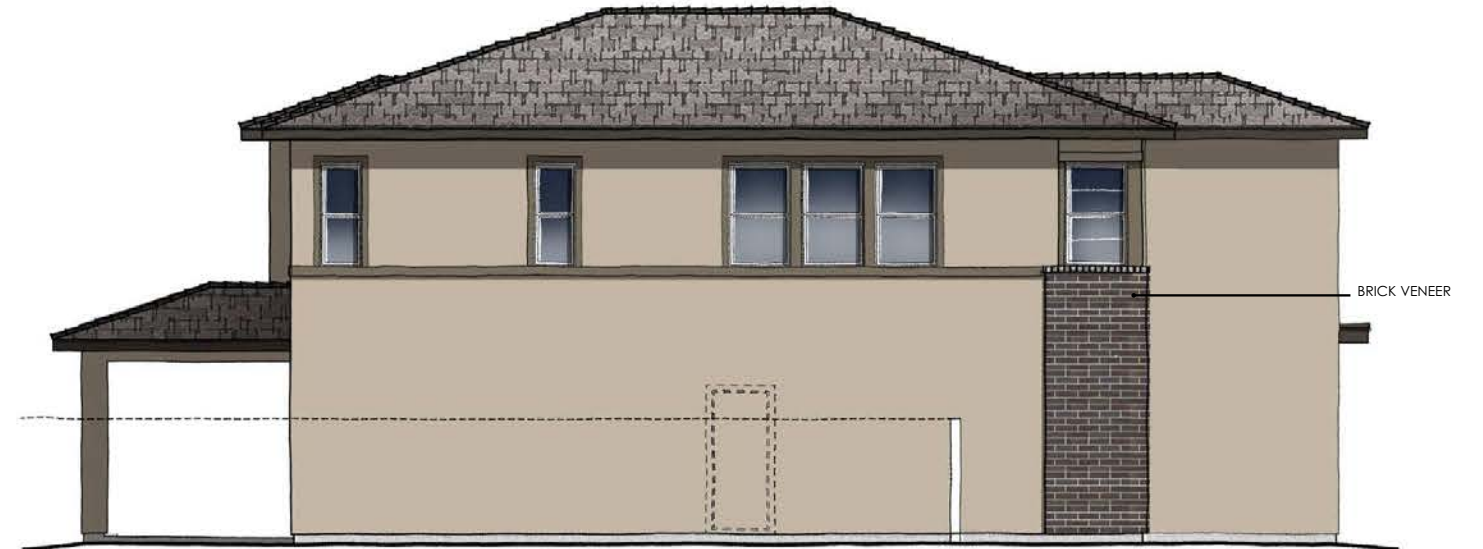
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OPTIONAL SECOND FLOOR
 PLAN FOUR | ELEVATION D | MODERN PRAIRIE
HUDSON CROSSING | ARCADIA COMMUNITIES
 CHANDLER, ARIZONA

12.02.20



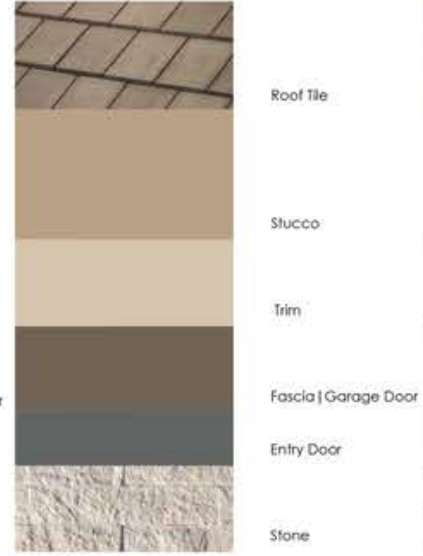
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SCHEME 1
ELEVATION A | DESERT CONTEMPORARY



SCHEME 2
ELEVATION A | DESERT CONTEMPORARY



SCHEME 3
ELEVATION A | DESERT CONTEMPORARY



SCHEME 4
ELEVATION B | MODERN SPANISH



SCHEME 5
ELEVATION B | MODERN SPANISH



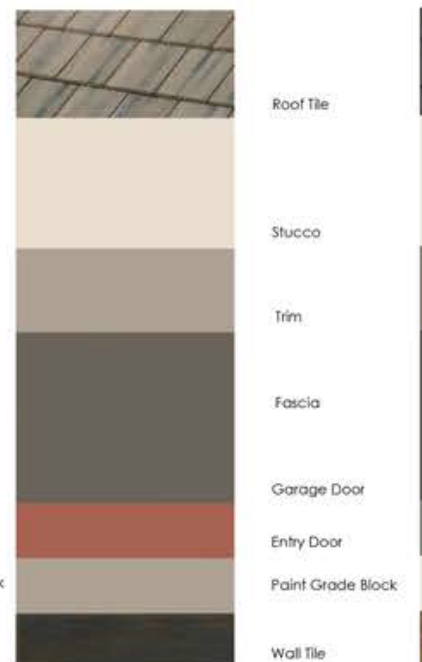
SCHEME 6
ELEVATION B | MODERN SPANISH



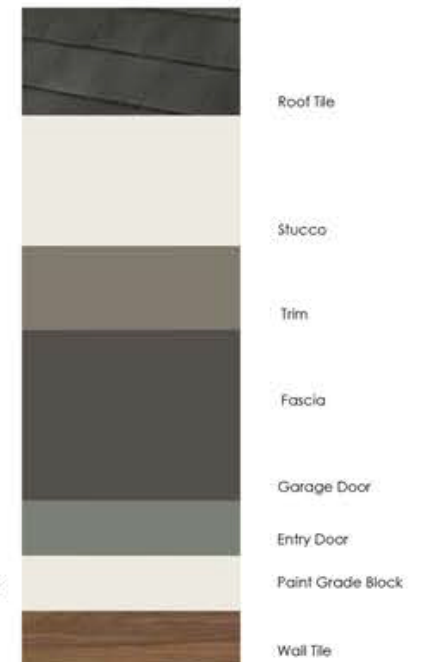
SCHEME 7
ELEVATION C | MID-CENTURY MODERN



SCHEME 8
ELEVATION C | MID-CENTURY MODERN



SCHEME 9
ELEVATION C | MID-CENTURY MODERN



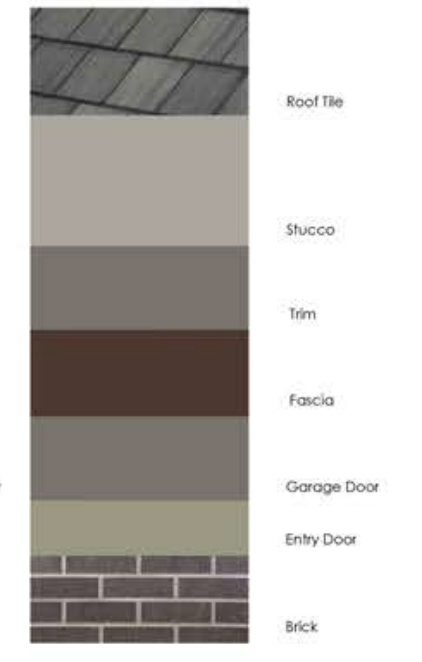
SCHEME 10
ELEVATION D | MODERN PRAIRIE



SCHEME 11
ELEVATION D | MODERN PRAIRIE



SCHEME 12
ELEVATION D | MODERN PRAIRIE



LIGHT FIXTURE



HUDSON CROSSING | CHANDLER ARIZONA
ARCADIA COMMUNITIES

| | |
|-----------------------|----------|
| Original Date | 03.17.20 |
| Add Stucco II A Elev. | 08.27.20 |
| Add Gable-End Siding | 09.21.20 |
| Color Changes | 12.10.20 |

| MATERIALS | | |
|----------------------------|----------------------------|----------------------------|
| Paint: Sherwin Williams | Wood Tile: Dal Tile | Stone: El Dorado Stone |
| Roof: Boral Roof | Schluter: Schluter Systems | Stone: Creative Mines |
| Grout: Solomon Colors, Inc | Brick: Endicott | Wall Tile Grout: Laticrete |
| | | Garage Door: Wayne Dalton |

| ELEVATION A DESERT CONTEMPORARY | SCHEMES | | |
|--|----------------------------------|----------------------------|--------------------------------|
| | SCHEME 1 | SCHEME 2 | SCHEME 3 |
| ROOF SAXONY 900 SLATE | 1FJCS5360 Stone Mountain Dark | 1FJCS3233 Brown Blend | 1FJCS0330 Appalachian Blend |
| STUCCO I | SW 7036 Accessible Beige | SW 6108 Latte | SW 7044 Amazing Gray |
| STUCCO II | SW 9174 Moth Wing | SW 9108 Double Latte | SW 6061 Tanbark |
| TRIM | SW 7038 Tony Taupe | SW 6106 Kilim Beige | SW 7008 Alabaster |
| FASCIA GARAGE DOOR | SW 7048 Urbane Bronze | SW 7040 Smokehouse | SW 6013 Bitter Chocolate |
| ENTRY DOOR | SW 6076 Turkish Coffee | SW 2848 Roycroft Pewter | SW 6062 Rugged Brown |
| STONE EL DORADO STONE VANTAGE 30 DRYSTACK | White Elm Vantage 30 | White Elm Vantage 30 | Craft Split Timberwolf |
| TRIM AT STONE STUCCO OVER FOAM | SW 7042 Shoji White | SW 7042 Shoji White | SW 7658 Gray Clouds |

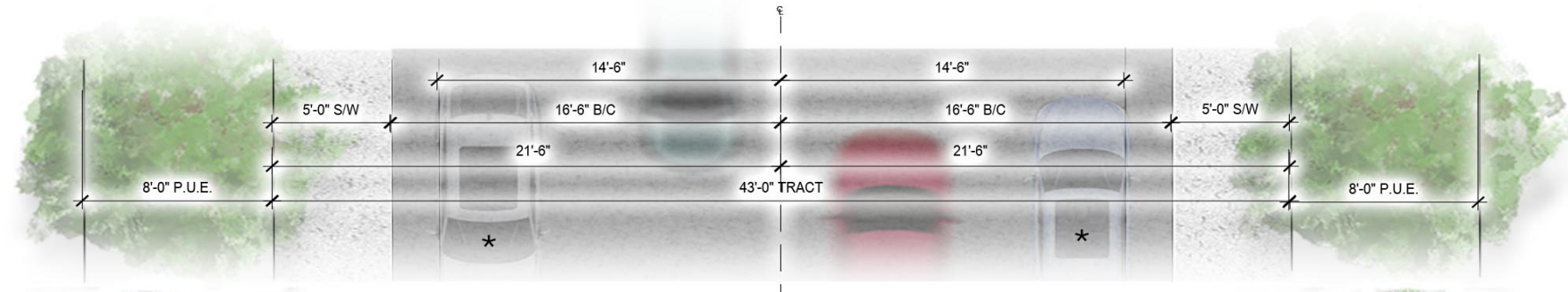
| ELEVATION B MODERN SPANISH | SCHEMES | | |
|--|-----------------------------------|---------------------------------------|--------------------------------|
| | SCHEME 4 | SCHEME 5 | SCHEME 6 |
| ROOF MISSION "S" | 1MSCS1132 Charcoal Brown Blend | 1MSCS6464 California Mission Blend | 1MSCS0431 Apple Bark |
| STUCCO | SW 7541 Grecian Ivory | SW 7012 Creamy | SW 7527 Nantucket Dune |
| VERTICAL SIDING TRIM AT VERTICAL SIDING | SW 7040 Smokehouse | SW 7535 Sandy Ridge | SW 7514 Foothills |
| TRIM | SW 7507 Stone Lion | SW 7535 Sandy Ridge | SW 7514 Foothills |
| FASCIA | SW 7041 Van Dyke Brown | SW 7027 Well-Bred Brown | SW 6076 Turkish Coffee |
| ENTRY DOOR | SW 7740 Messenger Bag | SW 7622 Homburg Gray | SW 2839 Roycroft Copper Red |
| STONE EL DORADO STONE CUT COARSE STONE DRYSTACK | Madrona Cut Coarse Stone | Oyster Cut Coarse Stone | Seashell Cut Coarse Stone |
| TRIM AT STONE STUCCO OVER FOAM | SW 7507 Stone Lion | SW 7532 Urban Putty | SW 7555 Patience |

HUDSON CROSSING | CHANDLER ARIZONA
ARCADIA COMMUNITIES

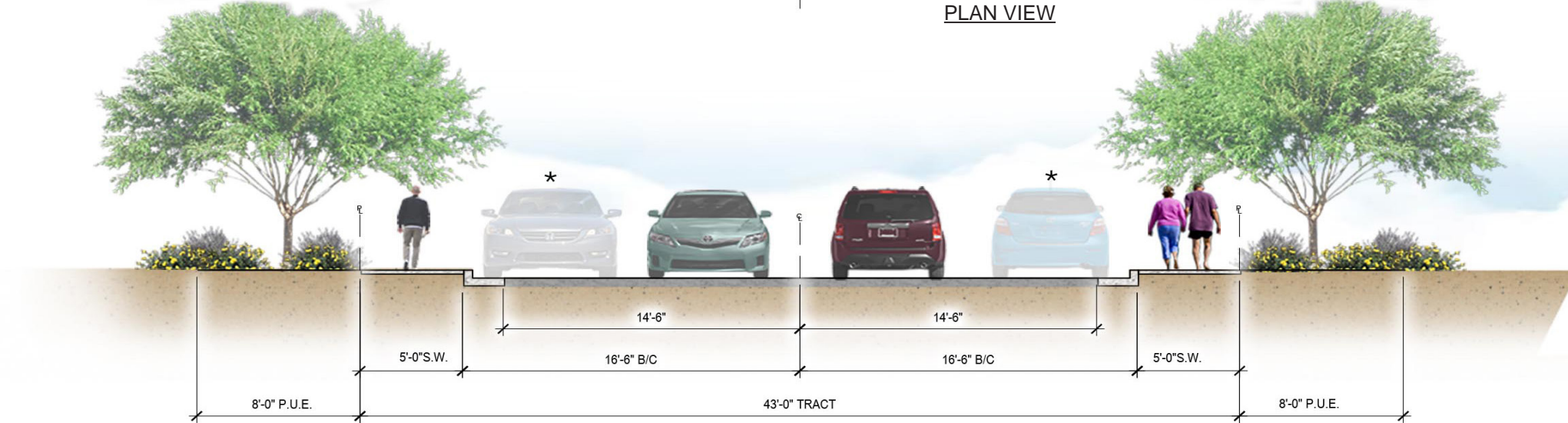
| | |
|-----------------------|----------|
| Original Date | 03.17.20 |
| Add Stucco II A Elev. | 08.27.20 |
| Add Gable-End Siding | 09.21.20 |
| Color Changes | 12.10.20 |

| ELEVATION C MID-CENTURY MODERN | SCHEMES | | |
|--|---|--|---|
| | SCHEME 7 | SCHEME 8 | SCHEME 9 |
| ROOF SAXONY 900 SLATE | 1FJCS5354 Stone Mountain Blend | 1FJCS0024 Desert Sage | 1FJCS5360 Stone Mountain Dark |
| STUCCO | SW 9165 Gossamer Veil | SW 6140 Moderate White | SW 7008 Alabaster |
| TRIM | SW 7068 Grizzle Gray | SW 0037 Morris Room Grey | SW 7046 Anonymous |
| FASCIA GABLE-END SIDING | SW 7069 Iron Ore | SW 7047 Porpoise | SW 7048 Urbane Bronze |
| ENTRY DOOR | SW 0018 Teal Stencil | SW 0040 Roycroft Adobe | SW 6207 Retreat |
| PAINTED BLOCK CREATIVE MINES LOFT CRAFT PAINTGRADE BLOCK STACKED BOND | SW 9165 Gossamer Veil | SW 0037 Morris Room Grey | SW 7008 Alabaster |
| WALL TILE DAL TILE SCHLUTER QUADREC WALL TILE GROUT TRIM AT WALL TILE | Willowgrove FP98 Stone Grey (TSSG) 60 Dusty Gray SW 7017 Dorian Gray | Blackwood FP99 Bronze (TSOB) 35 Mocha SW 7020 Black Fox | Timberland FP99 7 Beige (TSB) 35 Mocha SW 9091 Half-Calf |

| ELEVATION D MODERN PRAIRIE | SCHEMES | | |
|--|---|--|--|
| | SCHEME 10 | SCHEME 11 | SCHEME 12 |
| ROOF SAXONY 900 SLATE | 1FJCS0330 Appalachian Blend | 1FJCS5360 Stone Mountain Dark | 1FJCS5354 Stone Mountain Blend |
| STUCCO | SW 7050 Useful Gray | SW 7506 Loggia | SW 7017 Dorian Gray |
| SIDING | SW7068 Grizzle Gray | SW6068 Brevity Borwn | SW 6076 Turkish Coffee |
| TRIM | SW 7060 Attitude Gray | SW 7508 Tavern Taupe | SW 6076 Turkish Coffee |
| FASCIA | SW 7020 Black Fox | SW 7675 Sealskin | SW 6076 Turkish Coffee |
| ENTRY DOOR | SW 6223 Still Water | SW 9182 Rojo Marrón | SW 7748 Green Earth |
| BRICK ENDICOTT BRICK THOMPSON BUILDING MATERIALS TRIM AT BRICK | Manganese Ironspot SW7048 Urbane Bronze | Sienna Ironspot SW7510 Chateau Brown | Manganese Brown Ironspot SW 7020 Black Fox |
| BRICK GROUT | SGS 94H Iron Black | SGS 85H Dark Chocolate | SGS 85H Dark Chocolate |



PLAN VIEW

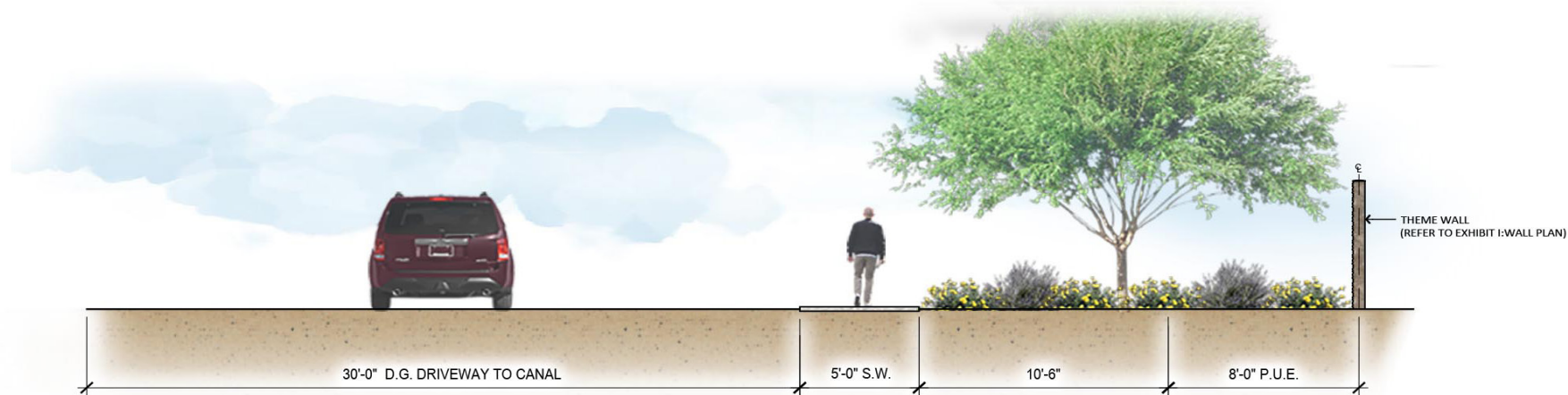
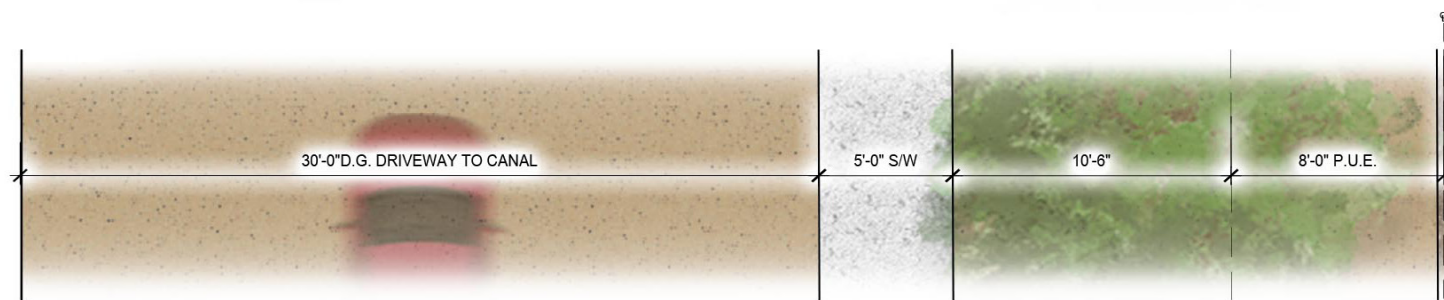


SECTION

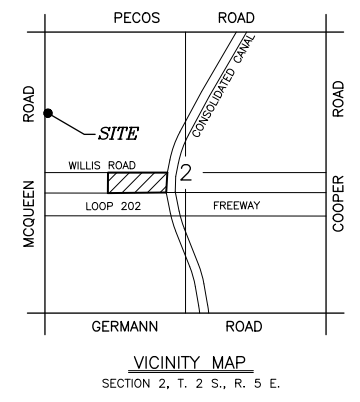
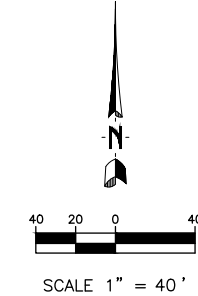
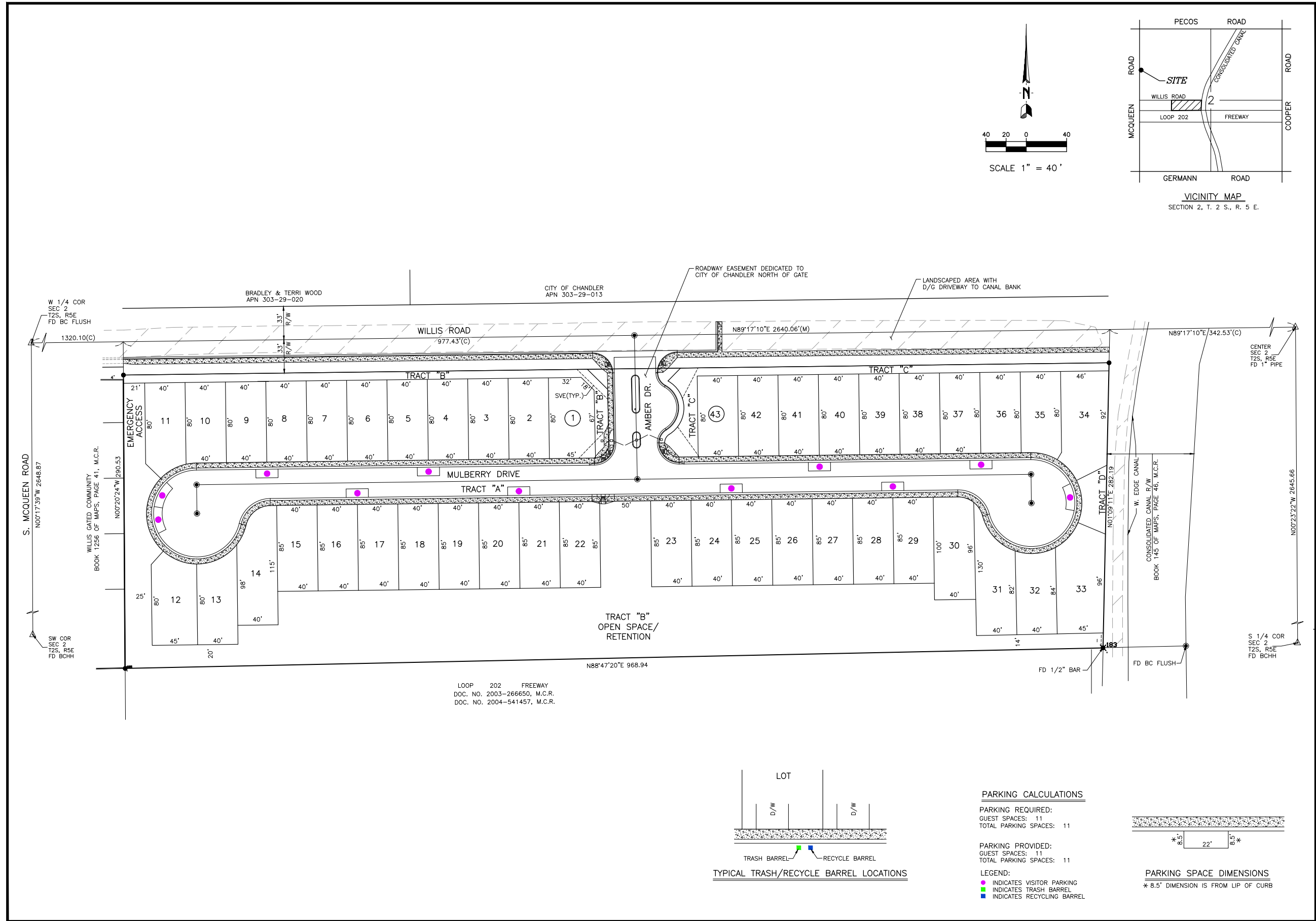
TYPICAL INTERIOR STREET

43' OVERALL PRIVATE TRACT LOOKING EAST OR WEST

*PARKING PROVIDED ON BOTH SIDES OF THE STREET

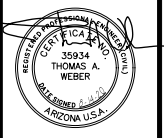


LANDSCAPED AREA WITH D/G DRIVEWAY TO CANAL BANK



Clouse Engineering, Inc.
ENGINEERS - SURVEYORS
 5010 E. Shea Blvd Suite 110 Scottsdale, AZ 85254
 Tel 602-395-9300 Fax 602-395-9310

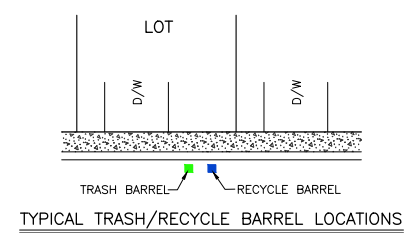
**PARKING PLAN
 HUDSON CROSSING**



Revised
 8-13-20
 12-18-20

Date
 04-17-20
 As-Built
 Job No.
 190510

1 OF 1

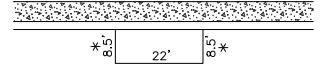


PARKING CALCULATIONS

PARKING REQUIRED:
 GUEST SPACES: 11
 TOTAL PARKING SPACES: 11

PARKING PROVIDED:
 GUEST SPACES: 11
 TOTAL PARKING SPACES: 11

LEGEND:
 ● INDICATES VISITOR PARKING
 ■ INDICATES TRASH BARREL
 ■ INDICATES RECYCLING BARREL



PARKING SPACE DIMENSIONS

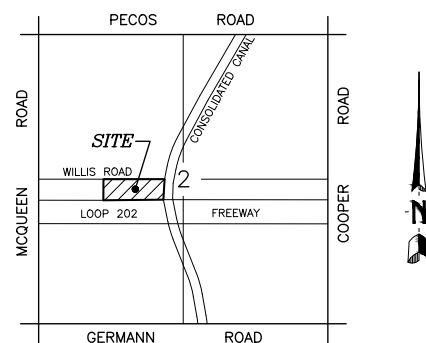
* 8.5' DIMENSION IS FROM LIP OF CURB

EXHIBIT O: PARKING PLAN



PRELIMINARY PLAT FOR HUDSON CROSSING

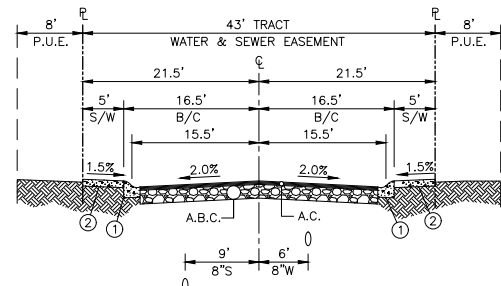
A PORTION OF THE SW QUARTER OF SECTION 2, T. 2 S., R. 5 E. OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP SECTION 2, T. 2 S., R. 5 E.

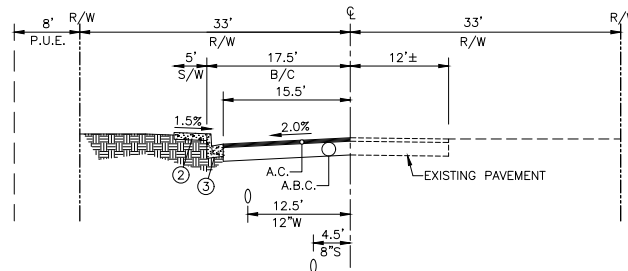
SHEET INDEX

| | |
|---------|-------------|
| SHEET 1 | COVER SHEET |
| SHEET 2 | PLAN SHEET |



TYPICAL INTERIOR STREET

SCALE: 1"=10' (HOR.), 1"=4' (VERT.) (LOOKING NORTH & WEST)



WILLIS ROAD

SCALE: 1"=10' (HOR.), 1"=4' (VERT.) (LOOKING NORTH & WEST)

- 1 INSTALL 4" ROLL CURB & GUTTER M.A.G. DET. 220-C
- 2 INSTALL CONCRETE SIDEWALK M.A.G. DET. 230
- 3 INSTALL 6" VERTICAL CURB & GUTTER M.A.G. DET. 220-A
- 4 INSTALL 6" SINGLE CURB M.A.G. DET. 222 TYPE "B"

BASIS OF BEARING

THE N89°17'08"E ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER NORTHWEST OF SECTION 2, TOWNSHIP 2 SOUTH, RANGE 5 EAST OF THE G. & S.R.B. & M., MARICOPA COUNTY, ARIZONA, ACCORDING TO FINAL PLAT FOR WILLIS GATED COMMUNITY AS RECORDED IN BOOK 1256, PAGE 41, M.C.R.

RETENTION VOLUME REQUIRED

SITE RET'N REQ'D: 38,333 C.F.

LOCATION

LATITUDE: NAD83(1992): 33.2838N
LONGITUDE: NAD83(1992): 111.8188W

BENCH MARK (CMCN# 35B)

SECTION 2, T2S, R5E, 3" CITY OF CHANDLER BRASS CAP IN CONCRETE, FLUSH, AT THE INTERSECTION OF CANYON OAKS WAY AND DERRINGER WAY; 660' WEST OF COOPER ROAD AND 280' SOUTHE OF PECOS ROAD (NORTHING, 833559.554, EASTING, 732956.040) NAVD 88 ELEVATION 1234.35

NOTES

THIS SUBDIVISION IS WITHIN CHANDLER MUNICIPAL AIRPORT IMPACT OVERLAY DISTRICT. AN AVIATION OR AVIGATION EASEMENT SHALL BE PROVIDED AT TIME OF FINAL PLATTING

THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED, UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED

THE IMPROVEMENTS SHOWN ON THIS SET IF PLANS WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE IRRIGATION FACILITY UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED

THE FINAL PLAT FOR THIS SUBDIVISION WILL NOT BE APPROVED OR RECORDED UNTIL A RECLAIMED WATER USE AGREEMENT IS EXECUTED BY THE DEVELOPER AND APPROVED BY THE CITY.

THE PROPERTY LIES WITHIN FLOOD ZONE, X-SHADED ACCORDING TO F.I.R.M. NO. 0401303102M AS PUBLISHED BY FEMA ON 11/4/2015. THIS PROJECT IS NOT IN A FEMA 100 YEAR FLOOD ZONE

VISIBILITY EASEMENTS RESTRICTIONS: ANY OBJECT, WALL STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

UTILITIES AND SERVICES

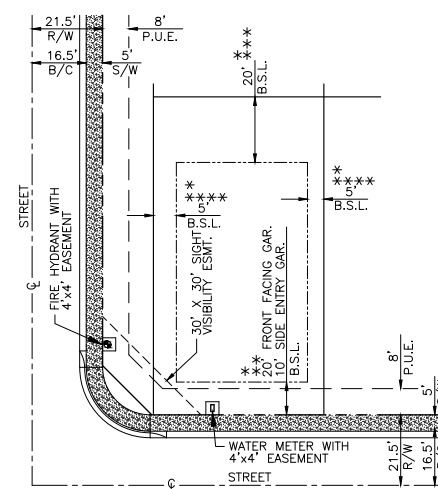
WATER SERVICE BY THE CITY OF CHANDLER
SEWER SERVICE BY THE CITY OF CHANDLER
ELECTRIC SERVICE BY SALT RIVER PROJECT
TELEPHONE SERVICE BY CENTURYLINK
GAS SERVICE BY SOUTHWEST GAS
CABLE SERVICE BY COX CABLE
POLICE BY CITY OF CHANDLER
FIRE BY CITY OF CHANDLER
REFUSE SERVICE BY CITY OF CHANDLER

SITE SUMMARY

GROSS ACRES: 7.1332 AC. 310,723 S.F.
NET ACRES: 6.3931 AC. 278,483 S.F.
TOTAL LOTS: 43
EXISTING ZONING: PAD
PROPOSED ZONING: PLANNED AREA DEVELOPMENT (PAD)
OPEN SPACE: 2.36 ACRES

LEGEND

| | |
|---|--|
| <p> C STREET CENTERLINE B.C.H.H. BRASS CAP IN HAND HOLE B.S.L. BUILDING SETBACK LINE (M) MEASURED (C) CALCULATED R/W RIGHT OF WAY B/C BACK OF CURB S/L SEWER LINE F.M. SEWER FORCE MAIN W/L WATER LINE B.L. BRINE LINE P.L. PRODUCT LINE A.R. AIR RELEASE LINE REC.W/L RECLAIMED WATER LINE W.V. WATER VALVE R.C.W.V. RECLAIMED WATER VALVE W.M. WATER METER F.H. FIRE HYDRANT B.F.P. BACK FLOW PREVENTER IRR. IRRIGATION S.M.H. SEWER MANHOLE I.M.H. IRRIGATION MANHOLE T.M.H. TELEPHONE MANHOLE C.M.H. CABLE MANHOLE B.M.H. BRINE LINE MANHOLE </p> | <p> INDICATES A CORNER OF SURVEY, SET A 1/2" BAR & CAP. R.L.S. # 36070 C CABLE LINE E ELECTRIC LINE T TELEPHONE LINE S.L. STREET LIGHT S.L.P.B. STREET LIGHT PULL BOX T.J.B. TELEPHONE JUNCTION BOX T.S. TRAFFIC SIGNAL T.S.J.B. TRAFFIC SIGNAL JUNCTION BOX S.V.E. SIGHT VISIBILITY EASEMENT P.U.E. PUBLIC UTILITY EASEMENT ELEC. ELECTRIC BOX H.T.P.P. HIGH TENSION POWER POLE P.P. POWER POLE O.E. OVERHEAD ELECTRIC FIRE HYDRANT SEWER MANHOLE WATER VALVE CABLE MANHOLE TELEPHONE MANHOLE PRIVATE IRRIGATION MANHOLE BRINE LINE MANHOLE S.R.P. IRRIGATION MANHOLE STREET DRAINAGE DIRECTION </p> |
|---|--|



TYPICAL LOT SETBACKS

| DEVELOPMENT STANDARDS | PROPOSED PAD |
|-----------------------------|------------------------------|
| MINIMUM LOT AREA | 3,200 sq.ft. |
| MINIMUM LOT DIMENSIONS | |
| WIDTH | 40' |
| DEPTH | 80' |
| MAXIMUM HEIGHT | 30'/2 STORIES |
| MINIMUM BUILDING SETBACKS * | |
| FRONT *** | 20'/10' |
| REAR *** | 20' |
| SIDE **** | 5' & 5' |
| MAXIMUM LOT COVERAGE% | |
| 1 STORY/ 2 STORY | 60% (1 story); 50% (2 story) |

- * ARCHITECTURAL ELEMENTS SUCH AS PROJECTIONS, EAVES, POP-OUTS, DECORATIVE WALL WINGS, CANTILEVERS, CORNICES, OVERHANGS, TRELIS, AWNINGS, ETC. MAY ENCR OACH UP TO TWELVE INCHES INTO YARD SETBACKS
- ** MIN. 10' FOR PORCHES, LIVABLE SPACE/ STORAGE AND 20' FOR FORWARD FACING GARAGES
- *** REAR COVERED PATIOS MAY ENCR OACH INTO THE SETBACK UP TO 10'
- **** HVAC UNITS AND REFUSE RECEPTACLES PERMITTED WITHIN SIDE YARD SETBACKS, BUT NO CLOSER THAN THREE FEET FROM PROPERTY LINE

ENGINEER

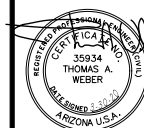
CLOUSE ENGINEERING INC.
5010 E. SHEA BLVD SUITE 110
SCOTTSDALE, AZ, 85254
PHONE: (602) 395-9300
FAX: (602) 395-9310
CONTACT: JEFF GILES
EMAIL: JGILES@CLOUSEAZ.COM

DEVELOPER

RESIDENTIAL PURSUITS INVESTMENTS, LLC
7600 E. DOUBLETREE RANCH ROAD
SUITE 130
SCOTTSDALE, ARIZONA 85258
PHONE:(602) 478-0662
CONTACT: CHRIS BROWN
EMAIL: CBROWN@ARCADIACAPITALLLC.COM



PRELIMINARY PLAT HUDSON CROSSING



Revised 12-18-20

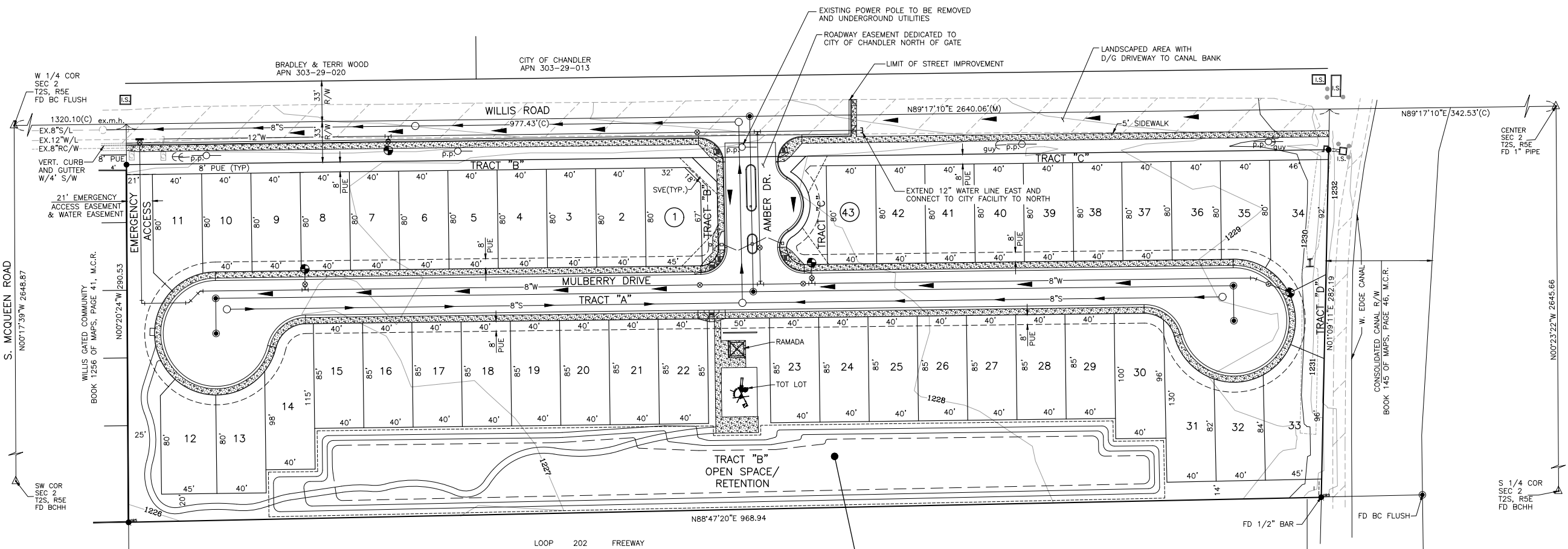
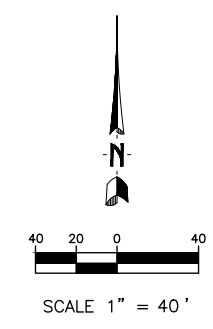
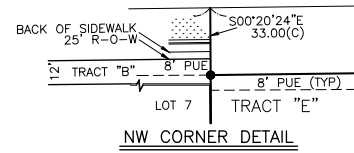
Date 04-17-20

As-Built

Job No. 190510

1 OF 2

C.O.C. LOG NO. PLT20-0032



| | |
|----------------------------|--------------|
| RETENTION BASIN "A" | |
| VOLUME REQUIRED | 1.08 (AC-FT) |
| VOLUME PROVIDED | 1.52 (AC-FT) |

LOOP 202 FREEWAY
 DOC. NO. 2003-266650, M.C.R.
 DOC. NO. 2004-541457, M.C.R.

Clouse Engineering, Inc.
ENGINEERS - SURVEYORS
 5010 E. Shea Blvd Suite 110 Scottsdale, AZ 85254
 Tel 602-395-9300 Fax 602-395-9310

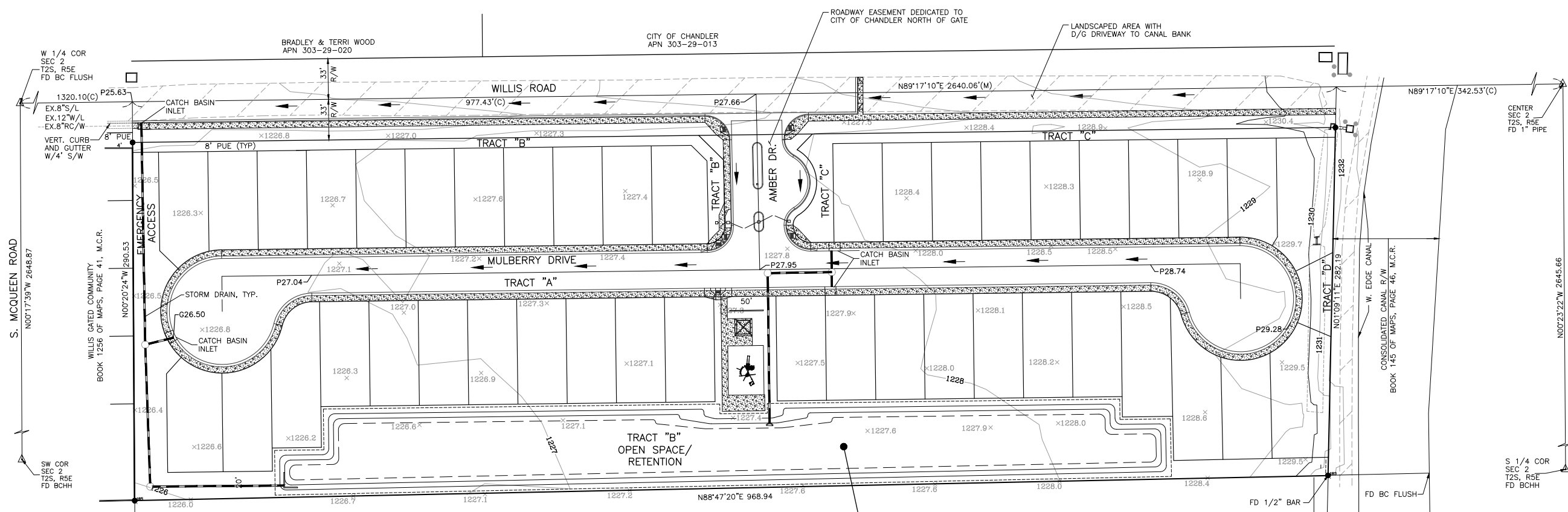
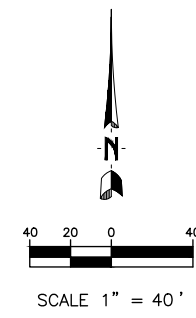
**PRELIMINARY PLAT
 HUDSON CROSSING**



Revised
 8-13-20
 12-03-20
 12-18-20

Date
 04-17-20
 As-Built
 Job No.
 190510

EXHIBIT R: PRELIMINARY PLAT



RETENTION BASIN "A"
 VOLUME REQUIRED
 1.08 (AC-FT)
 VOLUME PROVIDED
 1.52 (AC-FT)

LOOP 202 FREEWAY
 DOC. NO. 2003-266650, M.C.R.
 DOC. NO. 2004-541457, M.C.R.

100-YR, 2-HR CALCULATIONS
 RETENTION VOLUME REQUIRED = 1.1XAXC(2.2/12)

| RETENTION VOLUME REQUIRED | | | |
|---------------------------|-----------|---------------|-------------------------|
| DRAINAGE AREA | AREA (AC) | RUNOFF COEFF. | VOLUME REQUIRED (AC-FT) |
| AREA A | 7.14 | 0.75 | 1.08 |
| TOTAL | 7.14 | | 1.08 |

| RETENTION VOLUME PROVIDED | | | | |
|---------------------------|-------|----------------|-------------------|-------------------------|
| DRAINAGE AREA | BASIN | AVG. AREA (AC) | DEPTH/LENGTH (FT) | VOLUME PROVIDED (AC-FT) |
| AREA A | A | 0.76 | 2.0 | 1.52 |
| TOTAL | | | | 1.52 |

Clouse Engineering, Inc.
ENGINEERS - SURVEYORS
 5010 E. Shea Blvd, Suite 110, Scottsdale, AZ 85254
 Tel: 602-395-9300 Fax: 602-395-9310

**PRELIMINARY GRADING AND DRAINAGE PLAN
 HUDSON CROSSING**



Revised
 8-13-20
 12-18-20

Date
 04-17-20
 As-Built

Job No.
 190510

Call at least two full working days before you begin construction.
ARIZONA
 Arizona State Seal
 Dig 8-1-1 or 1-800-STAKE-IT (782-5348)
 In Maricopa County: (602) 363-1100

CLOUSE ENGINEERING, INC., SHALL NOT BE LIABLE FOR ANY PORTION OF WORK NOT CONFORMING TO APPROVED PLANS SHOULD THEIR STAKES BE FOUND MISSING OR DISTURBED.

EXHIBIT S: PRELIMINARY GRADING & DRAINAGE PLAN